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## **ENGINEERS REPORT**

November 23, 2020

Loco for Soco, LLC  
C/O Mr. River Sharpe  
107 W. Monroe Street  
Austin, Texas 78704  
(512) 949-0007 Cell phone

**Subject: Evaluation of Wooden Structural Framing of Residential Structure @  
1601 Brackenridge Street, Austin, Texas 78704  
Legal Description: Lot 1, Block 12G, Fairview Park Subdivision**

### **Existing Residential Wood Frame Structure Evaluation:**

I visited the jobsite on November 18, 2020 at the request of Mr. River Sharpe, Project Manager. After arriving at the site, I reconnoitered the area of the single-story structure, and here are my observations:


1. The single-story wood frame structure was built circa 1917, and it has approximate footprint area of 1,454.0 square feet. The property has a City of Austin Zoning Classification of Single-Family SF-3-NP, and the property has been vacant for a least one year
2. The exterior structure is showing indications that it has settled in a vertical plane at different areas of the structure's footprint
3. There are indications that exterior wall framing elements are out of plumb or out of square throughout the perimeter of the structure
4. The exterior walls show signs of water rot damage, principally around the areas of the lower end of the wall sidings
5. In addition to the damage to the wooden frame, there is also considerable settlement to the existing pier and beam foundation, to include the pier foundation composed of cedar post piers
6. At the interior of the structure, there is considerable floor surface uneven levelness
7. There are indications that the out-of-square and out-of-plane conditions have been in existence for a long period

8. The out of plumb and out of plane structural framing has suffered what it is called wood creep and it is very difficult to straighten bent structural framing members, and should be removed completely
9. The roof structural framing has rotted elements. The wood decking shows decay, and it also has settled depressed areas. There are indications that there was roof moisture leakage in the past
10. I did not evaluate other areas of the property

**Conclusion:**

1. The extensive wood rot damage to the exterior load bearing and interior non-load bearing walls and roof framing make this exiting residence not code compliant with the current City of Austin adopted 2015 Edition of the International Residential Code, and it is not feasible to retrofit the bent wooden framed structure to make it code compliant. Therefore, it is the opinion of this evaluator that the dilapidated wooden framed structure and wooden exterior siding should be removed in its entirety, to include the wooden foundation piers, and lawfully dispose off-site and be replaced in its entirety with a new code-compliant residential structure.

This report was prepared by:

  
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11/23/20

**APPENDIX 1.0**  
**LOG OF SELECTED PHOTOGRAPHS**





Photograph No. 1-view looking east at front façade of exiting residential structure, Note the unevenness of front road decking



Photograph No 2.-view looking on an eastward direction at the southern wall façade.



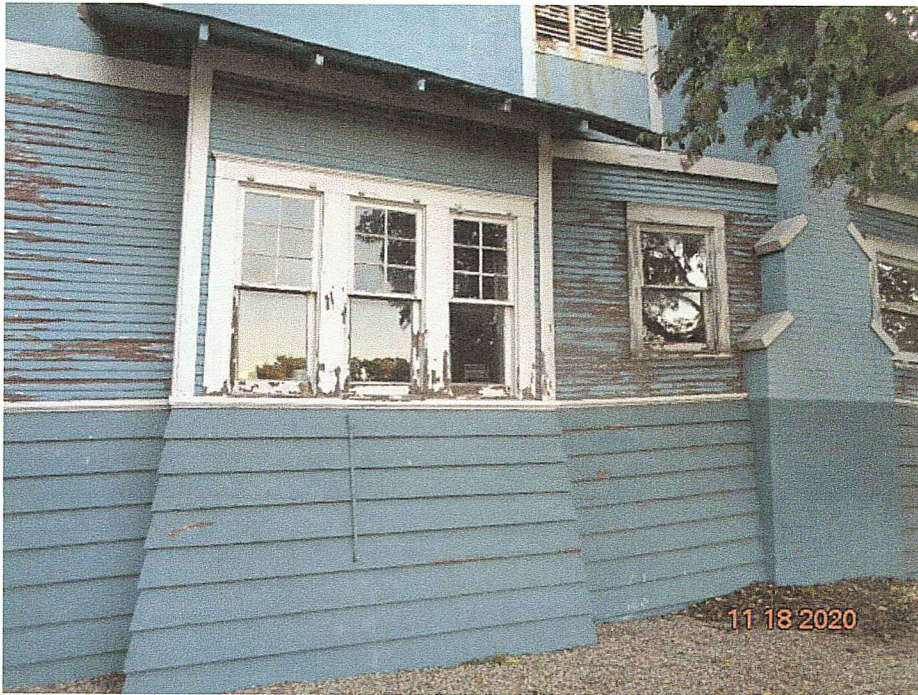


Photograph No. 3-view looking northward at section of southern exterior wall framing and door frame out of square near southeast corner of structure

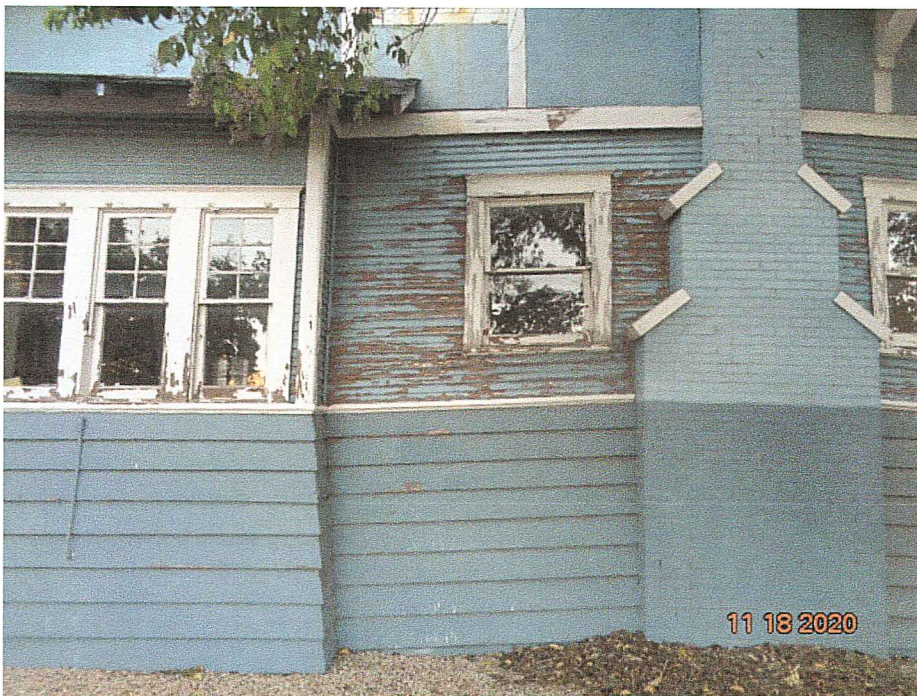


Photograph No. 4-view looking southward at north side wall at eastern portion of north wall. Note uneven siding framing construction at left side of photograph





Photograph No. 5-view looking southward at north wall façade at western portion of wall near the main living room and exterior fireplace at right side of photograph. Note uneven level of wooden siding in the immediate vicinity of the windows' framing



Photograph No. 6-another view from a different angle of Photograph No. 05 above. Note again the uneven level of siding framing at window level



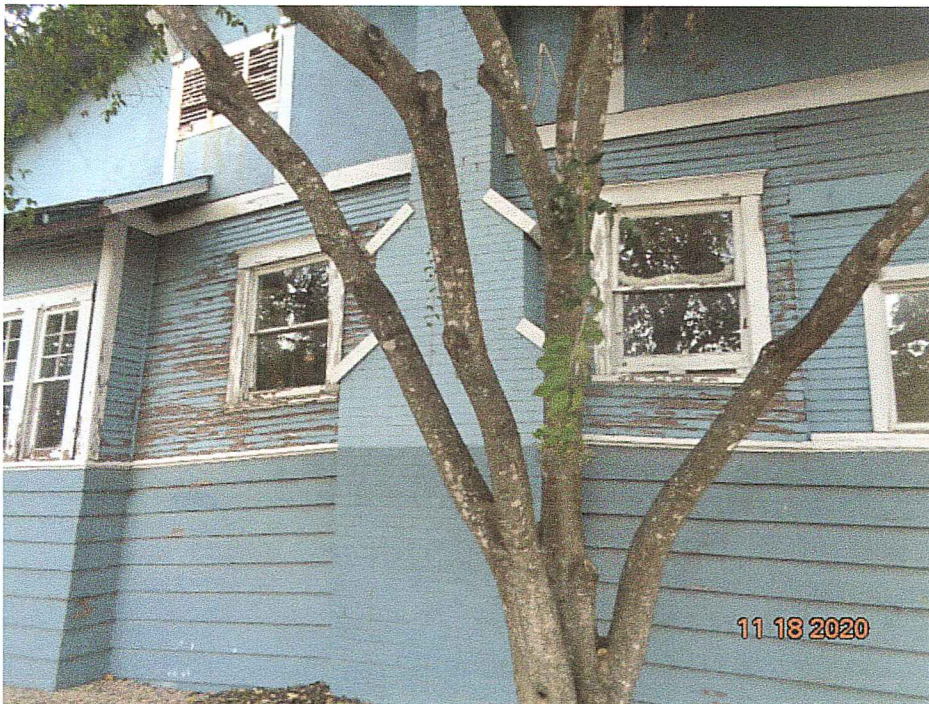


Photograph No. 7-view looking southward and upward at north wall in the area of the exterior brick constructed fireplace. Note wall separation at upper level of fireplace

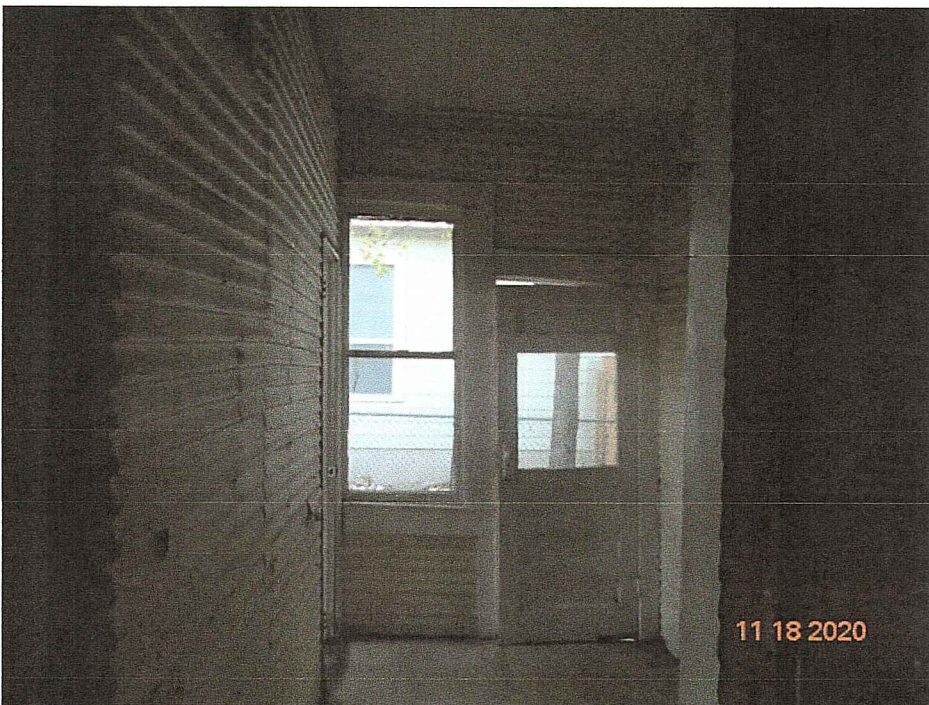


Photograph No. 8-anotehr view like photographs No. 05 and 06 at wall framing at two siding patterns interface





Photograph No. 9-anotyher view like Photographs No. 06 and 07 looking at the western side of the fireplace and the out of level structural framing at siding level



Photograph No. 10-view looking southward at interior of exterior wall described in Photograph No, 03 above. Note out of square structural framing of the exterior door





Photograph No. 11-view looking northward and downward at northern exterior wall framing near main living room area



Photograph No. 12-view looking northward at northern exterior wall of main living room the vicinity of the fireplace previously described. Note out level floor elevations at both sides of the fireplace





Photograph No. 13-another view like that of photograph No. 12 above



Photograph No. 14-view looking westward at northern section of west wall of main living room. Note the level of the floor at sole plate elevation





Photograph No. 15-view looking westward at west exterior front wall of residence at main entrance, Note level of ceiling elevation



Photograph No. 16-view looking in a northwesterly direction at western part of main living room/front room interface. Note wall framing out of plumb





Photograph No. 17-view looking eastward at eastern portion of main living room area.  
Note gyplap construction of interior load-bearing walls and out square framing