

PUBLIC HEARING INFORMATION

Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. This meeting will be conducted online and you have the opportunity to speak FOR or AGAINST the proposed development or change. Email or call the staff contact for information on how to participate in the public hearings online. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During a public hearing, the board or commission may postpone or continue an application's hearing to a later date, or recommend approval or denial of the application. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

A board or commission's decision may be appealed by a person with standing to appeal, or an interested party that is identified as a person who can appeal the decision. The body holding a public hearing on an appeal will determine whether a person has standing to appeal the decision.

An interested party is defined as a person who is the applicant or record owner of the subject property, or who communicates an interest to a board or commission by:

- delivering a written statement to the board or commission before the public hearing that generally identifies the issues of concern (*it may be delivered to the contact person listed on a notice*); or
- appearing and speaking for the record at the public hearing; and:
- occupies a primary residence that is within 500 feet of the subject property or proposed development;
- is the record owner of property within 500 feet of the subject property or proposed development; or
- is an officer of an environmental or neighborhood organization that has an interest in or whose declared boundaries are within 500 feet of the subject property or proposed development.

A notice of appeal must be filed with the director of the responsible department no later than 14 days after the decision. An appeal form may be available from the responsible department.

For additional information on the City of Austin's land development process, please visit our website: www.austintexas.gov/abc

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, the Case Number and the contact person listed on the notice.

Case Number: HR 21-026856 - 2407 JARRATT AVE
Contact: Elizabeth Brummett, (512) 974-1264
Public Hearing: Historic Landmark Commission, Mar 22, 2021

☒ **I am in favor** * see below comm
☐ **I object**

Robert Kinney

2406 Harris Blvd, Austin, TX 78703

Your Name (*please print*)

Your address(es) affected by this application

Signature

3/21/2021
Date

Comments: 1. Site plan for new build does not accurately show position of garage in back, which is 2.7 feet from the property line per the survey attached to demo plan. 2. Currently, the garage is 2.3 feet into the PUE, and 7.3 feet into the setback. 3. The 1997 permit (application) to convert carport to a garage is likely the origin of the garage. That permit was never issued and is listed as VOID in the records. 4. Generally, we are strongly in favor of the house plan. Drainage across our property toward Harris can be managed. But the site plan should show the actual position of the garage, and doesn't.

If you use this form to comment, it may be returned to:

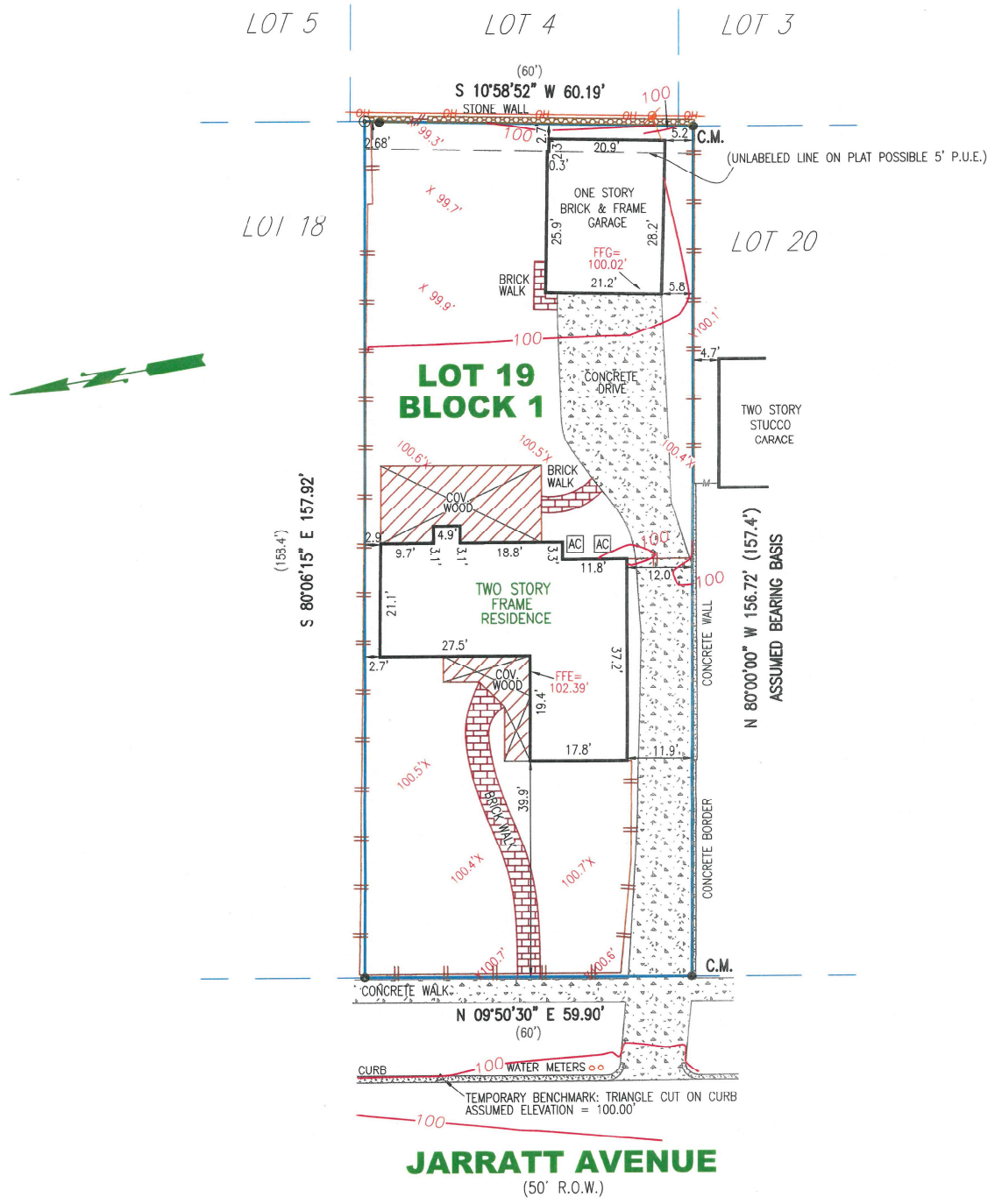
City of Austin

Historic Preservation Office, ATTN: **Elizabeth Brummett**

P.O. Box 1088

Austin, TX 78767-8810

E-mail: preservation@austintexas.gov



- LEGEND**
- 1/2" REBAR FOUND
 - 1/2" CAPPED REBAR SET
 - 1/2" IRON PIPE FOUND
 - 60D NAIL FOUND
 - 60D NAIL SET
 - CAPPED REBAR FOUND
 - "X" SET IN CONCRETE
 - "X" FOUND IN CONCRETE
 - CHAIN LINK FENCE
 - WOOD FENCE
 - METAL FENCE
 - B.L. BUILDING LINE
 - P.U.E. PUBLIC UTILITY EASEMENT
 - () PER PLAT
 - C.M. CONTROL MONUMENT
 - R.O.W. RIGHT OF WAY
 - x100.0 SPOT ELEVATION
 - FFE FINISHED FLOOR HOUSE ELEVATION
 - FFG FINISHED FLOOR GARAGE ELEVATION
 - OH OVERHEAD UTILITY LINE
 - AC POWER POLE
 - AIR CONDITIONER
 - BREAK IN SCALE

IMPORTANT NOTICE
This Survey was prepared without the benefit of a title commitment. There may be additional setback lines, easements and interests which are relevant to this property and unknown to B & G SURVEYING, LLC. Building dimensions are approximate.

[Signature]
TO THE LIENHOLDER AND / OR PRESENT OWNERS OF THE PREMISES SURVEYED



STREET ADDRESS: 2407 JARRATT AVENUE CITY: AUSTIN COUNTY: TRAVIS STATE OF TEXAS
 LOT: 19 BLOCK: 1 SUBDIVISION: FIRST SECTION OF PEMBERTON HEIGHTS VOL/CAB: 3 PG/SLD: 136 PLAT RECORDS
 REFERENCE NAME: NATALIE KINSEL

B & G SURVEYING, LLC
 FIRM REGISTRATION NO. 100363-00
 www.BANDGSURVEYING.COM
 1404 West North Loop Blvd.
 Austin, Texas 78756 - Office 512*458-6969

JOB #: B0900419_TA
 DATE: 09/11/19
 SCALE: 1" = 20'

FIELD WORK BY	REESE	09/05/19
CALC'D BY	VG	09/10/19
DRAFTED BY	PR	09/11/19
CHECKED BY	VG/ML	09/11/19



JARRATT AVENUE
(50' R.O.W.)





