

ZONING CHANGE REVIEW SHEET

CASE: C14-2021-0024 (Tech Ridge Liquor Store)

DISTRICT: 7

ZONING FROM: GR

TO: CS-1

ADDRESS: 12401 Tech Ridge Boulevard

SITE AREA: 1,625 sq. ft.

PROPERTY OWNER: Factor Real Estate LLC (Alvin Morin)

AGENT: Permit Solutions LLC (Jennifer Smith)

CASE MANAGER: Sherri Sirwaitis (512-974-3057, sherri.sirwaitis@austintexas.gov)

STAFF RECOMMENDATION:

Staff recommends CS-1, Commercial-Liquor Sales District, zoning.

ZONING AND PLATTING COMMISSION ACTION / RECOMMENDATION:

April 20, 2021

CITY COUNCIL ACTION:

ORDINANCE NUMBER:

ISSUES: N/A

CASE MANAGER COMMENTS:

The property in question is a 0.037 acre vacant parcel of land located at the southeast corner of Tech Ridge Boulevard and East Yager Lane. Surrounding land uses includes undeveloped land directly to the north and an industrial/office campus to the northeast (Dell Parmer South Campus), across Tech Ridge Boulevard. To the south, there is a developing hotel/motel use and multifamily complex (Atrium at Tech Ridge). The lot to the east contains a hotel/motel use (Townplace Suites). The tract of land to the west is undeveloped. The applicant is requesting a 1,625 sq. ft. footprint of CS-1 zoning to develop a liquor store. The property is part of a larger site with an approved site plan for a gas station/convenience store, drive in/fast food restaurant (*see SP-2018-0086C – Exhibit C*).

BASIS OF RECOMMENDATION:

1. *The proposed zoning should be consistent with the purpose statement of the district sought.*

Commercial-Liquor Sales district is intended predominately for commercial and industrial activities of a service nature which typically have operating characteristics or traffic service requirements generally incompatible with residential environments, and specifically includes liquor sales as a permitted use.

2. *The proposed zoning should allow for a reasonable use of the property.*

The CS-1 zoning district would allow for a fair and reasonable use of the site. A 1,625 sq. ft. footprint of CS-1 zoning is appropriate at this location as it will be part of a larger retail/restaurant development at the corner of a major intersection. It is consistent with surrounding land uses because of the commercial character of the area. The proposed rezoning will allow for additional retail uses to provide services to the industrial campus to the northeast and to the multifamily use to the south.

3. *Zoning should promote the policy of locating retail and more intensive zoning near the intersections of arterial roadways or at the intersections of arterials and major collectors.*

This property in question is located at the southeast intersection of two arterial roadways, Tech Ridge Boulevard and East Yager Lane.

EXISTING ZONING AND LAND USES:

	ZONING	LAND USES
<i>Site</i>	GR	Undeveloped
<i>North</i>	GR, LI-PDA	Undeveloped, Office (Dell Parmer South Campus)
<i>East</i>	GR	Hotel (Townplace Suites)
<i>South</i>	GR, MF-4	Developing Hotel, Multifamily (Atrium at Tech Ridge)
<i>West</i>	GR	Undeveloped

NEIGHBORHOOD PLANNING AREA: N/A

TIA: Deferred to the time of Site Plan

WATERSHED: Walnut Creek

NEIGHBORHOOD ORGANIZATIONS:

Austin Lost and Found Pets
 Austin Neighborhoods Council
 Friends of Austin Neighborhoods
 Friends of Copperfield Nature Trails
 Homeless Neighborhood Association
 Neighborhood Empowerment Foundation
 North Growth Corridor Alliance
 Pflugerville Independent School District
 SELTEXAS
 Sierra Club, Austin Regional Group
 Techridge Neighbors
 Yager Community

AREA CASE HISTORIES:

NUMBER	REQUEST	COMMISSION	CITY COUNCIL
C14-2020-0110 (12212 Tech Ridge Blvd.)	GR, LI, and RR to GR-MU	02/02/21: To grant GR-MU as requested, on consent (11-0); Azar- 1st, Seeger- 2 nd .	3/04/21: The public hearing was conducted and approve Ordinance No. 20210304-095 for GR-MU zoning (10-0), Council Member Ellis's motion, Council Member Kitchen's second on a 10-0 vote. Mayor Pro Tem Harper-Madison was off the dais.
C14-2020-0015 Tech Ridge Hotel: 12316 Tech Ridge Boulevard and	GO, LI to GR	5/19/20: Granted GR zoning by consent (10-0); A. Denkler-1st, D. King-2nd	6/04/20: The public hearing was conducted and a motion approve Ordinance No. 20200604-029 for GR district zoning (10-0), Council Member Flannigan's motion, Council Member

211 West Canyon Ridge Drive)			Ellis'. Council Member Harper-Madison was off the dais.
C14-2019-0010 (12213 Tech Ridge)	GR to MF-4	7/10/19: Approved MF-4 zoning by consent (7-0, A. Aguirre, N. Barrera-Ramirez, J. Kiolbassa, E. Ray- Absent); D. King- 1 st , A. Denkler- 2 nd .	8/08/19: The public hearing was conducted and approve Ordinance No. 20190808-135 for MF-4 zoning was approved on Council Member Pool's motion, Council Member Renteria's second on an 11-0 vote.
C14-2018-0063 (12427 Tech Ridge Boulevard)	GR to CS-CO	7/17/18: Approved staff's recommendation of CS-CO zoning, with added conditions to prohibit Adult Oriented Businesses and Construction Sales and Services uses, by consent (8-0, D. Breithaupt and S. Lavani-absent, A. Tatkow-abstain); D. King-1 st , J. Duncan-2 nd .	8/23/18: The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20180823-065 for general commercial services-conditional overlay (CS-CO) combining district zoning was approved on Council Member Casar's motion, Council Member Renteria's second on an 11-0 vote.
C14-2018-0063 (12427 Tech Ridge Boulevard)	GR to CS-CO	7/17/18: Approved staff's recommendation of CS-CO zoning, with added conditions to prohibit Adult Oriented Businesses and Construction Sales and Services uses, by consent (8-0, D. Breithaupt and S. Lavani-absent, A. Tatkow-abstain); D. King-1 st , J. Duncan-2 nd .	8/23/18: The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20180823-065 for CS-CO district zoning was approved on Council Member Casar's motion, Council Member Renteria's second on an 11-0 vote.

RELATED CASES:

SP-2018-0086C – Site Plan Case

C8-95-0208.03, C8-95-0208.02, C8-95-0208.1A - Subdivision Cases

EXISTING STREET CHARACTERISTICS:

Name	Existing ROW	ASMP Required ROW	Pavement	ASMP Classification	Sidewalks	Bicycle Route	Capital Metro (within ¼ mile)
Yager Lane	81'	96'	69'	3	Yes	Yes	Yes
Tech Ridge Blvd	128'	120'	85'	4	Yes	Yes	Yes

OTHER STAFF COMMENTS:Comprehensive Planning

This zoning case is located on the southeast corner of Tech Ridge Boulevard and East Yager Lane and is not located within the boundaries of a neighborhood planning area. This 0.37 acre parcel is vacant and is not located along an Activity Corridor or Center. Surrounding land uses includes vacant land and a commercial gym to the north; to the south is vacant land; to the east are two hotels; and to the west is vacant land. The proposed use is a liquor store.

Connectivity

There are public sidewalks, crosswalks, bike lanes and transit stops located next to the subject property. While mobility options are good, connectivity is only fair in the area.

Imagine Austin

Based on the comparative scale of the site relative a variety of commercial uses in this area, as well as mobility strengths, this project supports the Imagine Austin Comprehensive Plan.

Environmental

The site is not located over the Edwards Aquifer Recharge Zone. The site is in the Walnut Creek Watershed of the Colorado River Basin, which is classified as a Suburban Watershed by Chapter 25-8 of the City's Land Development Code. The site is in the Desired Development Zone.

Under current watershed regulations, development or redevelopment on this site will be subject to the following impervious cover limits:

<i>Development Classification</i>	<i>% of Gross Site Area</i>	<i>% of Gross Site Area with Transfers</i>
Single-Family (minimum lot size 5750 sq. ft.)	50%	60%
Other Single-Family or Duplex	55%	60%
Multifamily	60%	70%
Commercial	80%	90%

According to floodplain maps there is no floodplain within or adjacent to the project location.

Standard landscaping and tree protection will be required in accordance with LDC 25-2 and 25-8 for all development and/or redevelopment.

At this time, site specific information is unavailable regarding vegetation, areas of steep slope, or other environmental features such as bluffs, springs, canyon rimrock, caves, sinkholes, and wetlands.

Under current watershed regulations, development or redevelopment requires water quality control with increased capture volume and control of the 2 year storm on site.

At this time, no information has been provided as to whether this property has any ls that preempt current water quality or Code requirements.

Fire

No comments.

Parks and Recreation

There are currently no parkland requirements for uses other than residential and hotel. Given that the application is for CS-1, there would not be parkland dedication requirements or parkland impacts at the time of site plan or subdivision.

Site Plan

Site plans will be required for any new development other than single-family or duplex residential.

Any development which occurs in an SF-6 or less restrictive zoning district which is located 540 feet or less from property in an SF-5 or more restrictive zoning district will be subject to compatibility development regulations. It doesn't appear there are any triggering uses or zoning districts within 540 feet.

Any new development is subject to Subchapter E. Design Standards and Mixed Use. Additional comments will be made when the site plan is submitted.

FYI: Additional design regulations will be enforced at the time a site plan is submitted.

FYI: The subject property is included in an approved site plan (case #s SP-2018-0086C and SP-2018-0087C) and/or subdivision case (case # C8-95-0208.03.2A and subsequent revisions (C8-95-0208.03).

Transportation

The Austin Strategic Mobility Plan (ASMP), adopted 04/11/2019, identifies existing right-of-way as sufficient for Tech Ridge Boulevard and calls for 96' of right-of-way for Yager Lane. Traffic impact analysis is waived, the determination is deferred until site plan application, when land use and intensity will be finalized.

Water Utility

The landowner intends to serve the site with City of Austin water and wastewater utilities. The landowner, at own expense, will be responsible for providing any water and wastewater utility improvements, offsite main extensions, utility relocations and or abandonments

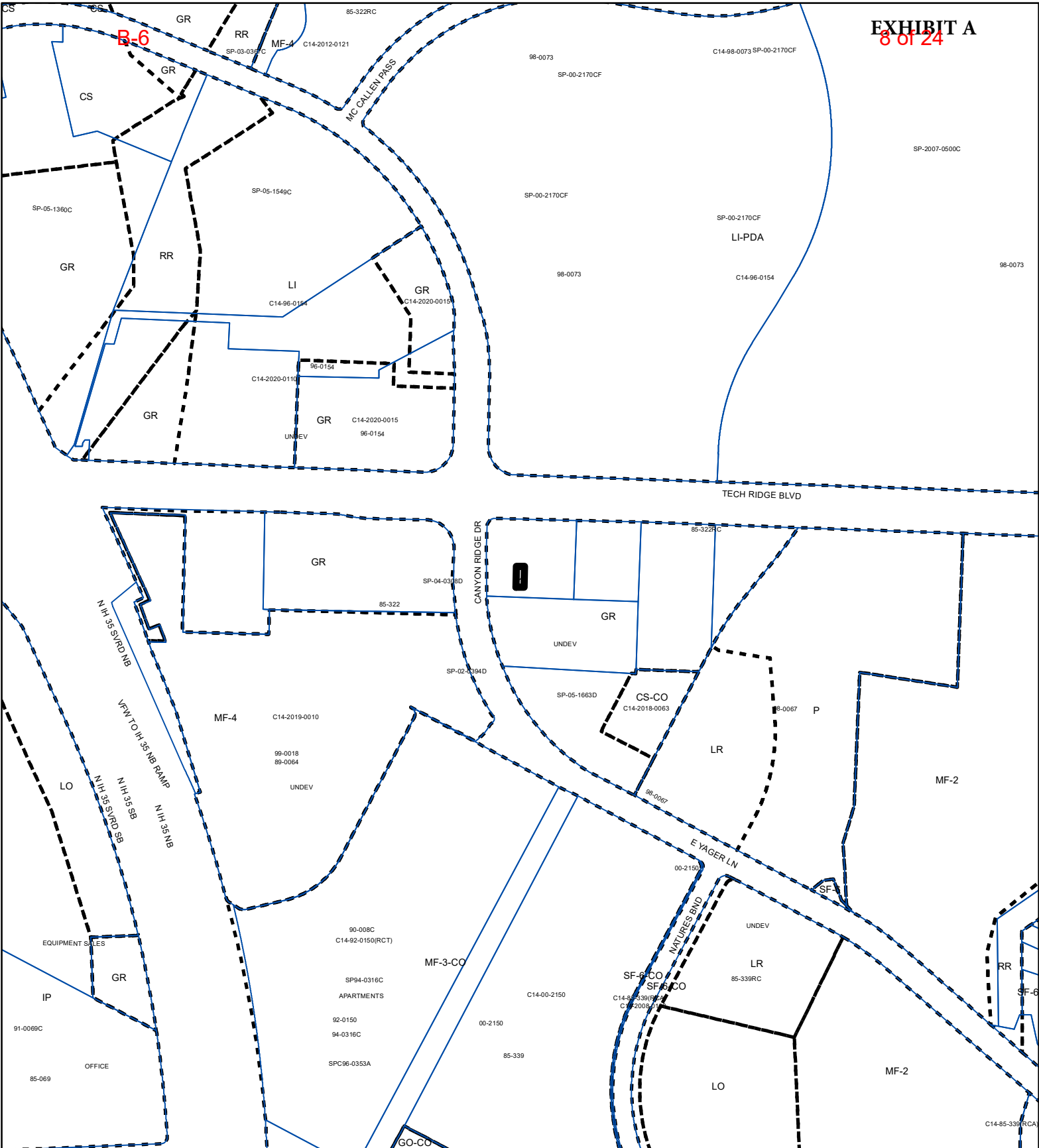
required by the land use. The water and wastewater utility plan must be reviewed and approved by Austin Water for compliance with City criteria and suitability for operation and maintenance.

Depending on the development plans submitted, water and or wastewater service extension requests may be required. All water and wastewater construction must be inspected by the City of Austin.

The landowner must pay the City inspection fee with the utility construction. The landowner must pay the tap and impact fee once the landowner makes an application for a City of Austin water and wastewater utility tap permit.

INDEX OF EXHIBITS TO FOLLOW

- A: Zoning Map
- B. Aerial Map
- C. Approved Site Plan



ZONING

ZONING CASE#: C14-2021-0024



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

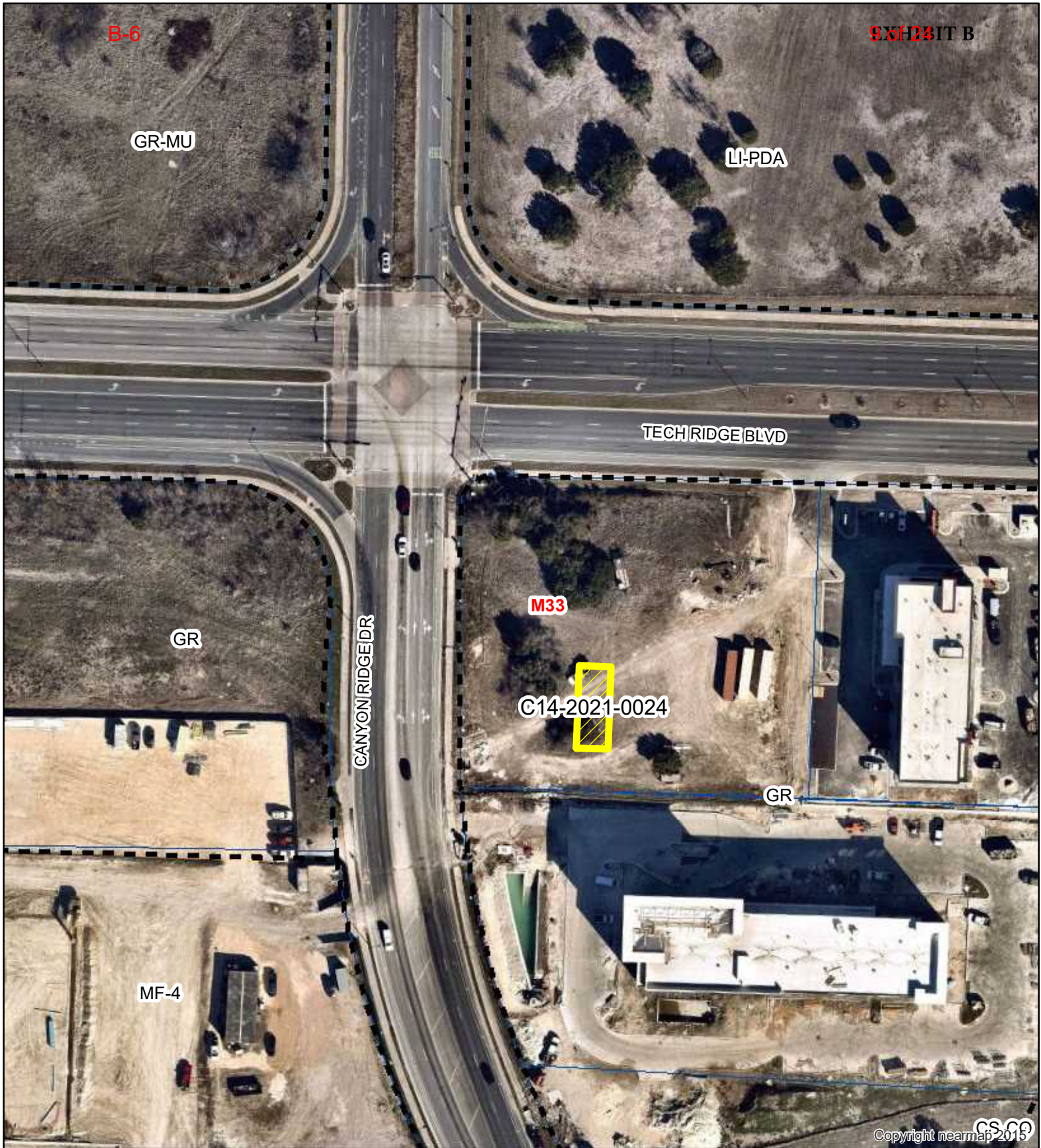
1" = 400'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Housing and Planning Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or



Created: 3/9/2021



SUBJECT TRACT



ZONING BOUNDARY



PENDING CASE



CREEK BUFFER

1" = 100'

Tech Ridge Liquor Store

ZONING CASE#: C14-2021-0024
 LOCATION: 12401 Tech Ridge Blvd.
 SUBJECT AREA: 0.037Acres
 GRID: M33
 MANAGER: Sherri Sirwaitis



This map has been produced by the Communications Technology Management Dept. on behalf of the Planning Development Review Dept. for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

ACCESSIBLE SITE PLAN NOTE:

- 1) ACCESSIBLE ROUTES WITHIN THE BOUNDARY OF THE SITE MUST BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING AND PASSENGER LOADING ZONES, AND PUBLIC STREETS OR SIDEWALKS TO THE ACCESSIBLE BUILDING ENTRANCE THEY SERVE. [IBC1104.1].
- 2) ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50. [ANSI 403.3].
- 3) OUTDOOR RAMPS AND THEIR APPROACHES MUST BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES. [ANSI 405.10].
- 4) CHANGES IN LEVEL GREATER THAN 1/2 INCH MUST BE ACCOMPLISHED BY MEANS OF A CURB RAMP, RAMP, ELEVATOR, OR PLATFORM LIFT. STAIRS SHALL NOT BE PART OF AN ACCESSIBLE ROUTE. [ANSI 405.9].
- 5) GROUND SURFACES ALONG ACCESSIBLE ROUTES MUST BE STABLE, FIRM, AND SLIP RESISTANT. [ANSI 302.1]. SURFACE TEXTURE SHALL BE PROVIDED.
- 6) PARKING ACCESS AISLES MUST BE PART OF THE ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND MUST HAVE A RUNNING SLOPE NO GREATER THAN 1:20 AND A CROSS SLOPE NO GREATER THAN 1:50. [ANSI 502.5].
- 7) PARKED VEHICLE OVERHANGS MUST NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE CIRCULATION ROUTE TO LESS THAN 36". WIDEN THE SIDEWALK TO A MINIMUM OF 5 FEET OR PROVIDE WHEEL STOPS 1.5 FEET FROM THE CURB. [ANSI 403.5, TABLE 403.5].
- 8) CURB RAMPS MUST BE PROVIDED WHEREVER AN ACCESSIBLE ROUTE CROSSES A CURB. [ANSI 406.1].
- 9) IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, IT MUST HAVE FLARED SIDES. IF THE LEVEL LANDING AT THE TOP OF THE RAMP IS LESS THAN 48" WIDE, THE SLOPE OF THE FLARE MAY NOT EXCEED 1:12; OTHERWISE, THE MAXIMUM SLOPE OF THE FLARE IS 1:10. CURB RAMPS WITH RETURNED CURBS MAY BE USED WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. [ANSI 406.3, FIG. 406.3, TCM FIG. 4-1, 4-5].
- 10) CURB RAMPS AT MARKED CROSSINGS MUST BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES. [ANSI 406.6].
- 11) EVERY ACCESSIBLE PARKING SPACE MUST BE IDENTIFIED BY A SIGN, CENTERED AT THE HEAD OF THE PARKING SPACE. THE SIGN MUST INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE RESERVED, OR EQUIVALENT LANGUAGE. CHARACTERS AND SYMBOLS ON SUCH SIGNS MUST BE LOCATED 60" MINIMUM ABOVE GROUND SO THAT THEY CANNOT BE OBTURED BY A VEHICLE PARKED IN THE SPACE.
- 12) APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
- 13) ALL SIDEWALK AND ACCESSIBLE ROUTE SHALL BE CONCRETE FINISH.

GENERAL LEGEND	
	PROPERTY LINE
	LIMITS OF CONSTRUCTION
	SILT FENCE
	SILT FENCE & LOC
	PUE PUBLIC UTILITY EASEMENT
	DE DRAINAGE EASEMENT
	EE ELECTRICAL EASEMENT
	SSE SANITARY SEWER EASEMENT
	WSEL WATER SURFACE ELEVATION
	CMP CORRUGATED METAL PIPE
	ELEV. EXISTING CONTOURS
	ELEV. PROPOSED GRADING CONTOURS
UTILITY LEGEND	
	FIRE HYDRANT
	GATE VALVE
	PLUG OR CAP
	STORM SEWER MANHOLE
	WASTEWATER MANHOLE
	WW CLEAN-OUT
	WATER LINE
	WASTEWATER LINE
	STORM SEWER LINE
	GAS LINE
	FLOW INDICATOR (SHOWN TO RIGHT)
	PROPOSED SERVICE TAP
	WATER METER
	IRRIGATION METER
	STORM SEWER INLET
	WATER SERVICE (SINGLE)
	WATER SERVICE (DOUBLE)
	UTILITY POLE
	LIGHT POLE
	OVERHEAD ELECTRIC
	WIRE FENCE
	UNDERGROUND ELECTRICAL LINE
EROSION CONTROL LEGEND	
	TREE (EXISTING)
	TREE (TO BE REMOVED) (R)
	TREE PROTECTION

SITE INFORMATION TABLE

LOT AREA	69,434.64 SF	1.594 ACRES
IMPERVIOUS COVER EXISTING	0 SF	
IMPERVIOUS COVER PROPOSED	55,464.21 SF	1.273 ACRES
TOTAL IMPERVIOUS COVER	55,464.21 SF	1.273 ACRES (79.86%)
ZONING	OR	
PROPOSED USAGE	GENERAL RETAIL SALES(CONVENIENCE), RESTAURANT(LIMITED), SERVICE STATION	

IMPERVIOUS COVER TABLE

BUILDING	7,940.70 SF
PARKING	43,806.75 SF
SIDEWALK	42,834.13 SF
TOTAL	55,464.21 SF
ALLOWABLE IMPERVIOUS COVER	80%

BUILDING INFORMATION TABLE

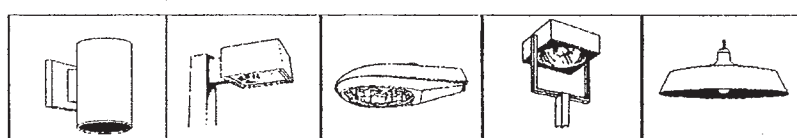
BUILDING COVERAGE	7,940.70 SF
NUMBER OF STORIES	1
TYPE OF CONSTRUCTION	II-B
MAX. BUILDING HEIGHT	28'-0"
ALLOWABLE BUILDING HEIGHT	60'-0"
ALLOWABLE F.A.R.	1:1
PROPOSED F.A.R.	1:0.114

PARKING TABLE

TOTAL PARKING SPACES REQUIRED	42
GENERAL RETAIL 5,962.50sf/275=22	
RESTAURANT 2,000sf/100=20	
TOTAL PARKING SPACES PROVIDED	42
SUMMARY OF PARKING SPACES	
PROVIDED STANDARD SPACES	31
PROVIDED COMPACT SPACES	9
PROVIDED HANDICAP VAN	1
PROVIDED STANDARD HANDICAP	1
PROVIDED LOADING SPACE	1

ELECTRIC UTILITY NOTES

1. AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
2. THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
3. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
4. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.



EXTERIOR LIGHTING NOTE:

FIGURE 42

1. ALL EXTERIOR LIGHTING WILL BE FULLY CUT-OFF OR FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E 2.5.2. ALL SITE LIGHTING TO BE LOCATED ON THE BUILDING WILL BE IN COMPLIANCE WITH SUBCHAPTER E 2.5.2, AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E
2. EXTERIOR LIGHTING ABOVE THE SECOND FLOOR IS PROHIBITED IN THE G, U, R, OR, CS, OR CS-1 ZONING DISTRICTS, WHEN ADJACENT TO AN SF-5 OR MORE RESTRICTIVE ZONING DISTRICT (SECTION 25-2-585).

IMPROVEMENTS TO ENCOURAGE CONNECTIVITY

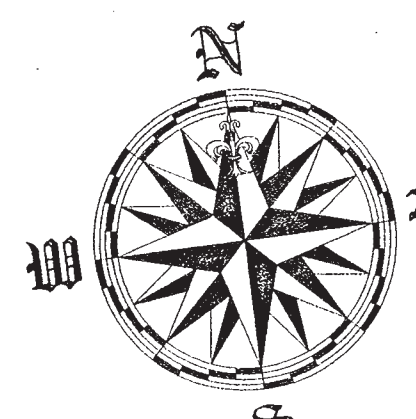
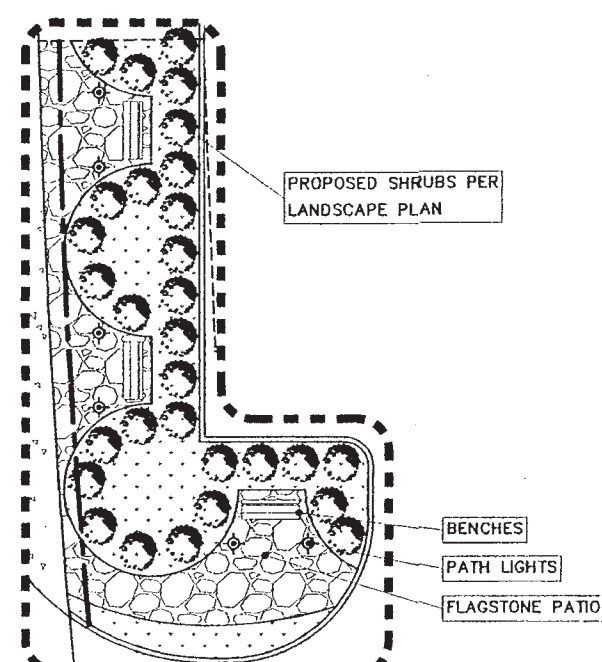
- 1) LIMIT CURB CUTS.
- 2) FOR SITES WITH A SINGLE BUILDING, PROVIDE SHADED SIDEWALKS ALONG 100% OF THE BUILDING FACADE TO THE PRINCIPAL STREET. PROVIDED SHADED SIDEWALKS ALONG 100% OF TECH RIDGE BLVD.

SITE PLAN NOTES:

1. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE PLANNING AND DEVELOPMENT REVIEW DEPARTMENT.
2. APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL NOR BUILDING PERMIT APPROVAL.
3. ALL SIGNS MUST COMPLY WITH REQUIREMENTS OF THE LAND DEVELOPMENT CODE (CHAPTER 25-10).
4. ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
5. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN.
6. A DEVELOPMENT PERMIT MUST BE ISSUED PRIOR TO AN APPLICATION FOR BUILDING PERMIT FOR NON-CONSOLIDATED OR PLANNING COMMISSION APPROVED SITE PLANS.
7. FOR DRIVEWAY CONSTRUCTION: THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGE TO UTILITIES.
8. FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A ROW EXCAVATION PERMIT IS REQUIRED.
9. SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.
10. ALL COMPACT PARKING TO BE SIGNED FOR SMALL CAR ONLY.

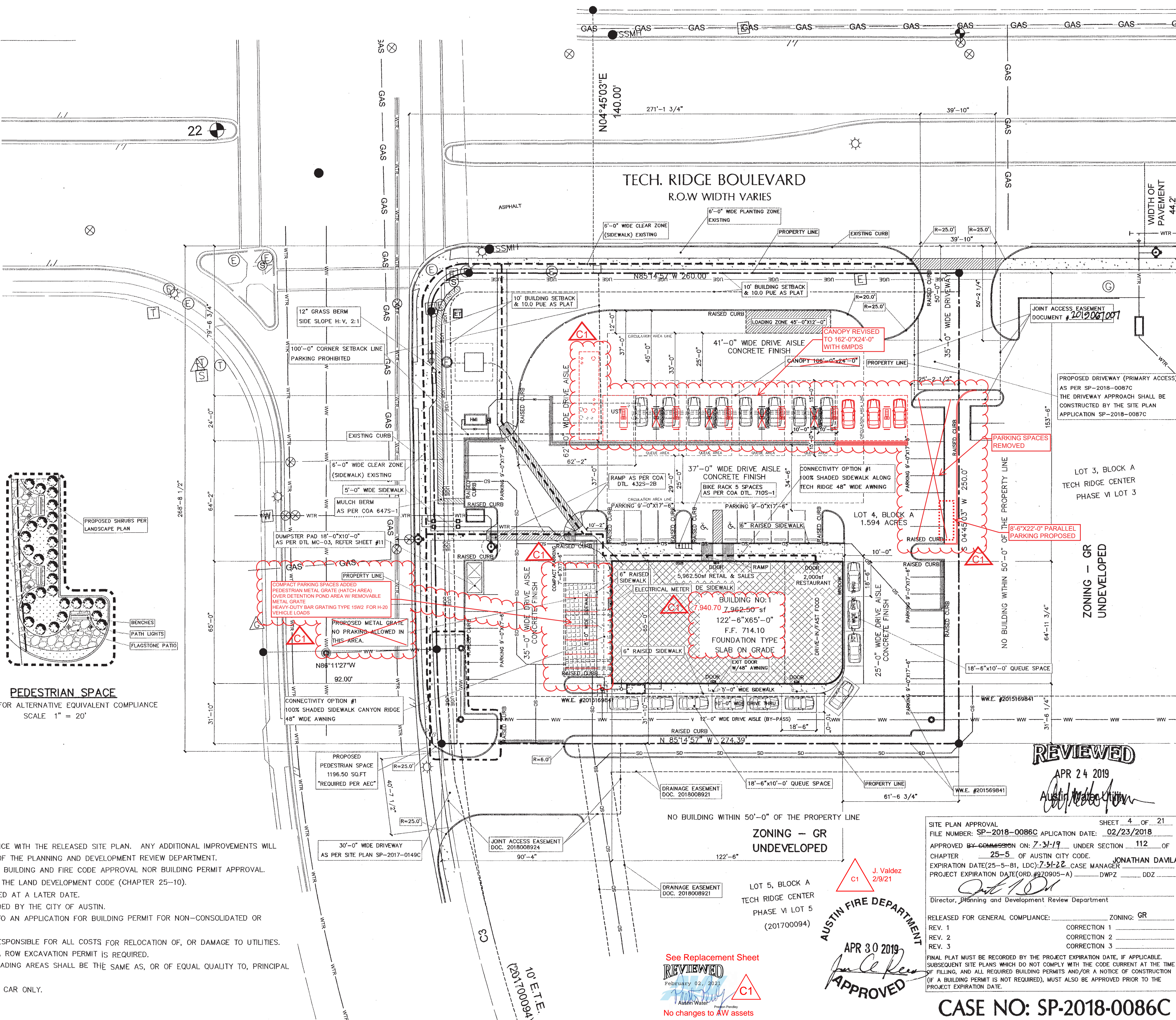
PEDESTRIAN SPACE

REQUIRED FOR ALTERNATIVE EQUIVALENT COMPLIANCE
SCALE 1" = 20'



SCALE 1"=30'

0 30 60 120



TECH RIDGE GAS STATION
12401 TECH RIDGE BLVD.
AUSTIN, TEXAS 78753

PROFESSIONAL STRUCTURAL ENGINEERS, INC.
CONSULTING CIVIL AND STRUCTURAL ENGINEERS
12710 RESEARCH BLVD., SUITE 300, AUSTIN, TX 78759 TEL: 512.238.6422 FAX: 512.238.8065

PROJECT: 30204

SHEET: 4 OF 21

TECH RIDGE GAS STATION
12401 TECH RIDGE BLVD.
AUSTIN, TEXAS 78753

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PROJECT: 30204

SHEET: 4 OF 21

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SHEET: 4 OF 21

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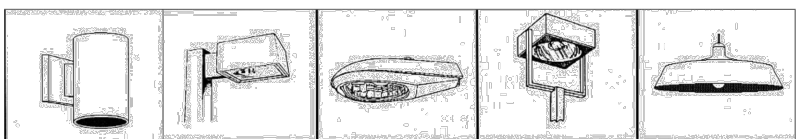
PROJECT: 30204

SHEET: 4 OF 21

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- 9) IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, IT MUST HAVE FLARED SIDES. IF THE LEVEL LANDING AT THE TOP OF THE RAMP IS LESS THAN 48" WIDE, THE SLOPE OF THE FLARE MAY NOT EXCEED 1:12; OTHERWISE, THE MAXIMUM SLOPE OF THE FLARE IS 1:10. CURB RAMPS WITH RETURNED CURBS MAY BE USED WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. [ANSI 406.3, FIG. 406.3, TCM FIG. 4-1, 4-5]
- 10) CURB RAMPS AT MARKED CROSSINGS MUST BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES. [ANSI 406.6]
- 11) EVERY ACCESSIBLE PARKING SPACE MUST BE IDENTIFIED BY A SIGN, CENTERED AT THE HEAD OF THE PARKING SPACE. THE SIGN MUST INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE RESERVED, OR EQUIVALENT LANGUAGE. CHARACTERS AND SYMBOLS ON SUCH SIGNS MUST BE LOCATED 60" MINIMUM ABOVE GROUND SO THAT THEY CANNOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.
- 12) APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
- 13) ALL SIDEWALK AND ACCESSIBLE ROUTE SHALL BE CONCRETE FINISH.

IMPERVIOUS COVER TABLE				
BUILDING	7,940.70	SF		
PARKING	43,806.75	SF		
SIDEWALK	3,716.76	SF		
TOTAL	55,464.21	SF	1.273 ACRES	79.86%
ALLOWABLE IMPERVIOUS COVER	80%			
BUILDING INFORMATION TABLE				
BUILDING COVERAGE	7,940.70	SF		
NUMBER OF STORIES	1			
TYPE OF CONSTRUCTION	II-B			
MAX. BUILDING HEIGHT	28'-0"			
ALLOWABLE BUILDING HEIGHT	60'-0"			
ALLOWABLE F.A.R.	1:1			
PROPOSED F.A.R.	1:0.114			

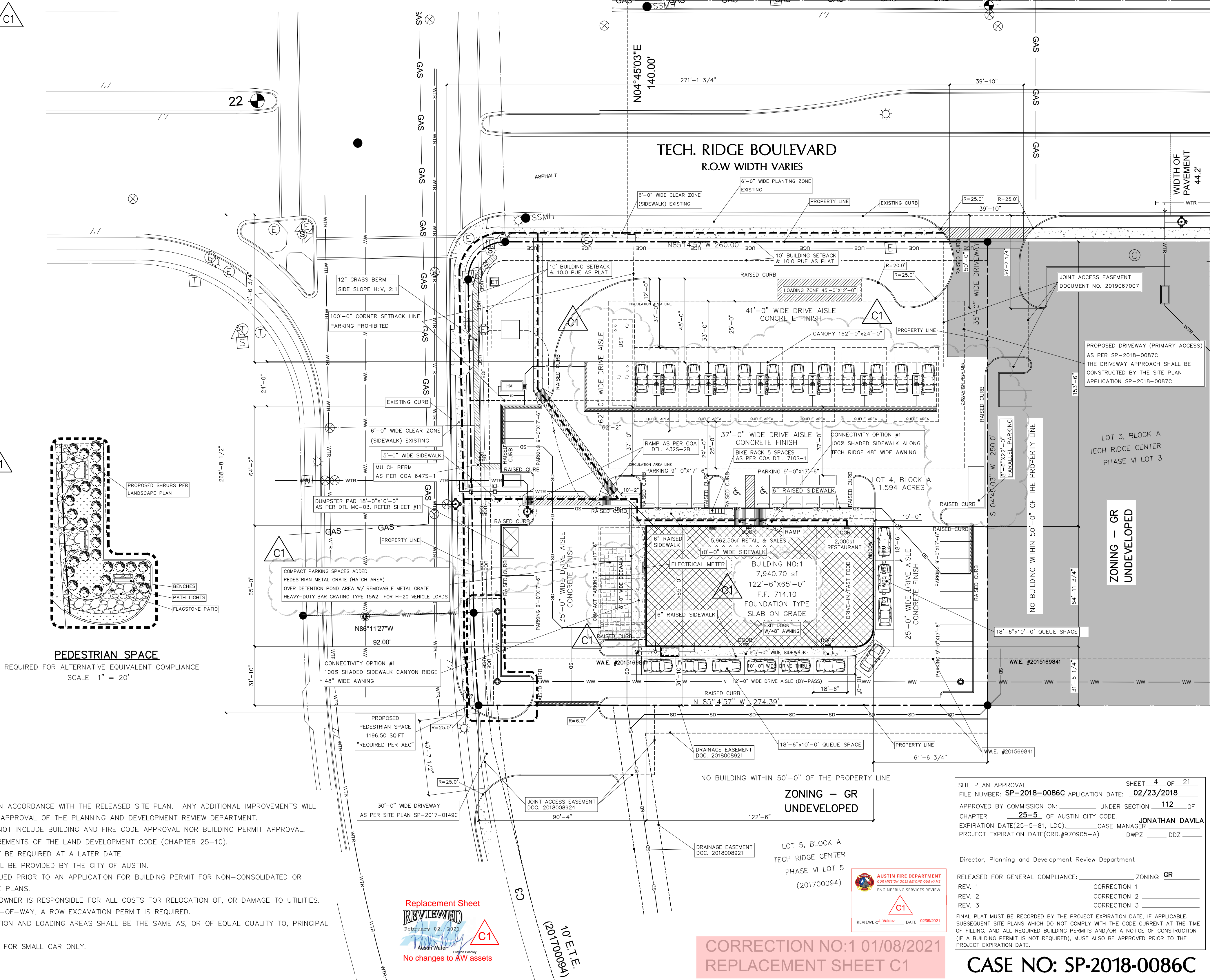
1. AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
2. THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
3. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, VEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
4. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.



1. ALL EXTERIOR LIGHTING WILL BE FULLY CUT-OFF OR FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E 2.5.2. ALL SITE LIGHTING TO BE LOCATED ON THE BUILDING WILL BE IN COMPLIANCE WITH SUBCHAPTER E 2.5.2, AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E
2. EXTERIOR LIGHTING ABOVE THE SECOND FLOOR IS PROHIBITED IN THE GO, LR, GR, CS, OR CS-1 ZONING DISTRICTS, WHEN ADJACENT TO AN SF-5 OR MORE RESTRICTIVE ZONING DISTRICT (SECTION 25-2--585).

- IMPROVEMENTS TO ENCOURAGE CONNECTIVITY
- 1) LIMIT CURB CUTS.
 - 2) FOR SITES WITH A SINGLE BUILDING, PROVIDE SHADED SIDEWALKS ALONG 100% OF THE BUILDING FACADE TO THE PRINCIPAL STREET. PROVIDED SHADED SIDEWALKS ALONG 100% OF TECH RIDGE BLVD.

1. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE PLANNING AND DEVELOPMENT REVIEW DEPARTMENT.
2. APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL NOR BUILDING PERMIT APPROVAL.
3. ALL SIGNS MUST COMPLY WITH REQUIREMENTS OF THE LAND DEVELOPMENT CODE (CHAPTER 25-10).
4. ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
5. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN.
6. A DEVELOPMENT PERMIT MUST BE ISSUED PRIOR TO AN APPLICATION FOR BUILDING PERMIT FOR NON-CONSOLIDATED OR PLANNING COMMISSION APPROVED SITE PLANS.
7. FOR DRIVEWAY CONSTRUCTION: THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGE TO UTILITIES.
8. FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A ROW EXCAVATION PERMIT IS REQUIRED.
9. SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.
10. ALL COMPACT PARKING TO BE SIGNED FOR SMALL CAR ONLY.



Replacement Sheet

REVIEWED

February 02, 2021

[Signature]

Austin Water

Proston Pandley

C1

No changes to AW assets

CORRECTION NO:1 01/08/2021
REPLACEMENT SHEET C1

CASE NO: SP-2018-0086C

[illegible]

PROFESSIONAL STRUCIVIL ENGINEERS, INC.
CONSULTING CIVIL AND STRUCTURAL ENGINEERS

12710 RESEARCH BLVD., SUITE 390, AUSTIN, TX 78759 | TEL. 512.238.6422 | FAX 512.258.8095

P E

Project : **TECH RIDGE GAS STATION**
12401 TECH RIDGE BLVD.
AUSTIN, TEXAS 78753

Title : **DIMENSIONAL & FIRE SITE PLAN**

GENERAL LEGEND

—

PROPERTY LINE

LIMITS OF CONSTRUCTION

SILT FENCE

SILT FENCE & LOC

PUE

PUBLIC UTILITY EASEMENT

DE

DRAINAGE EASEMENT

EE

ELECTRICAL EASEMENT

SSE

SANITARY SEWER EASEMENT

WSEL

WATER SURFACE ELEVATION

CMP

CORRUGATED METAL PIPE

ELEV. EXISTING CONTOURS

ELEV. PROPOSED GRADING CONTOURS

UTILITY LEGEND

FIRE HYDRANT

GATE VALVE

PLUG OR CAP

STORM SEWER MANHOLE

WASTEWATER MANHOLE

WW CLEAN-OUT

WATER LINE

WASTEWATER LINE

STORM SEWER LINE

GAS LINE

FLOW INDICATOR (SHOWN TO RIGHT)

PROPOSED SERVICE TAP

WATER METER

IRRIGATION METER

STORM SEWER INLET

WATER SERVICE (SINGLE)

WATER SERVICE (DOUBLE)

UTILITY POLE

LIGHT POLE

OVERHEAD ELECTRIC

WIRE FENCE

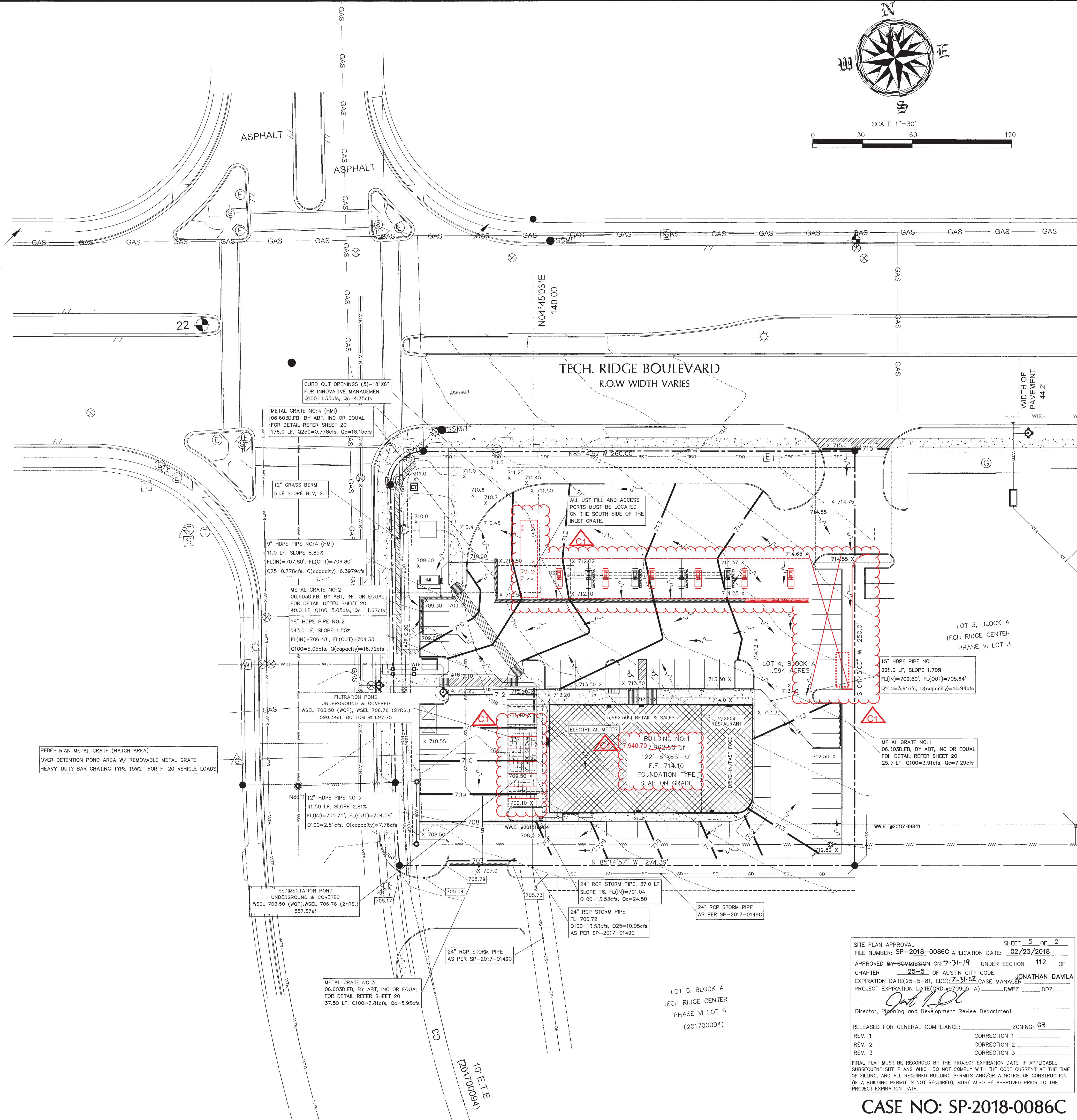
UNDERGROUND ELECTRICAL LINE

EROSION CONTROL LEGEND

TREE (EXISTING)

TREE (TO BE REMOVED) (R)

TREE PROTECTION



SITE PLAN APPROVAL

FILE NUMBER: SP-2018-0086C APPLICATION DATE: 02/23/2018

APPROVED BY: COMMISSION ON: 7-31-19 UNDER SECTION 112 OF CHAPTER 25-5 OF AUSTIN CITY CODE. JONATHAN DAVILA

EXPIRATION DATE(25-5-81, LDC): 7-31-12 CASE MANAGER: DWPZ DDZ

PROJECT EXPIRATION DATE(GRD: 8/7/2025-A)

Director, Planning and Development Review Department

RELEASED FOR GENERAL COMPLIANCE: ZONING: GR

REV. 1 CORRECTION 1

REV. 2 CORRECTION 2

REV. 3 CORRECTION 3

FINAL PLAT MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.

CASE NO: SP-2018-0086C

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHER BAIG, P.E., #82577 ON 04/03/2019 FIRM REGISTRATION F-4951

Rev.	Description	Date	Drawn
6			
5			
4	ISSUED FOR APPROVAL	04/03/19	
3	ISSUED FOR APPROVAL	03/06/19	
2	ISSUED FOR APPROVAL	07/24/19	
1	ISSUED FOR APPROVAL	11/20/18	
0	ISSUED FOR APPROVAL	02/19/18	

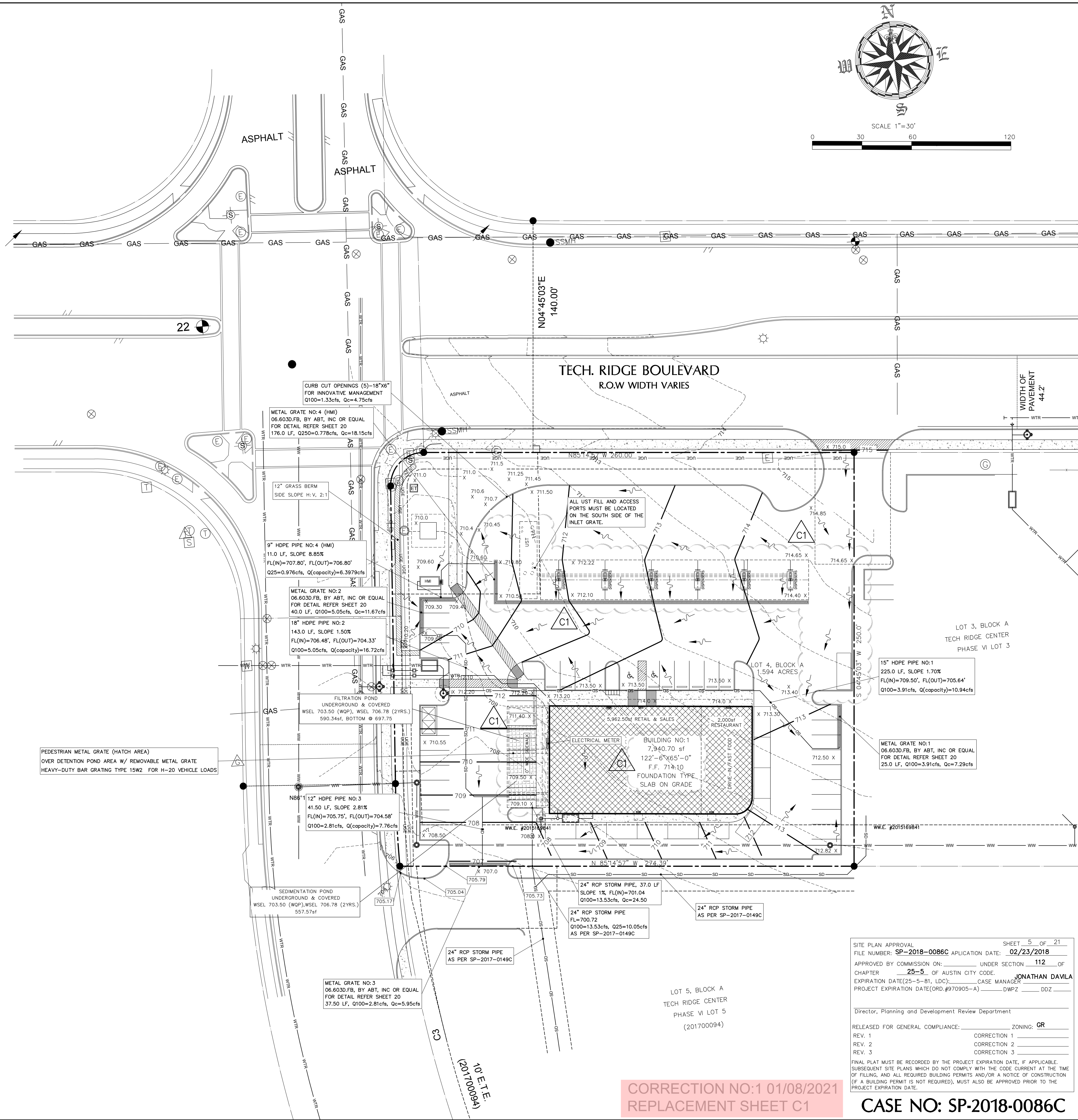
Project: TECH RIDGE GAS STATION 12401 TECH RIDGE BLVD. AUSTIN, TEXAS 78753

30204

Sheet 5 of 21

Professional Strucivil Engineers, Inc. CONSULTING CIVIL AND STRUCTURAL ENGINEERS 12710 RESEARCH BLVD., SUITE 300, AUSTIN, TX 78759 | TEL: 512.238.6421 | FAX: 512.268.8095

Grading and Drainage Site Plan



Project : **TECH RIDGE GAS STATION**
14001 TECH RIDGE BLVD.
AUSTIN, TEXAS 78753

Title : **GRADING AND DRAINAGE SITE PLAN**

PROJECT
30204

SHEET
5
OF 21

P	E	P	E	P	E	P	E	P	E
---	---	---	---	---	---	---	---	---	---

GENERAL LEGEND	
---	PROPERTY LINE
---	LIMITS OF CONSTRUCTION
---	SILT FENCE
---	SILT FENCE & LOC
PUE	PUBLIC UTILITY EASEMENT
DE	DRAINAGE EASEMENT
EE	ELECTRICAL EASEMENT
SSE	SANITARY SEWER EASEMENT
WSEL	WATER SURFACE ELEVATION
CMP	CORRUGATED METAL PIPE
---	ELEV. EXISTING CONTOURS
---	ELEV. PROPOSED GRADING CONTOURS
UTILITY LEGEND	
⊙	FIRE HYDRANT
⊗	GATE VALVE
⊕	PLUG OR CAP
⊙	STORM SEWER MANHOLE
⊙	WASTEWATER MANHOLE
⊙	WW CLEAN-OUT
---	WATER LINE
---	WASTEWATER LINE
---	STORM SEWER LINE
---	GAS LINE
---	FLOW INDICATOR (SHOWN TO RIGHT)
---	PROPOSED SERVICE TAP
---	WATER METER
---	IRRIGATION METER
---	STORM SEWER INLET
---	WATER SERVICE (SINGLE)
---	WATER SERVICE (DOUBLE)
---	UTILITY POLE
---	LIGHT POLE
---	OVERHEAD ELECTRIC
---	WIRE FENCE
---	UNDERGROUND ELECTRICAL LINE
EROSION CONTROL LEGEND	
⊙	TREE (EXISTING)
⊙	TREE (TO BE REMOVED) (R)
---	TREE PROTECTION

ENVIRONMENTAL NOTES:

- 1) IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION MATTING. [ECM 1.4.4.B.3, SECTION 5, I.]
- 2) ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND/OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN-COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS. [LDC 25-8-183]
- 3) CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5(A), OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
- 4) THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY. [ECM 1.4.4.D.4]
- 5) PERPENDICULAR EROSION CONTROLS MUST BE INSTALLED EVERY 30 FEET AS THE TRENCH IS BACKFILLED.

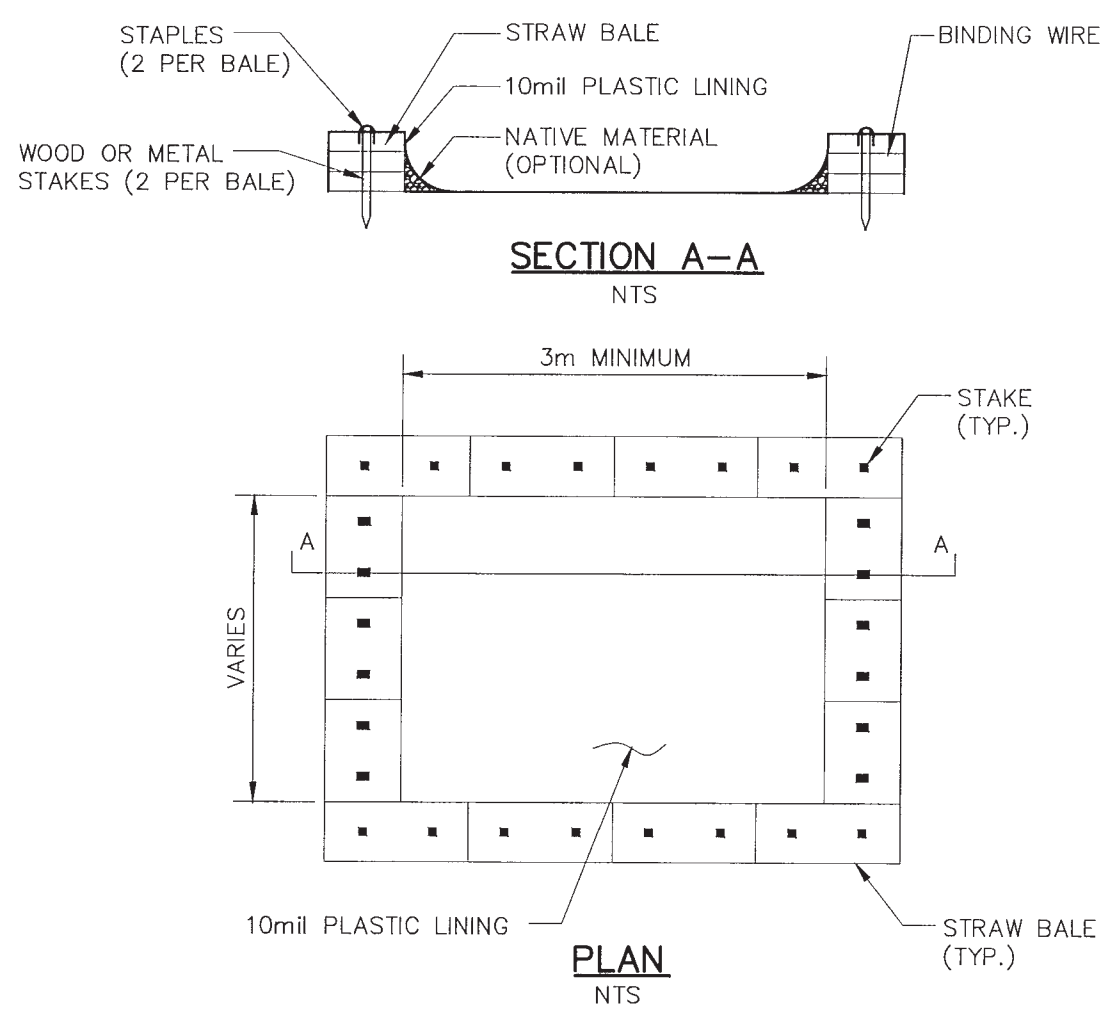
IMPERVIOUS COVER ALLOWED AT 80% X GROSS AREA (1,594)=1,275 ACRES

ALLOWABLE IMPERVIOUS COVER BREAKDOWN BY SLOPE CATEGORY
TOTAL ACREAGE 15-25%= 0 ACRES X 10%= 0.0 ACRESPROPOSED TOTAL IMPERVIOUS COVER 1.273 79.96%
TOTAL PROPOSED IMPERVIOUS COVER 1.257 ACRES 78.88%

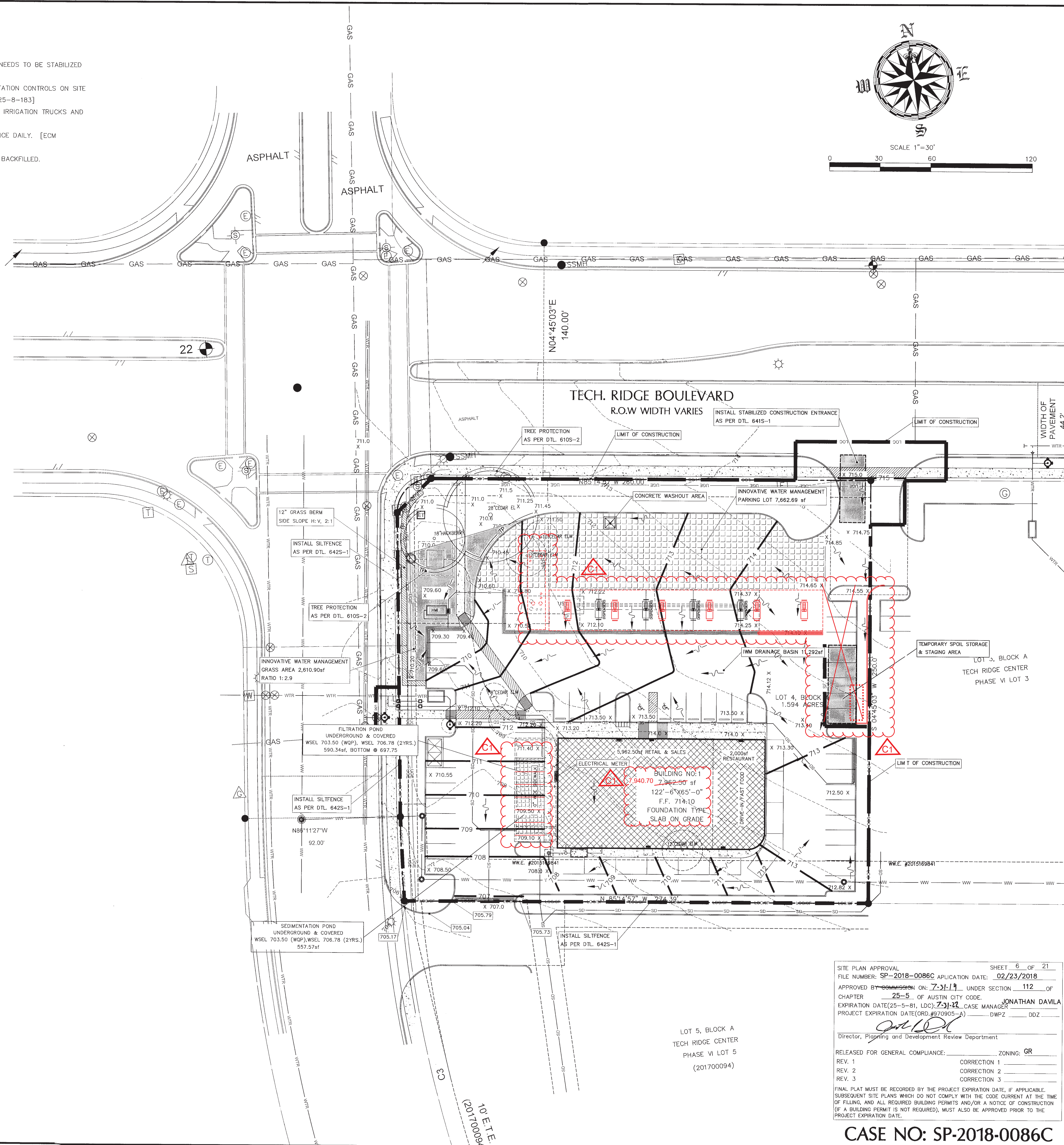
PROPOSED IMPERVIOUS COVER ON SLOPES

SLOPE CATEGORIES	ACRES	BUILDING/AND OTHERS	DRIVEWAYS/ROADWAYS
0-15%	0.183	ACRES (11.48%)	1.09 68.38%
15-25%	0	0	1.074 ACRES (67.37%)
25-35%	0	0	0
OVER 35%	0	0	0

TOTAL SITE AREA 1,594 ACRES



CONCRETE WASHOUT AREA DETAIL



SITE PLAN APPROVAL
FILE NUMBER: SP-2018-0086C APPLICATION DATE: 02/23/2018
APPROVED BY: COMMISSIONER ON: 7-3-19 UNDER SECTION 112 OF CHAPTER 25-5 OF AUSTIN CITY CODE
EXPIRATION DATE(25-5-81, LOC): 7-3-22 CASE MANAGER: JONATHAN DAVILA
PROJECT EXPIRATION DATE(ORD.#970905-A): DWPZ DDZ

Director, Planning and Development Review Department

RELEASED FOR GENERAL COMPLIANCE: ZONING: GR
REV. 1 CORRECTION 1
REV. 2 CORRECTION 2
REV. 3 CORRECTION 3

FINAL PLAT MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE.
SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.

CASE NO: SP-2018-0086C

Project: TECH RIDGE GAS STATION
12401 TECH RIDGE BLVD.
AUSTIN, TEXAS 78753

Title: EROSION & SEDIMENTATION SITE PLAN

Professional Seal: PROFESSIONAL STRUCTURAL ENGINEERS, INC. CONSULTING CIVIL AND STRUCTURAL ENGINEERS
12710 RESEARCH BLVD., SUITE 300, AUSTIN, TX 78759 | TEL. 512.338.6422 | FAX 512.338.8065

Approval Table:

Rev.	Issued For Approval	Date	By	Description
6	ISSUED FOR APPROVAL	04/03/19		
5	ISSUED FOR APPROVAL	03/06/19		
4	ISSUED FOR APPROVAL	07/24/19		
3	ISSUED FOR APPROVAL	11/20/18		
2	ISSUED FOR APPROVAL	02/19/18		
1	ISSUED FOR APPROVAL			
0	ISSUED FOR APPROVAL			

30204

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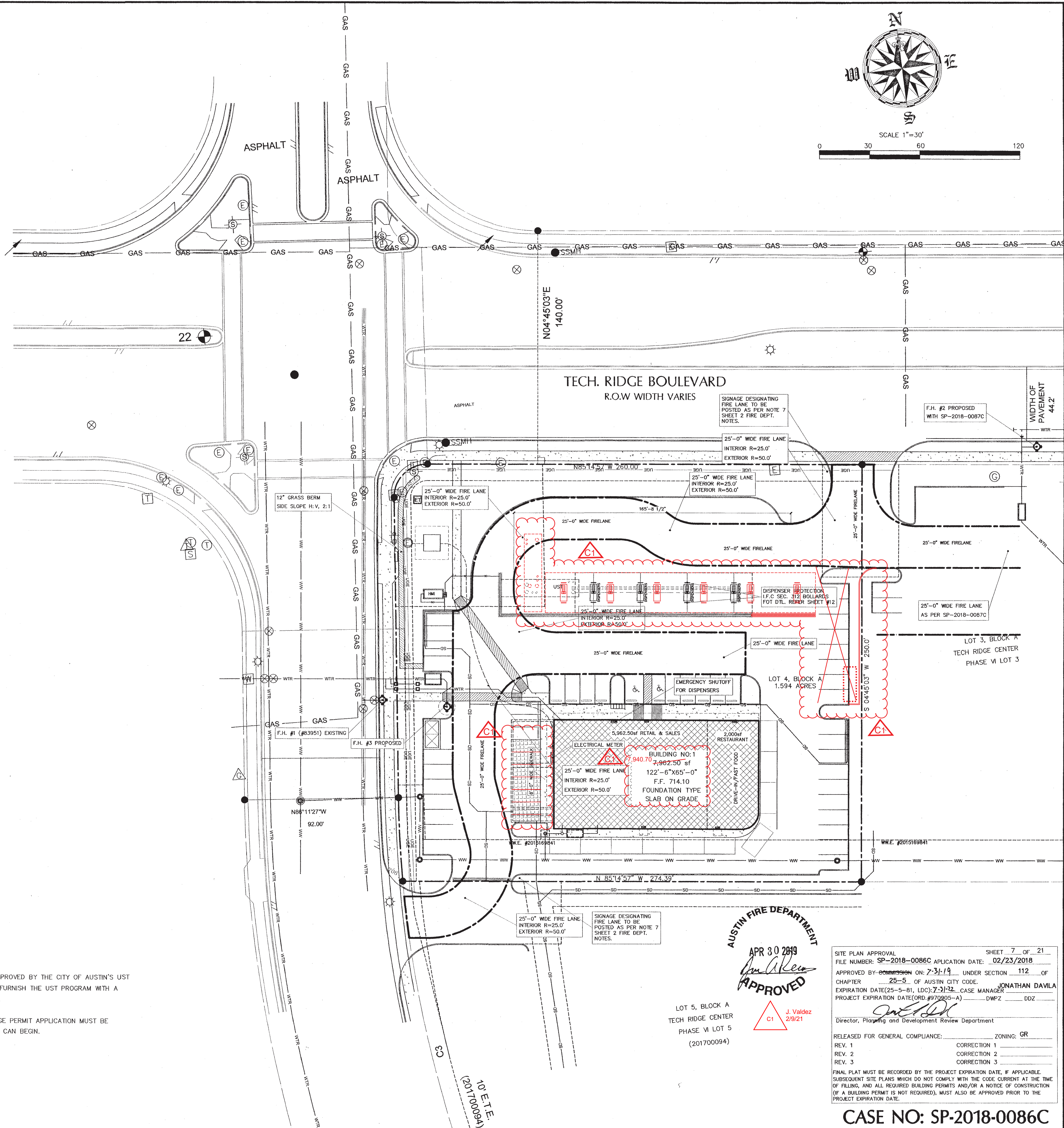
Project : **TECH RIDGE GAS STATION**
12401 TECH RIDGE BLVD.
AUSTIN, TEXAS 78753

Title : **EROSION & SEDIMENTATION SITE PLAN**

PROJECT
30204

SHEET
6
OF 21

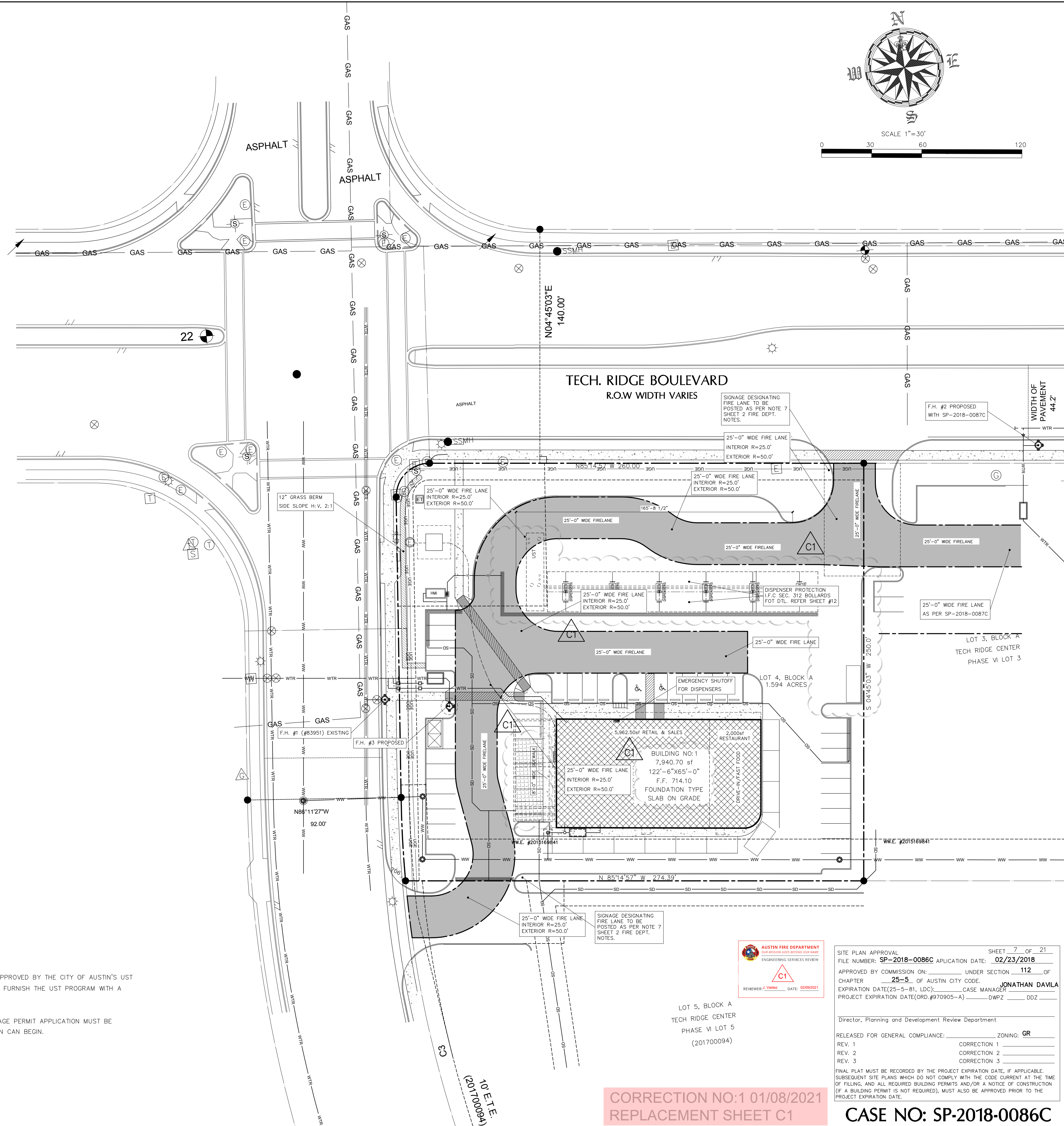
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PRIOR TO GROUND BREAKING AND FUEL BEING DELIVERED TO THE SITE A HAZARDOUS MATERIALS STORAGE PERMIT APPLICATION MUST BE SUBMITTED AND APPROVED BEFORE THE PERMIT TO STORE FUEL IS ISSUED AND THE FUELING OPERATION CAN BEGIN.

CASE NO: SP-2018-0086C

CASE NO: SP-2018-0086C



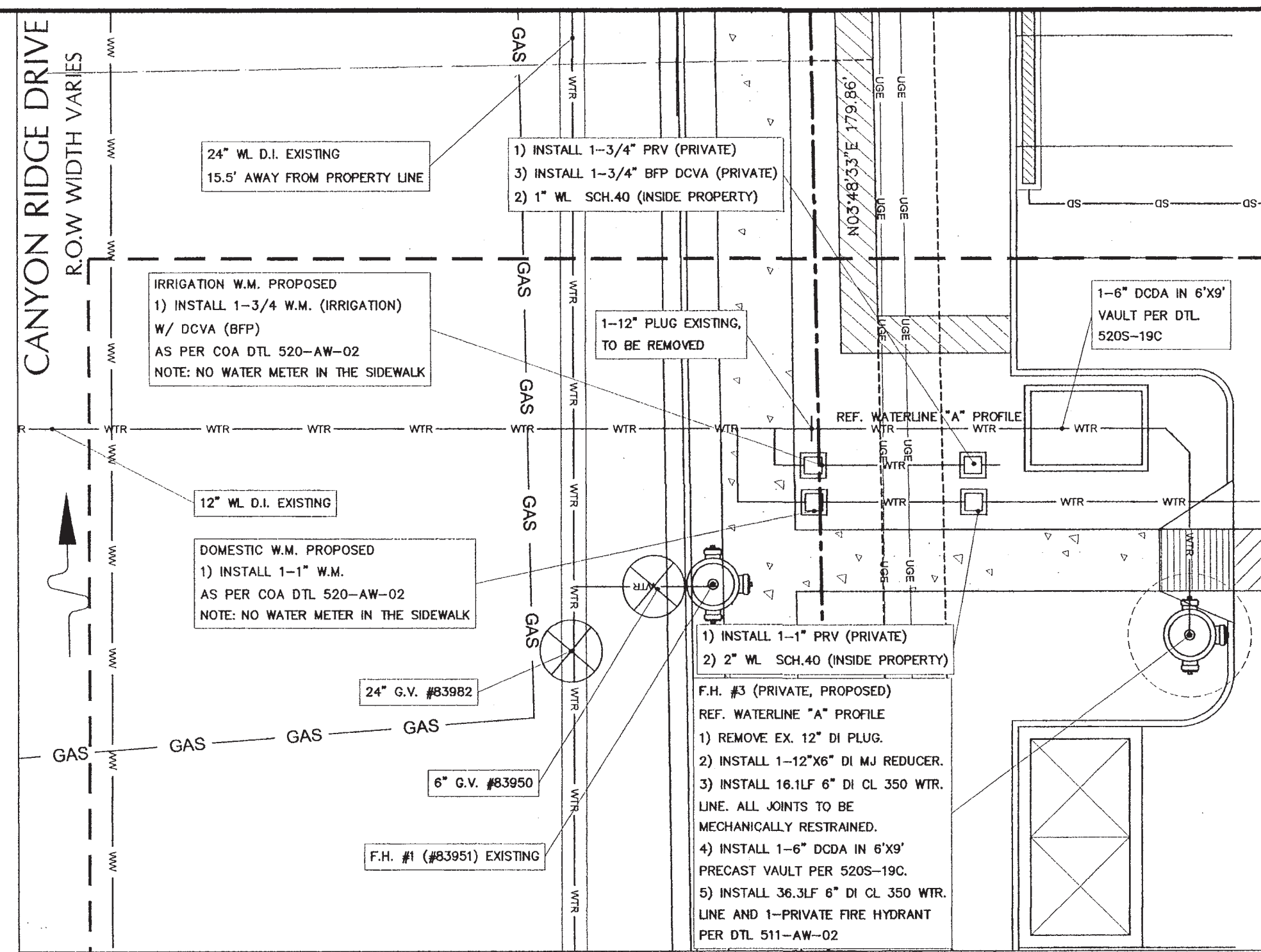
CASE NO: SP-2018-0086C

Project :
TECH RIDGE GAS STATION
 12401 TECH RIDGE BLVD.
 AUSTIN, TEXAS 78753

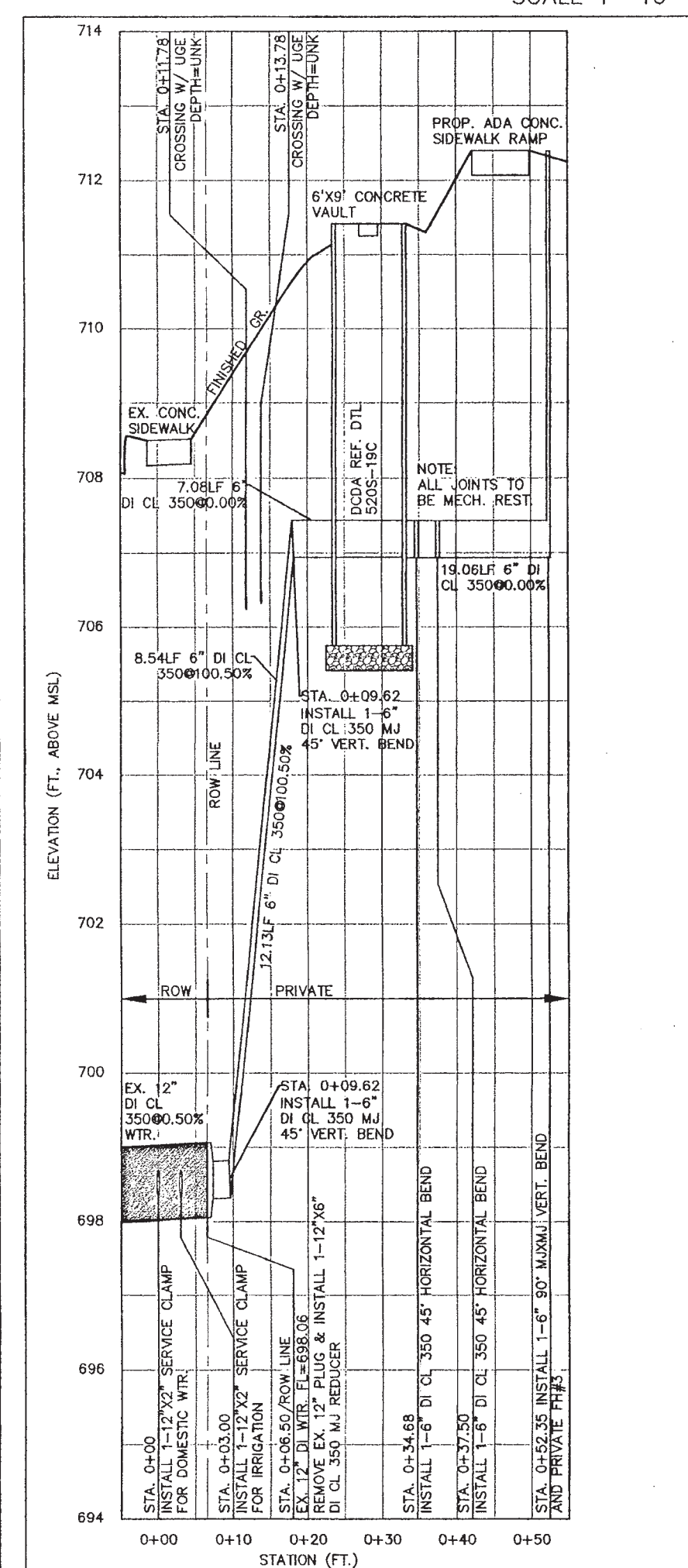
Title :
FIRE LANE SITE PLAN

PROJECT
30204

SHEET
7
 OF 21



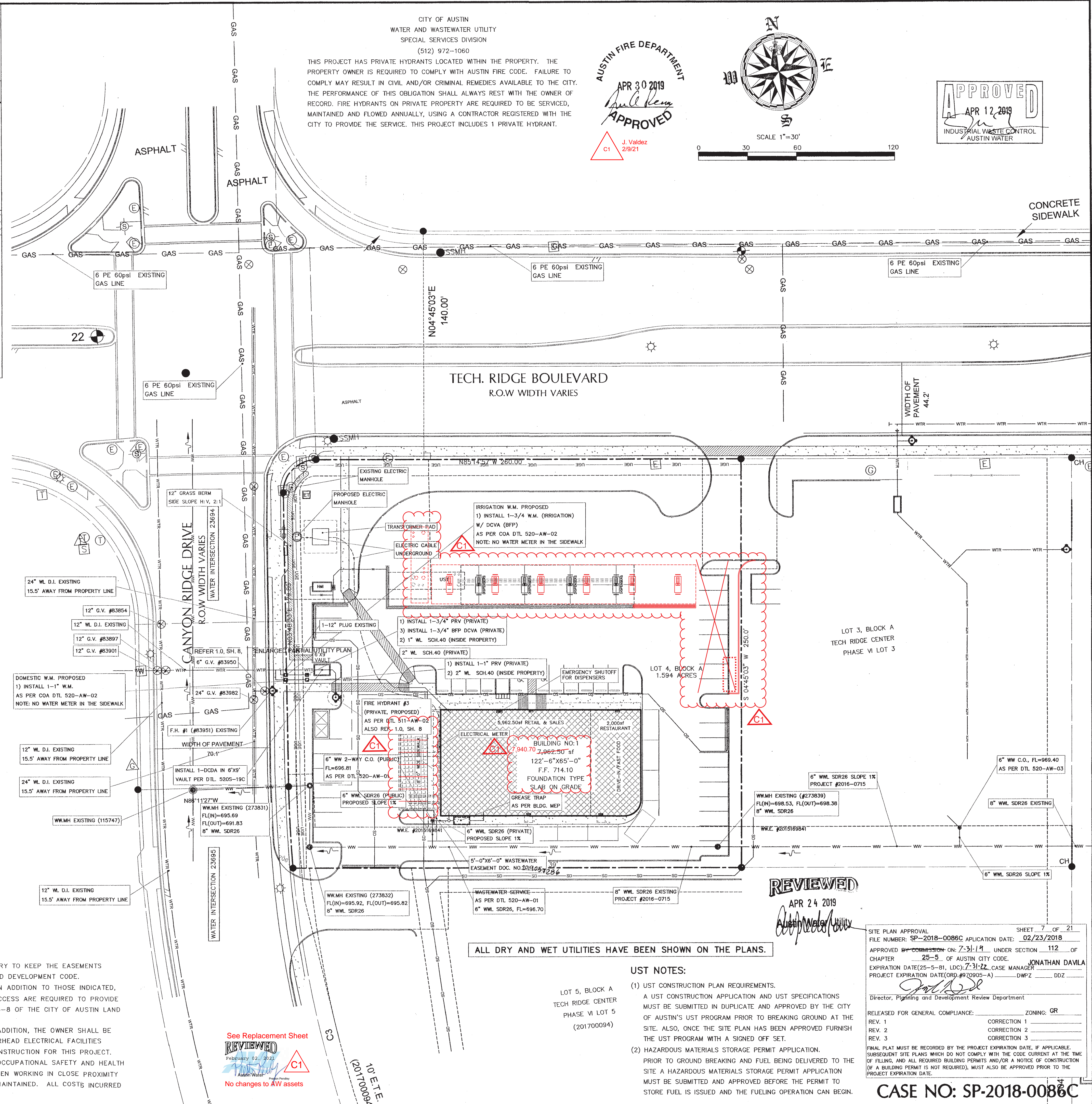
ENLARGED PARTIAL UTILITY PLAN
SCALE 1"=10'-0"



GENERAL LEGEND	
—	PROPERTY LINE
---	LIMITS OF CONSTRUCTION
---	SILT FENCE
---	SILT FENCE & LOG
---	PUE PUBLIC UTILITY EASEMENT
---	DE DRAINAGE EASEMENT
---	EE ELECTRICAL EASEMENT
---	SSE SANITARY SEWER EASEMENT
---	WSEL WATER SURFACE ELEVATION
---	CMP CORRUGATED METAL PIPE
---	ELEV. EXISTING CONTOURS
---	ELEV. PROPOSED GRADING CONTOURS
UTILITY LEGEND	
	FIRE HYDRANT
	GATE VALVE
	PLUG OR CAP
	STORM SEWER MANHOLE
	WASTEWATER MANHOLE
	WW CLEAN-OUT
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	WASTEWATER LINE
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	WATER SERVICE (SINGLE)
	WATER SERVICE (DOUBLE)
	UTILITY POLE
	LIGHT POLE
	WIRE FENCE
	UNDERGROUND ELECTRICAL LINE

ELECTRIC UTILITY NOTES

- AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
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- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.



ALL DRY AND WET UTILITIES HAVE BEEN SHOWN ON THE PLANS.

LOT 5, BLOCK A
TECH RIDGE CENTER
PHASE VI LOT 5
(201700094)

See Replacement Sheet
REVIEWED
February 02, 2021
Austin Water
No changes to AW assets

UST NOTES:

- UST CONSTRUCTION PLAN REQUIREMENTS.
A UST CONSTRUCTION APPLICATION AND UST SPECIFICATIONS MUST BE SUBMITTED IN DUPLICATE AND APPROVED BY THE CITY OF AUSTIN'S UST PROGRAM PRIOR TO BREAKING GROUND AT THE SITE. ALSO, ONCE THE SITE PLAN HAS BEEN APPROVED FURNISH THE UST PROGRAM WITH A SIGNED OFF SET.
- HAZARDOUS MATERIALS STORAGE PERMIT APPLICATION.
PRIOR TO GROUND BREAKING AND FUEL BEING DELIVERED TO THE SITE A HAZARDOUS MATERIALS STORAGE PERMIT APPLICATION MUST BE SUBMITTED AND APPROVED BEFORE THE PERMIT TO STORE FUEL IS ISSUED AND THE FUELING OPERATION CAN BEGIN.

SITE PLAN APPROVAL		SHEET 7 OF 21
FILE NUMBER: SP-2018-0086C APPLICATION DATE: 02/23/2018		
APPROVED BY COMMISSION ON: 7-31-19 UNDER SECTION 112 OF CHAPTER 25-5 OF AUSTIN CITY CODE.		
EXPIRATION DATE(25-5-81, LDC): 7-31-22, CASE MANAGER: JONATHAN DAVILA		
PROJECT EXPIRATION DATE(ORD #70905-A): DWP2 DOZ		
Director, Planning and Development Review Department		
RELEASED FOR GENERAL COMPLIANCE: ZONING: GR		
REV. 1	CORRECTION 1	
REV. 2	CORRECTION 2	
REV. 3	CORRECTION 3	
FINAL PLAN MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.		

CASE NO: SP-2018-0086C

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHR BANG, P.E., #82577 ON 04/03/2019
FIRM REGISTRATION F-4951

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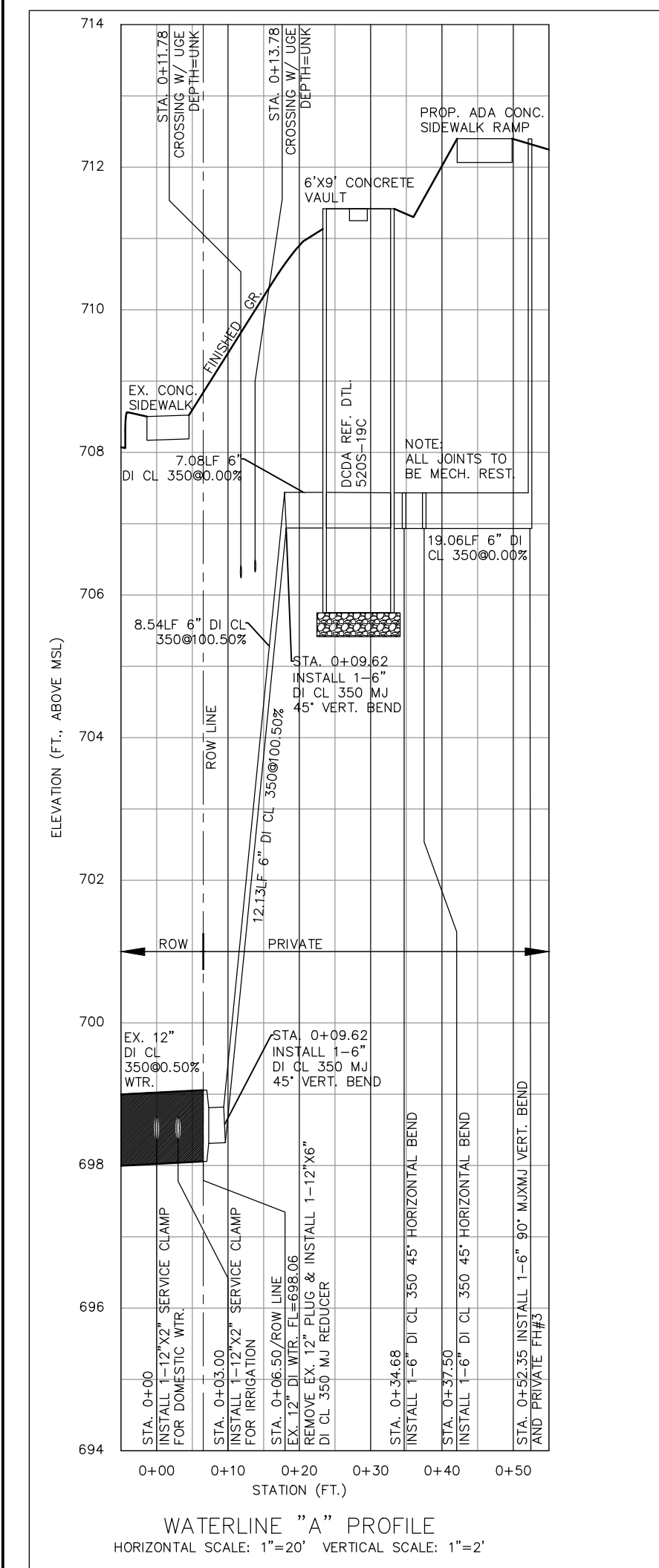
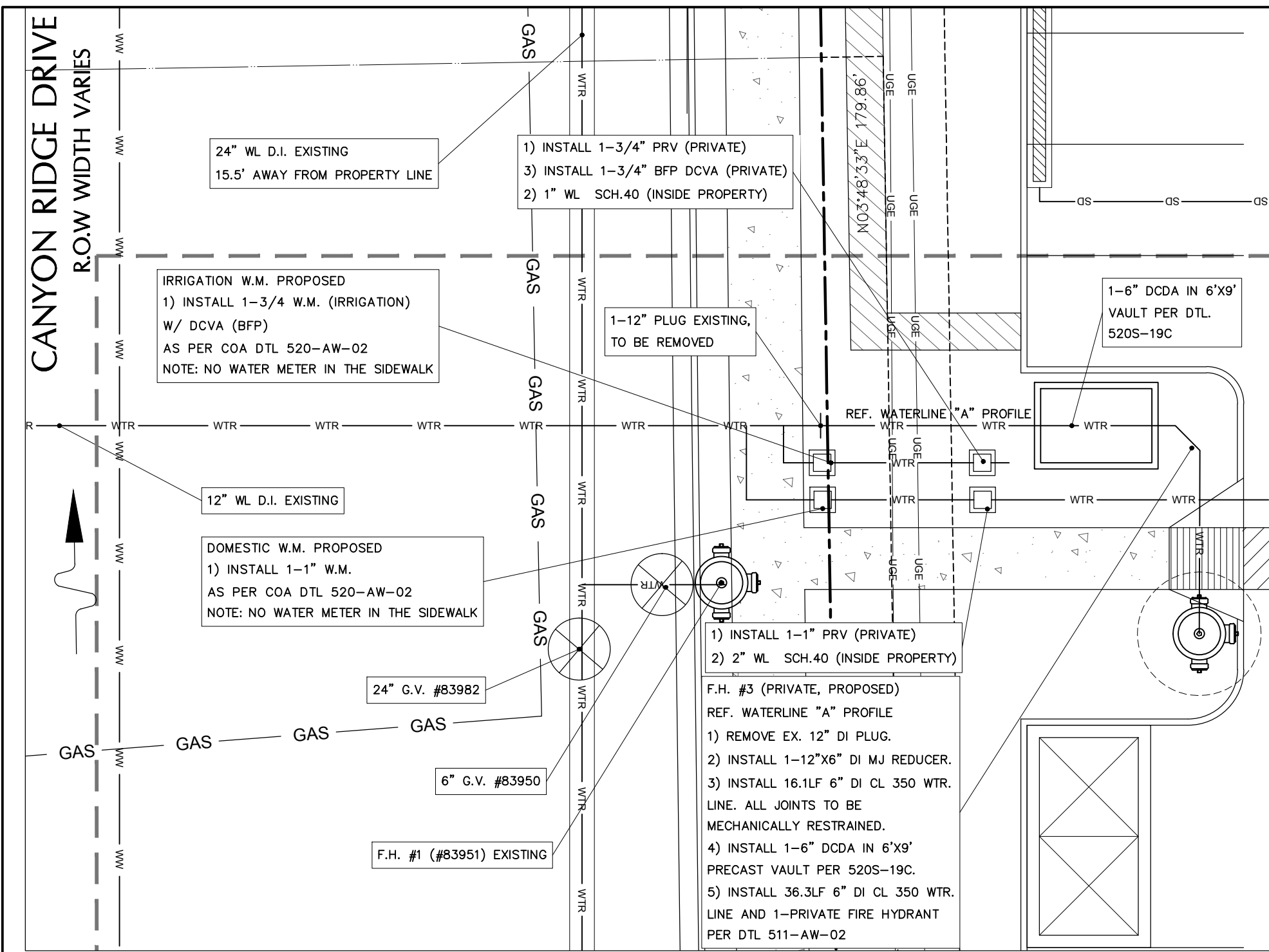
PROFESSIONAL STRUCTURAL ENGINEERS, INC.
CONSULTING CIVIL AND STRUCTURAL ENGINEERS
12710 RESEARCH BLVD., SUITE 350, AUSTIN, TX 78751 TEL: 512.238.6422 FAX: 512.238.6595

TECH RIDGE GAS STATION
12401 TECH RIDGE BLVD.
AUSTIN, TEXAS 78753

UTILITY SITE PLAN

PROJECT: 30204

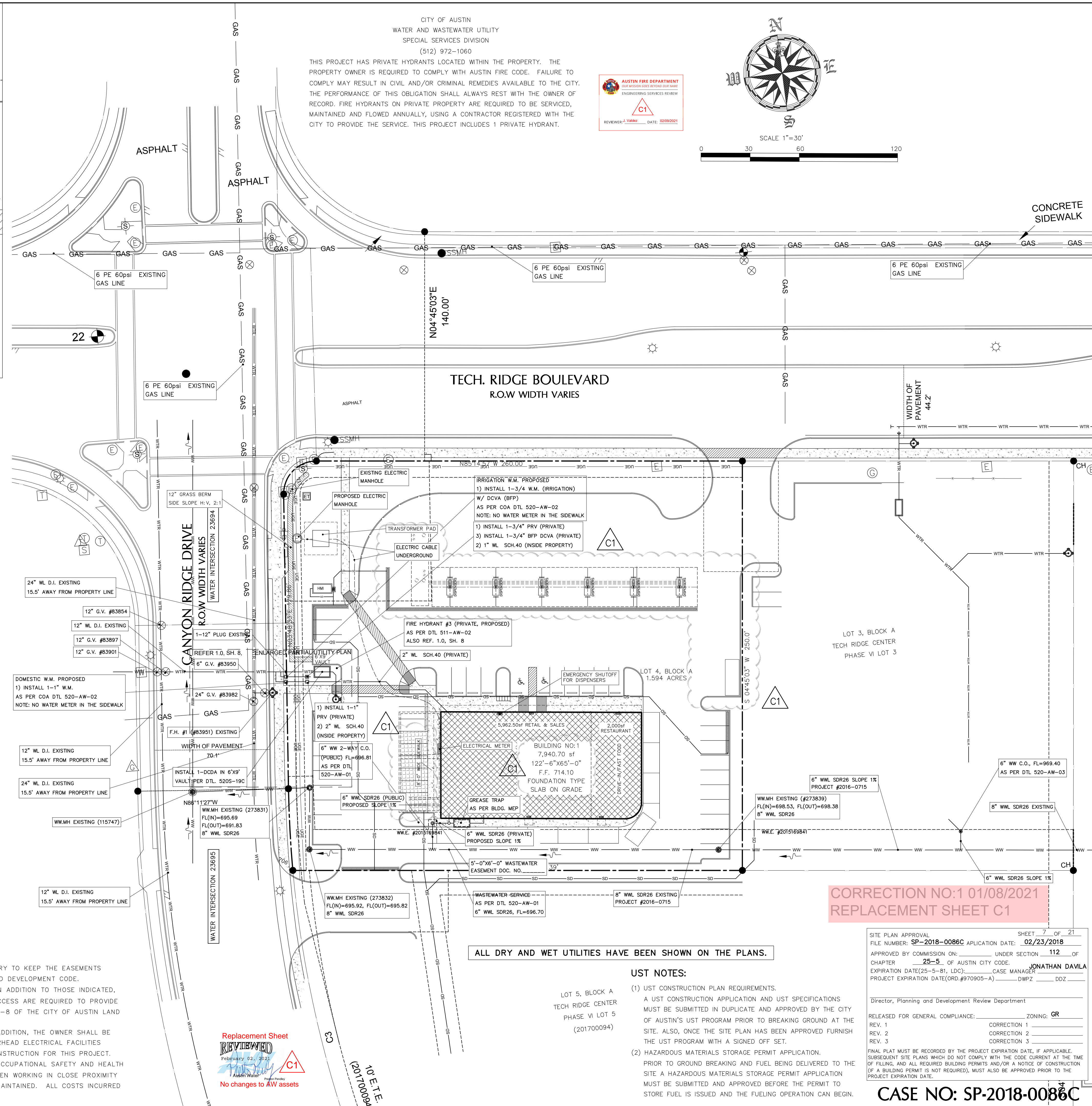
SHEET 8 OF 21



GENERAL LEGEND	
---	PROPERTY LINE
---	LIMITS OF CONSTRUCTION
---	SILT FENCE
---	SILT FENCE & LOC
PUE	PUBLIC UTILITY EASEMENT
DE	DRAINAGE EASEMENT
EE	ELECTRICAL EASEMENT
SSE	SANITARY SEWER EASEMENT
WSEL	WATER SURFACE ELEVATION
CMP	CORRUGATED METAL PIPE
---	EXISTING CONTOURS
---	ELEV. PROPOSED GRADING CONTOURS
UTILITY LEGEND	
	FIRE HYDRANT
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	WASTEWATER MANHOLE
	WW CLEAN-OUT
	WATER LINE
	WASTEWATER LINE
	STORM SEWER LINE
	GAS LINE
	FLOW INDICATOR (SHOWN TO RIGHT)
	PROPOSED SERVICE TAP
	WATER METER
	IRRIGATION METER
	STORM SEWER INLET
	WATER SERVICE (SINGLE)
	WATER SERVICE (DOUBLE)
	UTILITY POLE
	LIGHT POLE
	OVERHEAD ELECTRIC
	WIRE FENCE
	UNDERGROUND ELECTRICAL LINE

ELECTRIC UTILITY NOTES

- AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
- THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
- THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.



Replacement Sheet
REVIEWED
February 02, 2021
Austin Water
No changes to AW assets

LOT 5, BLOCK A
TECH RIDGE CENTER
PHASE VI LOT 5
(201700094)

UST NOTES:

- UST CONSTRUCTION PLAN REQUIREMENTS.
A UST CONSTRUCTION APPLICATION AND UST SPECIFICATIONS MUST BE SUBMITTED IN DUPLICATE AND APPROVED BY THE CITY OF AUSTIN'S UST PROGRAM PRIOR TO BREAKING GROUND AT THE SITE. ALSO, ONCE THE SITE PLAN HAS BEEN APPROVED FURNISH THE UST PROGRAM WITH A SIGNED OFF SET.
- HAZARDOUS MATERIALS STORAGE PERMIT APPLICATION.
PRIOR TO GROUND BREAKING AND FUEL BEING DELIVERED TO THE SITE A HAZARDOUS MATERIALS STORAGE PERMIT APPLICATION MUST BE SUBMITTED AND APPROVED BEFORE THE PERMIT TO STORE FUEL IS ISSUED AND THE FUELING OPERATION CAN BEGIN.

CORRECTION NO:1 01/08/2021
REPLACEMENT SHEET C1

SITE PLAN APPROVAL SHEET 7 OF 21
FILE NUMBER: SP-2018-0086C APPLICATION DATE: 02/23/2018
APPROVED BY COMMISSION ON: UNDER SECTION 112 OF CHAPTER 25-8 OF AUSTIN CITY CODE. JONATHAN DAVILA
EXPIRATION DATE(25-5-B1, LDC): CASE MANAGER
PROJECT EXPIRATION DATE(ORD.#970905-A) DWP DOZ

Director, Planning and Development Review Department

RELEASED FOR GENERAL COMPLIANCE: ZONING: GR
REV. 1 CORRECTION 1
REV. 2 CORRECTION 2
REV. 3 CORRECTION 3

FINAL PLAT MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.

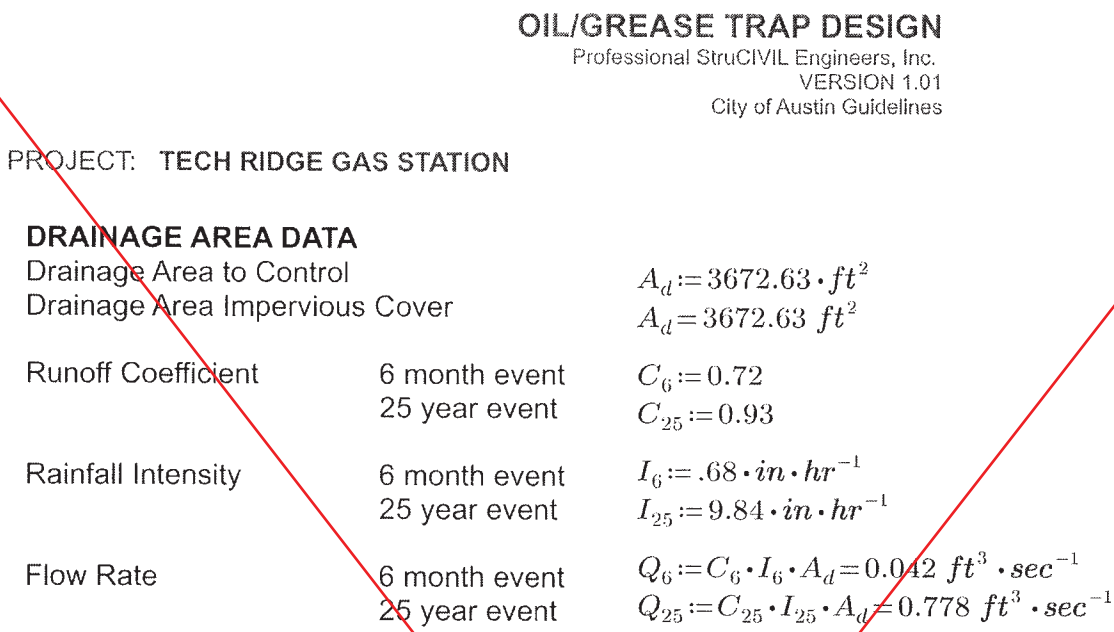
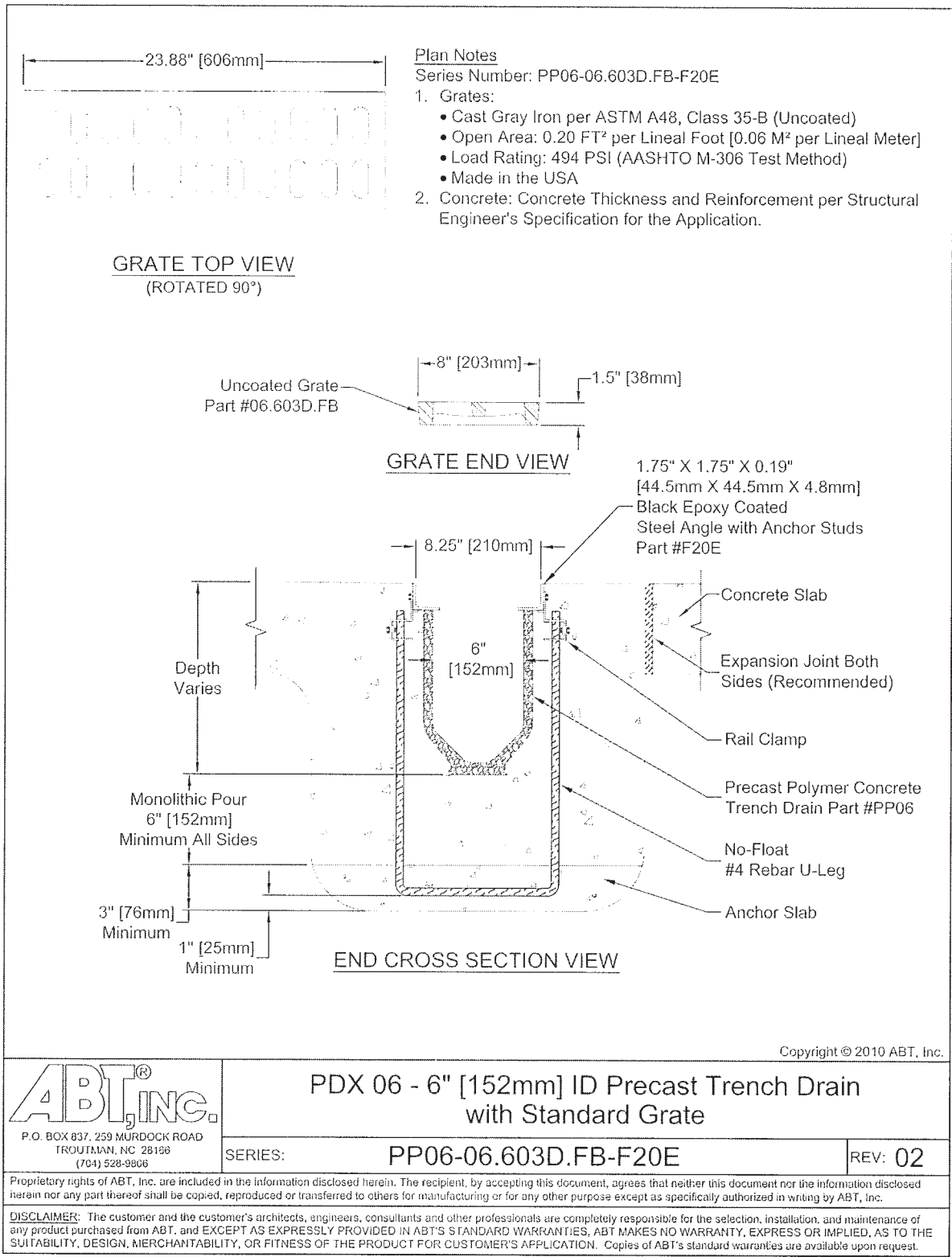
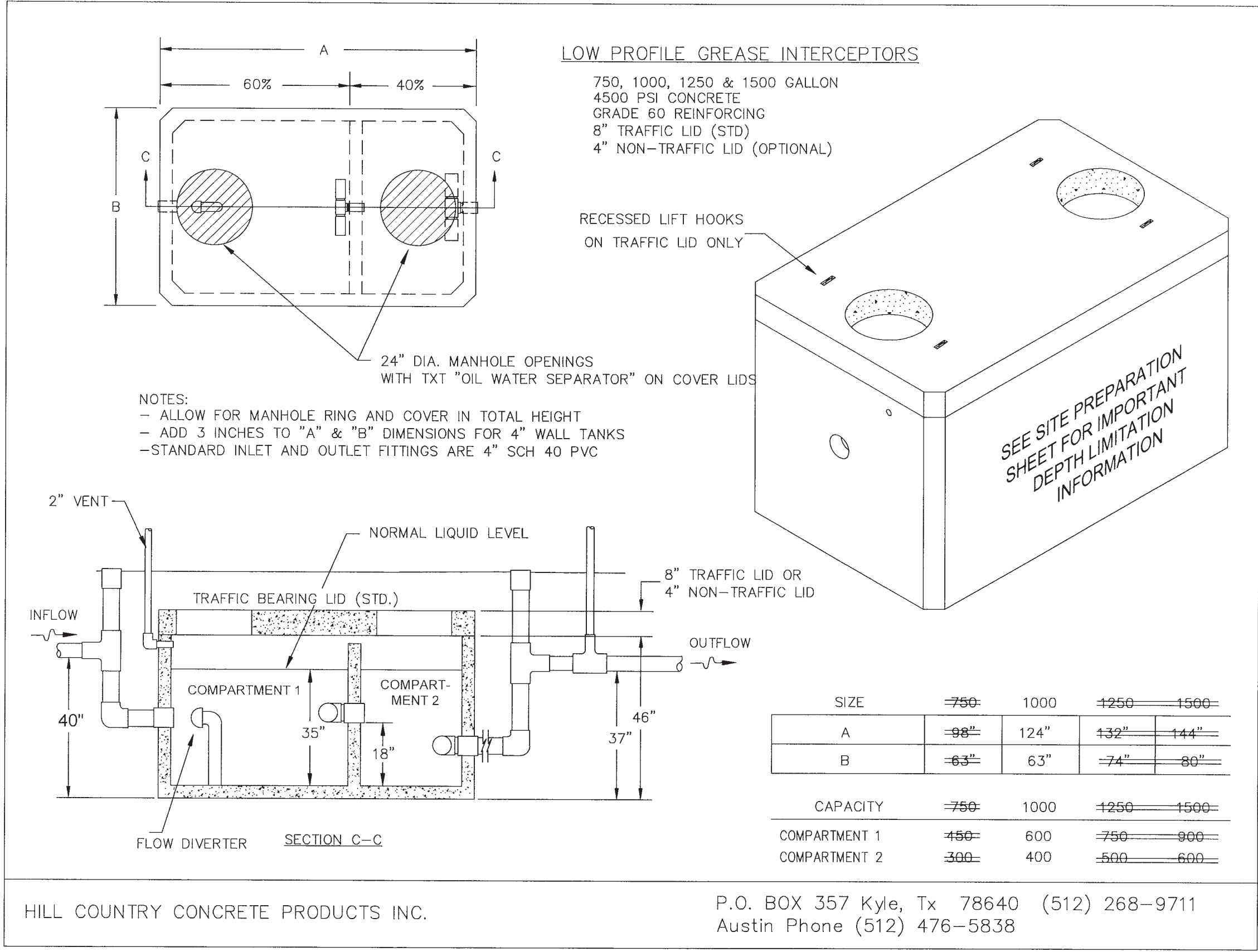
CASE NO: SP-2018-0086C

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHR BAIG, P.E., #82577 ON 01/08/2021 FIRM REGISTRATION F-4951

PROFESSIONAL STRUCTURAL ENGINEERS, INC. CONSULTING CIVIL AND STRUCTURAL ENGINEERS 12710 RESEARCH BLVD., SUITE 300, AUSTIN, TX 78759 TEL: 512.238.4422 FAX: 512.238.8095

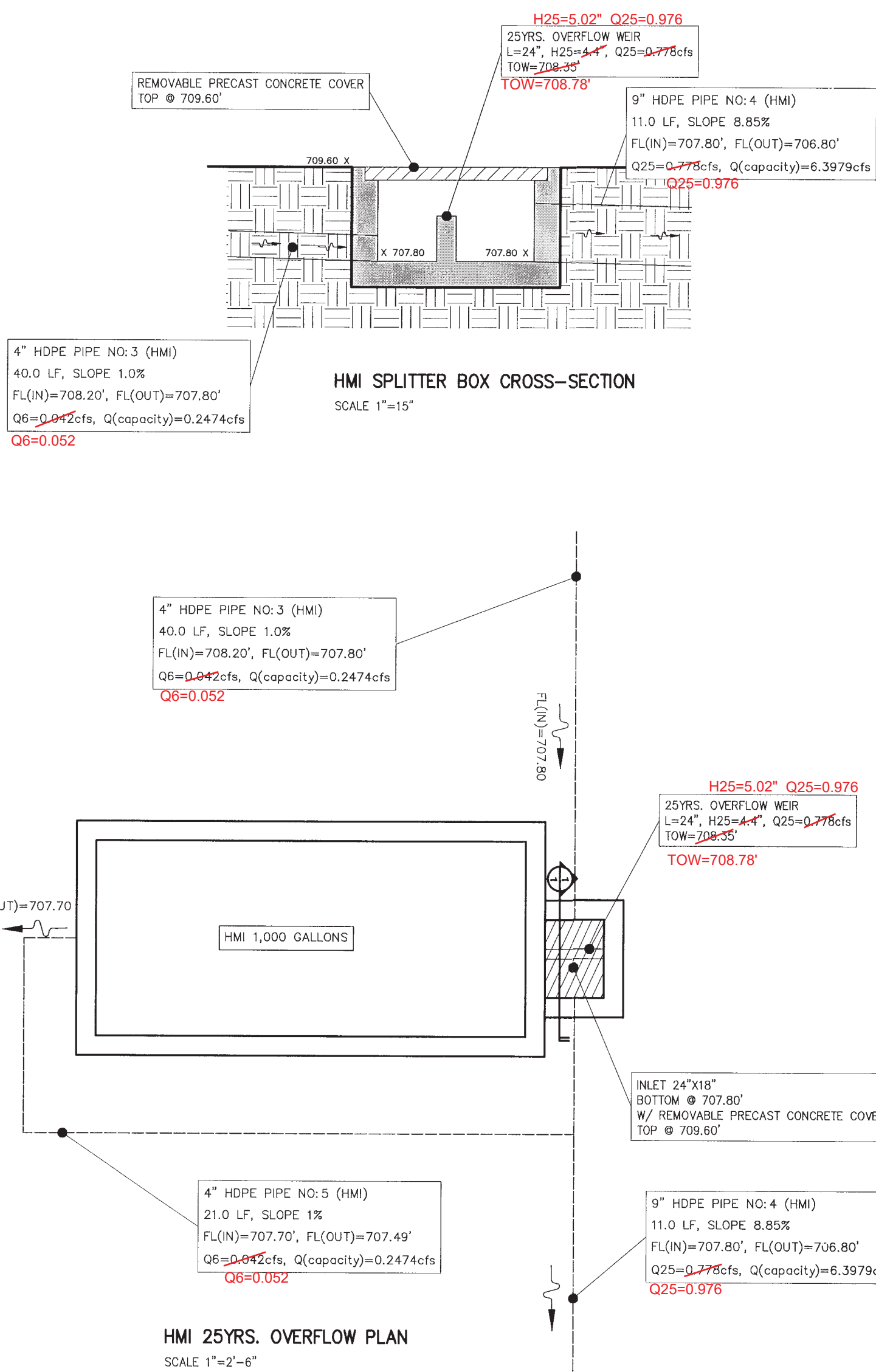
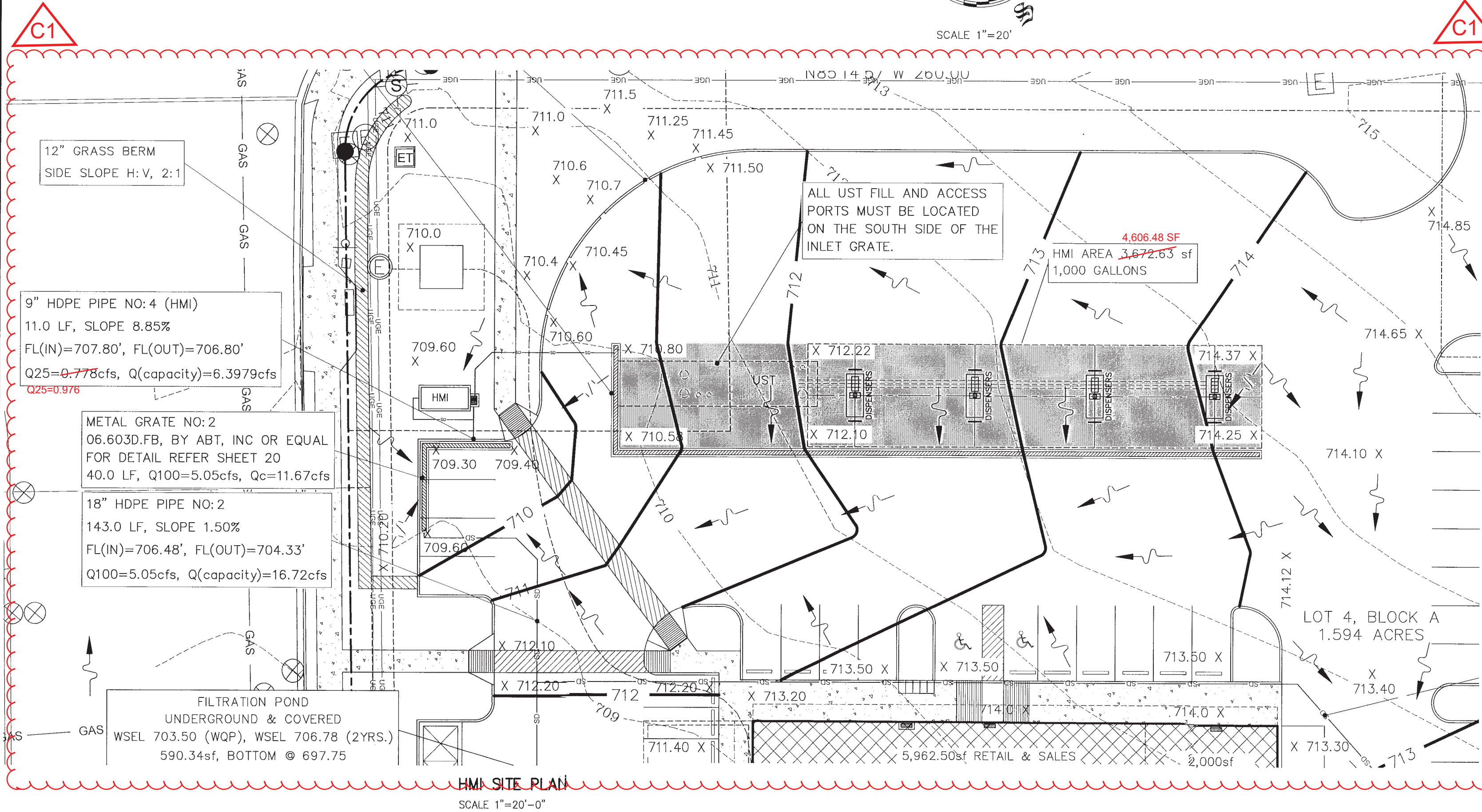
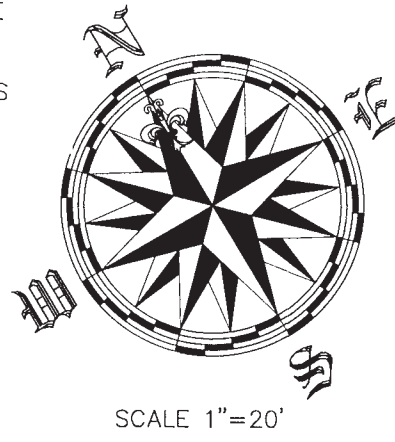
Project: TECH RIDGE GAS STATION 12401 TECH RIDGE BLVD. AUSTIN, TEXAS 78753 Title: UTILITY SITE PLAN

PROJECT 30204 SHEET 8 OF 21

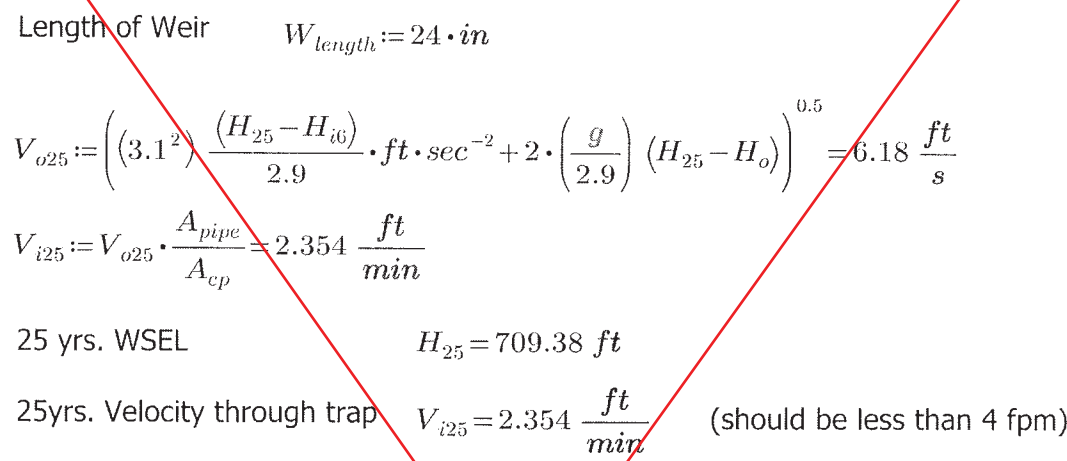


HMI MAINTENANCE PLAN NOTES:

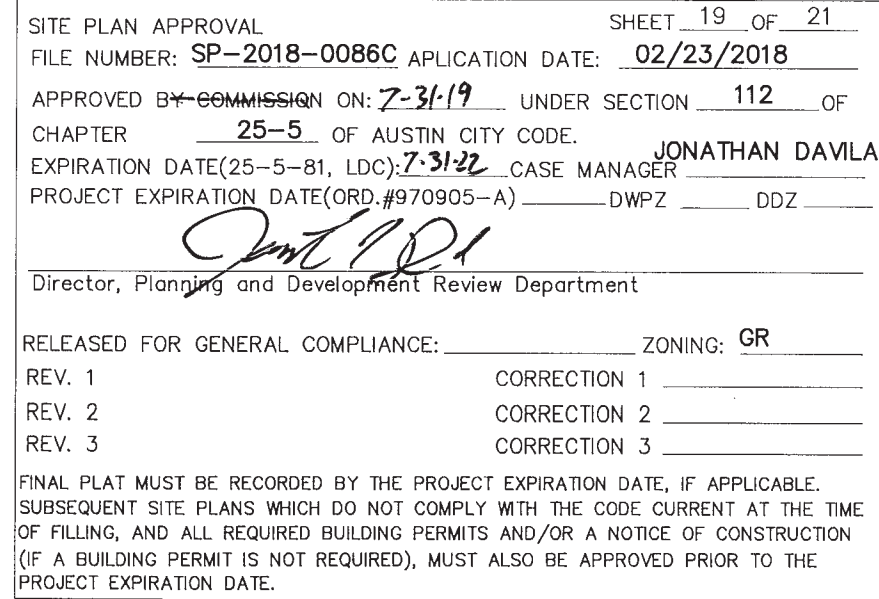
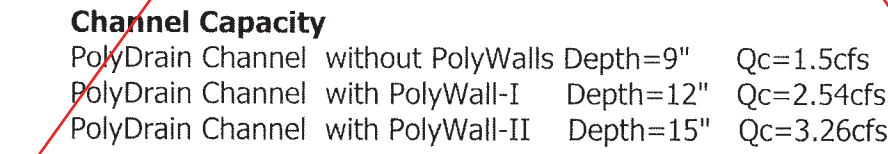
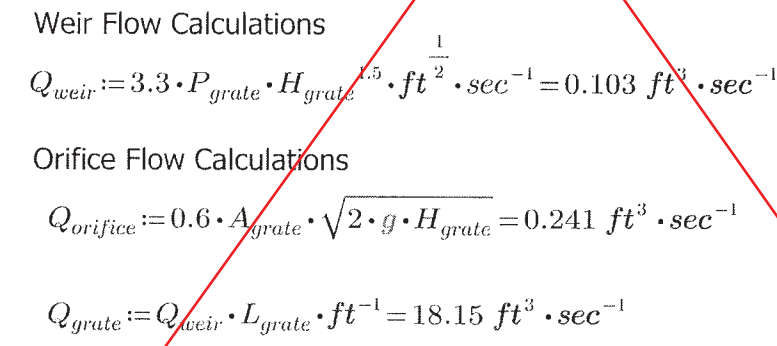
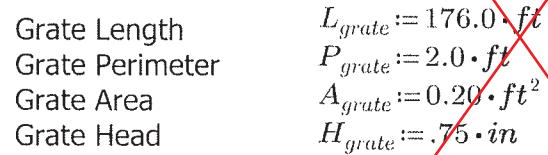
1. THE TRAPPED LIQUID AND SEDIMENT SHALL BE REMOVED AT LEAST ONCE PER YEAR. THE SEDIMENT LEVEL SHALL BE CHECKED EVERY SIX MONTHS. IF THE SEDIMENT LEVEL EXCEEDS ONE-FOURTH THE DEPTH OF THE TRAP, THEN THE LIQUID AND SEDIMENT SHALL BE REMOVED. THE OUTLET SHOULD BE CHECKED AND CLEANED WITH EACH CLEANING OF THE TRAP.
2. THE INLET SCREEN SHOULD BE CLEANED AFTER EVERY STORM. CLEANING OF THE SCREEN SHALL BE OCCUR MONTHLY AT A MINIMUM. DEBRIS FROM THE SCREEN SHALL BE PROPERLY DISPOSED OF WITH THE OTHER SOLID WASTE FROM THE FACILITY. THE DEBRIS FROM THE SCREEN SHALL NOT BE DISPOSED OF IN THE TRAP.
3. QUARTERLY INSPECTION TO ENSURE PROPER FLOW OF THE OUTLET IS REQUIRED. THIS CAN BE ACCOMPLISHED BY INSPECTING THE INLET DURING AND JUST AFTER A SMALL STORM. IF THE OUTLET IS CLOGGED, THE WATER SURFACE WILL STAY AT OR NEAR THE BY-PASS WEIR AND WILL NOT RECEDE DOWN TO THE NORMAL WATER SURFACE. IF CLOGGING IS APPARENT, THEN THE OUTLET SHALL BE CLEANED OUT.
4. IF A SPILL OCCURS THAT FLOWS INTO THE TRAP, THE SPILLED LIQUID SHOULD BE REMOVED AS SOON AS POSSIBLE, AND NO LATER THAN 18 HOURS AFTER THE SPILL OCCURRED.



OVER FLOW WEIR DATA



METAL GRATE 06.603D.FB PolyDrain, 6" wide BY ABT, Inc.



CASE NO: SP-2018-0086C

Professional Structural Engineers, Inc.
CONSULTING CIVIL AND STRUCTURAL ENGINEERS
12710 RESEARCH BLVD., SUITE 300, AUSTIN, TX 78750 | TEL. 512.238.6422 | FAX 512.238.8065

Project: TECH RIDGE GAS STATION
12401 TECH RIDGE BLVD.
AUSTIN, TEXAS 78753

Title: HMI DESIGN & CALCULATIONS

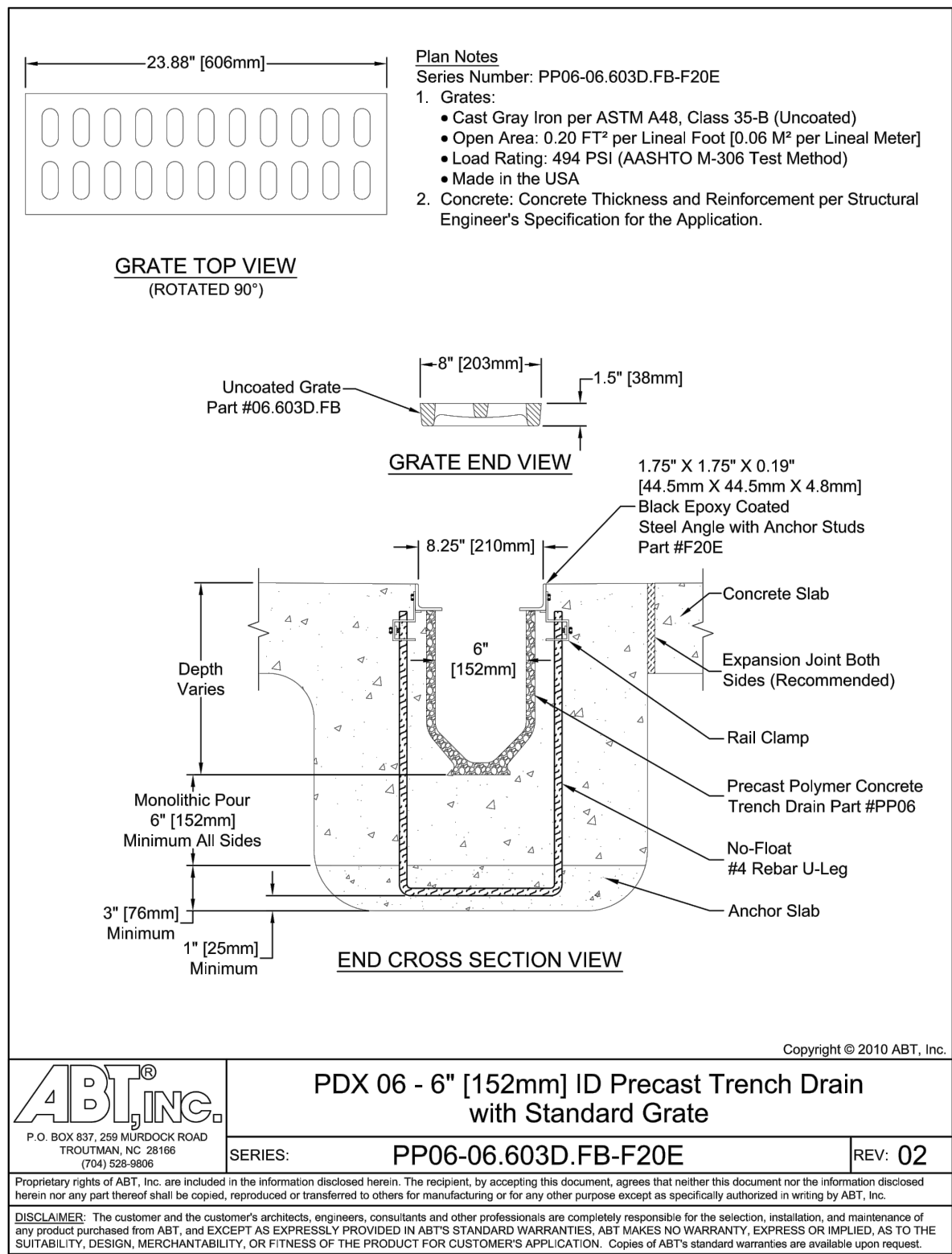
PROJECT: 30204

SHEET: 20 OF 21

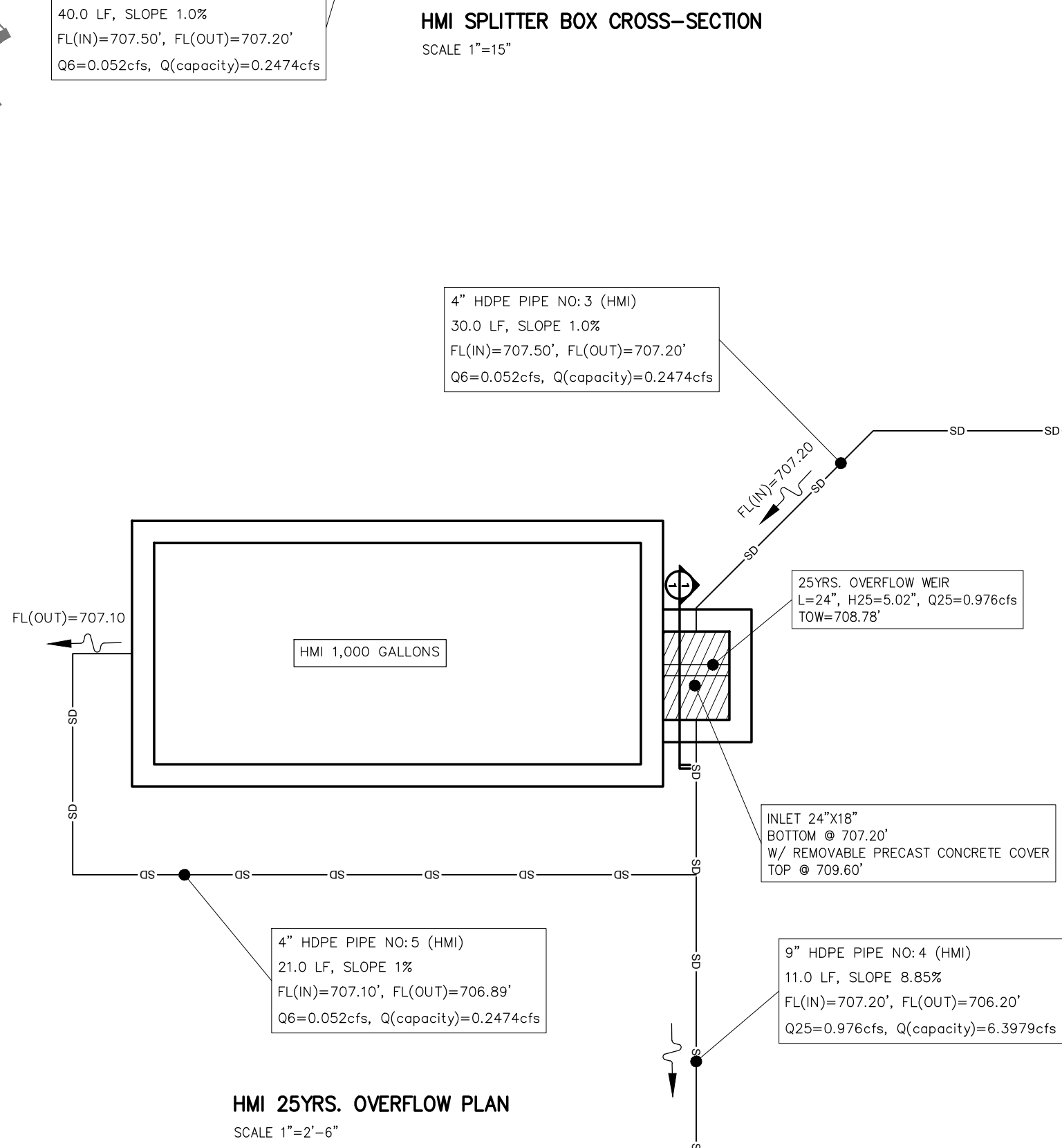
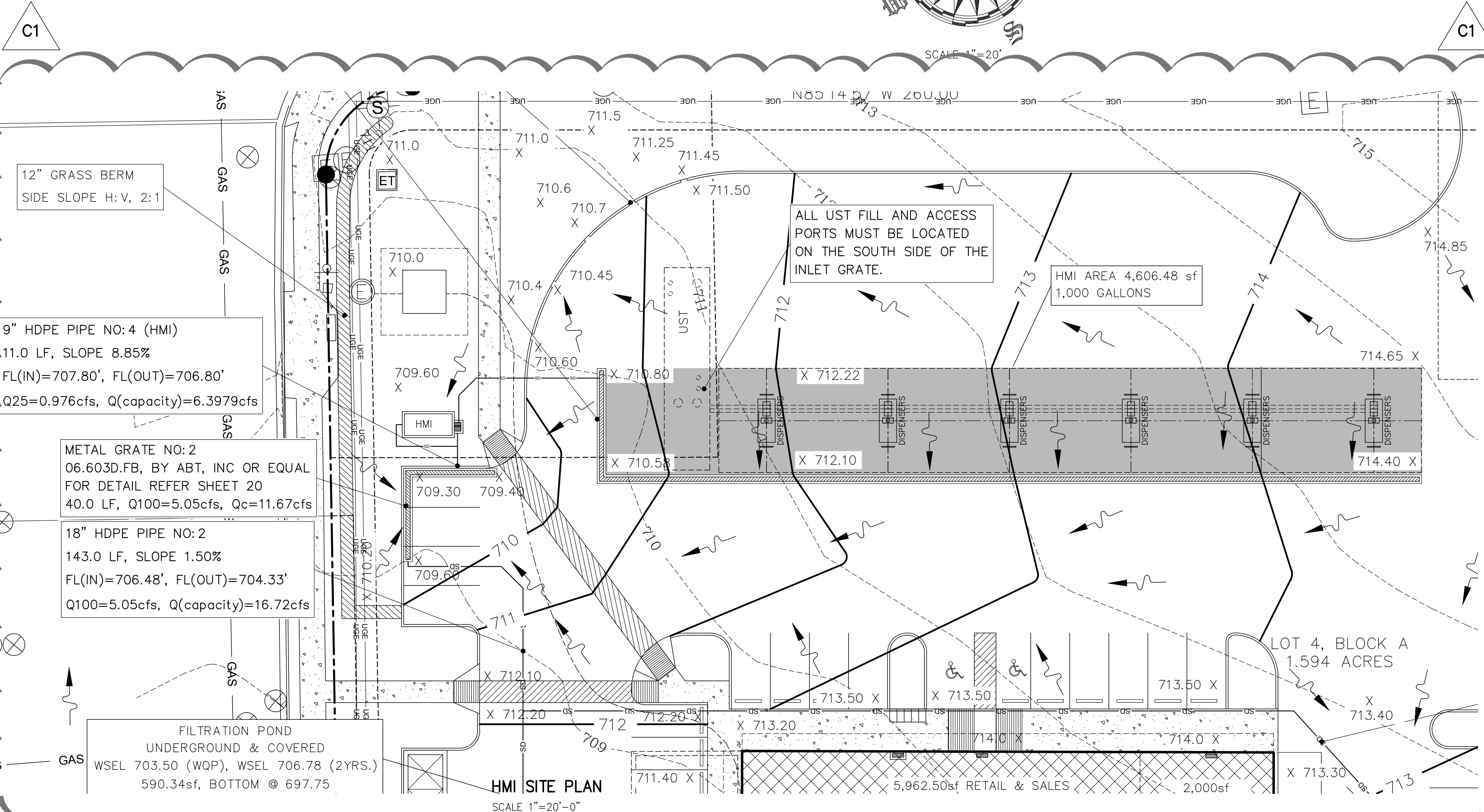
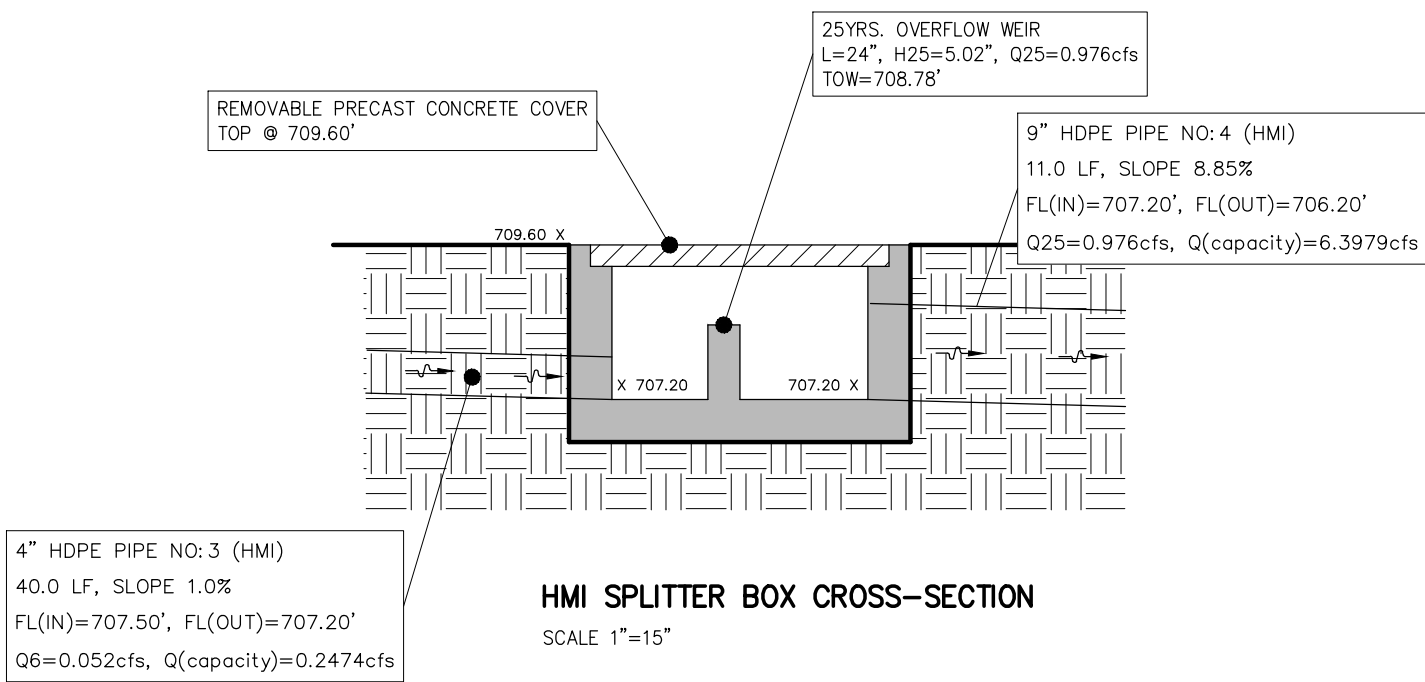
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHR BAIG, P.E., #82577 ON 04/03/2019 FIRM REGISTRATION F-4951

ISSUED FOR APPROVAL 04/03/19
ISSUED FOR APPROVAL 03/06/19
ISSUED FOR APPROVAL 07/24/19
ISSUED FOR APPROVAL 11/20/18
ISSUED FOR APPROVAL 02/19/18

Drawn: [Signature]
Date: [Blank]
Rev: [Blank]
Description: [Blank]



1. THE TRAPPED LIQUID AND SEDIMENT SHALL BE REMOVED AT LEAST ONCE PER YEAR. THE SEDIMENT LEVEL SHALL BE CHECKED EVERY SIX MONTHS. IF THE SEDIMENT LEVEL EXCEEDS ONE-FOURTH THE DEPTH OF THE TRAP, THEN THE LIQUID AND SEDIMENT SHALL BE REMOVED. THE OUTLET SHOULD BE CHECKED AND CLEANED WITH EACH CLEANING OF THE TRAP.
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CORRECTION NO:1 01/08/2021
REPLACEMENT SHEET C1

CASE NO: SP-2018-0086C

OIL/GREASE/SAND TRAP DESIGN

Professional Structural Engineering, Inc.
 VERSION 1.01
 City of Austin Guidelines

PROJECT: TECH RIDGE GAS STATION

DRAINAGE AREA DATA

Drainage Area to Control

Drainage Area Impervious Cover

Runoff Coefficient

25 year event

Rainfall Intensity

25 year event

Flow Rate

25 year event

$$A_d := 4606.48 \cdot ft^2$$

$$A_d := 4606.48 \cdot ft^2$$

$$C_6 := 0.72$$

$$C_{25} := 0.93$$

$$I_6 := .68 \cdot in \cdot hr^{-1}$$

$$I_{25} := 9.84 \cdot in \cdot hr^{-1}$$

$$Q_6 := C_6 \cdot I_6 \cdot A_d = 0.052 \cdot ft^3 \cdot sec^{-1}$$

$$Q_{25} := C_{25} \cdot I_{25} \cdot A_d = 0.976 \cdot ft^3 \cdot sec^{-1}$$

OIL/GREASE/SAND TRAP DATA & CALCULATIONS

Surface Area

Cross Sectional Area

Depth

Width

Length

$$A_{surface} := 2.5 \cdot \frac{A_d}{1000} = 11.52 \cdot ft^2$$

$$A_{cross} := 1.5 \cdot \frac{A_d}{1000} = 6.91 \cdot ft^2$$

$$D_{min} := 3.0 \cdot ft$$

$$W_{width} := D_{min} = 3 \cdot ft$$

$$L_{length} := 1.5 \cdot W_{width} = 4.5 \cdot ft$$

Use 1000 Gallons HMI

Surface Area

Cross Sectional Area

Depth provided 3.0 ft

Width provided 4.58 ft

Length provided

$$A_m := 44.30 \cdot ft^2$$

$$A_{cp} := 13.75 \cdot ft^2$$

$$L_{length} := 9.66 \cdot ft$$

L-PIPE DATA

Pipe Diameter

Grate Inlet Elevation

6 months velocity through trap

4" Pipe Velocity

$$P_d := 4.0 \cdot in$$

$$H_{inlet} := 710.58 \cdot ft$$

$$V_{i6} := \frac{Q_6}{A_{cp}} = 0.228 \cdot \frac{ft}{min}$$

$$V_{o6} := \frac{Q_6}{A_{pipe}} = 0.6 \cdot \frac{ft}{s}$$

$$A_{pipe} := \frac{\pi \cdot P_d^2}{4} = 12.57 \cdot in^2$$

$$H_o := H_{inlet} - 3.0 \cdot ft = 707.58 \cdot ft$$

$$H_{i6} := 2.9 \cdot \frac{V_{o6}^2}{2 \cdot g} + H_o - \frac{V_{i6}^2}{2 \cdot g} = 707.6 \cdot ft$$

Outlet Elevation

25yrs. WSEL Elevation

6 month Elevation

6 month Velocity

$$H_o := 707.58 \cdot ft$$

$$H_{25} := H_o + 1.5 \cdot ft = 709.08 \cdot ft$$

$$H_{i6} := 707.6 \cdot ft$$

$$V_{i6} := 0.228 \cdot \frac{ft}{min}$$

(should be less than 3 fpm)

Length of Weir $W_{length} := 24 \cdot in$

$$V_{o25} := \left((3.1^2) \cdot \frac{(H_{25} - H_{i6})}{2.9} \cdot \text{ft} \cdot \text{sec}^{-2} + 2 \cdot \left(\frac{g}{2.9} \right) (H_{25} - H_o) \right)^{0.5} = 6.18 \frac{\text{ft}}{\text{s}}$$

$$V_{i25} := V_{o25} \cdot \frac{A_{pipe}}{A_{cp}} = 2.354 \frac{ft}{min}$$

25 yrs. WSEL $H_{25} = 709.08 \text{ ft}$

25yrs. Velocity through trap $V_{i25} = 2.354 \frac{ft}{min}$ (should be less than 4 fpm)

METAL GRATE 06.603D.FB PolyDrain, 6" wide BY ABT, Inc.

Grate Length	$L_{grate} := 214 \cdot ft$
Grate Perimeter	$P_{grate} := 2.0 \cdot ft$
Grate Area	$A_{grate} := 0.20 \cdot ft$
Grate Head	$H_{grate} := .75 \cdot in$

Weir Flow Calculations

$$Q_{weir} := 3.3 \cdot P_{grate} \cdot H_{grate}^{1.5} \cdot ft^{\frac{1}{2}} \cdot sec^{-1} = 0.103 \text{ } ft^3 \cdot sec^{-1}$$

Orifice Flow Calculations

$$Q_{orifice} := 0.6 \cdot A_{gate} \cdot \sqrt{2 \cdot g \cdot H_{gate}} = 0.241 \text{ ft}^3 \cdot \text{sec}^{-1}$$

$$Q_{grate} := Q_{weir} \cdot L_{grate} \cdot ft^{-1} = 22.07 \text{ } ft^3 \cdot sec^{-1}$$

Channel Capacity

PolyDrain Channel	without PolyWalls	Depth=9"	Qc=1.5cfs
PolyDrain Channel	with PolyWall-I	Depth=12"	Qc=2.54cfs
PolyDrain Channel	with PolyWall-II	Depth=15"	Qc=3.26cfs

SITE PLAN APPROVAL SHEET 19 OF 21

FILE NUMBER: **SP-2018-0086C** APPLICATION DATE: **02/23/2018**

APPROVED BY COMMISSION ON: _____ UNDER SECTION **112** OF _____

CHAPTER **25-5** OF AUSTIN CITY CODE. **JONATHAN DAVILA**

EXPIRATION DATE(25-5-81, LDC). _____ CASE MANAGER _____

PROJECT EXPIRATION DATE(ORD.#970905-A) _____ DWP2 _____ DDZ _____

Director, Planning and Development Review Department

RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: **GR**

REV. 1 _____ CORRECTION 1 _____

REV. 2 _____ CORRECTION 2 _____

REV. 3 _____ CORRECTION 3 _____

FINAL PLAN MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE.
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Project :		TECH RIDGE GAS STATION	
		12401 TECH RIDGE BLVD.	
		AUSTIN, TEXAS 78753	
Title :		HMI DESIGN & CALCULATIONS	
PROJECT		30204	
SHEET		20	
OF 21			