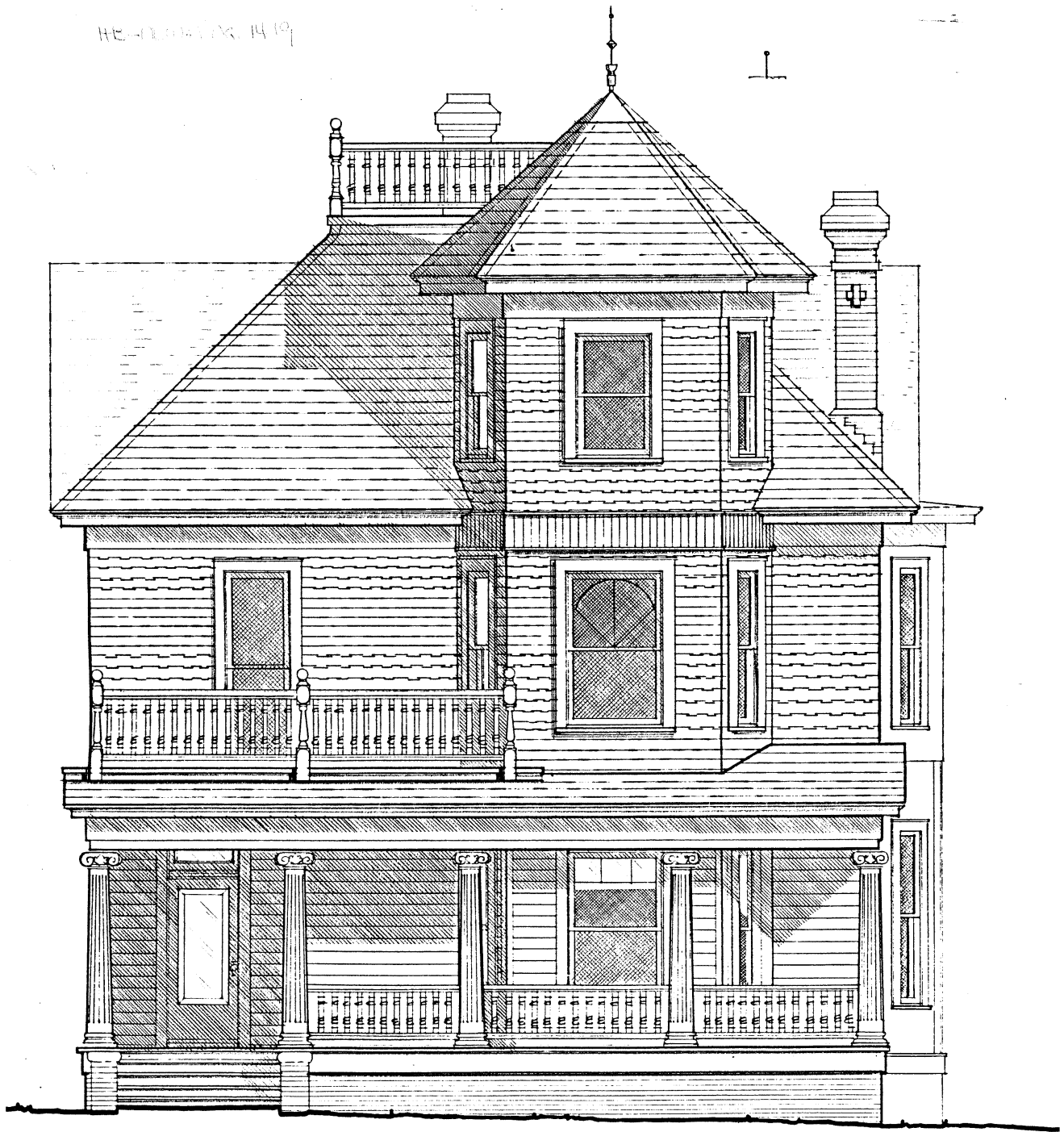


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ORIGINAL DRAWING IN ARCHITECTURAL
FILES ORN 015.85



PROJECT NUMBER	015-85
DATE:	4-18-86
DRAWN BY:	JD
CHECK BY:	

EXIST'G	4
NEW	4
REVISIONS	
SCALE	
DRAWING NUMBER	1 OF 5



SOUTH ELEVATION

EXISTING



EAST ELEVATION

EXISTING

BELL & HOFFMAN
ARCHITECTS
603 BRAZOS AUSTIN, TEXAS 78701 512/46-3033

Restoration and Additions to the Residence of
DR. & MRS. DUANE ALBRECHT
1419 Newning Avenue
Austin, Texas

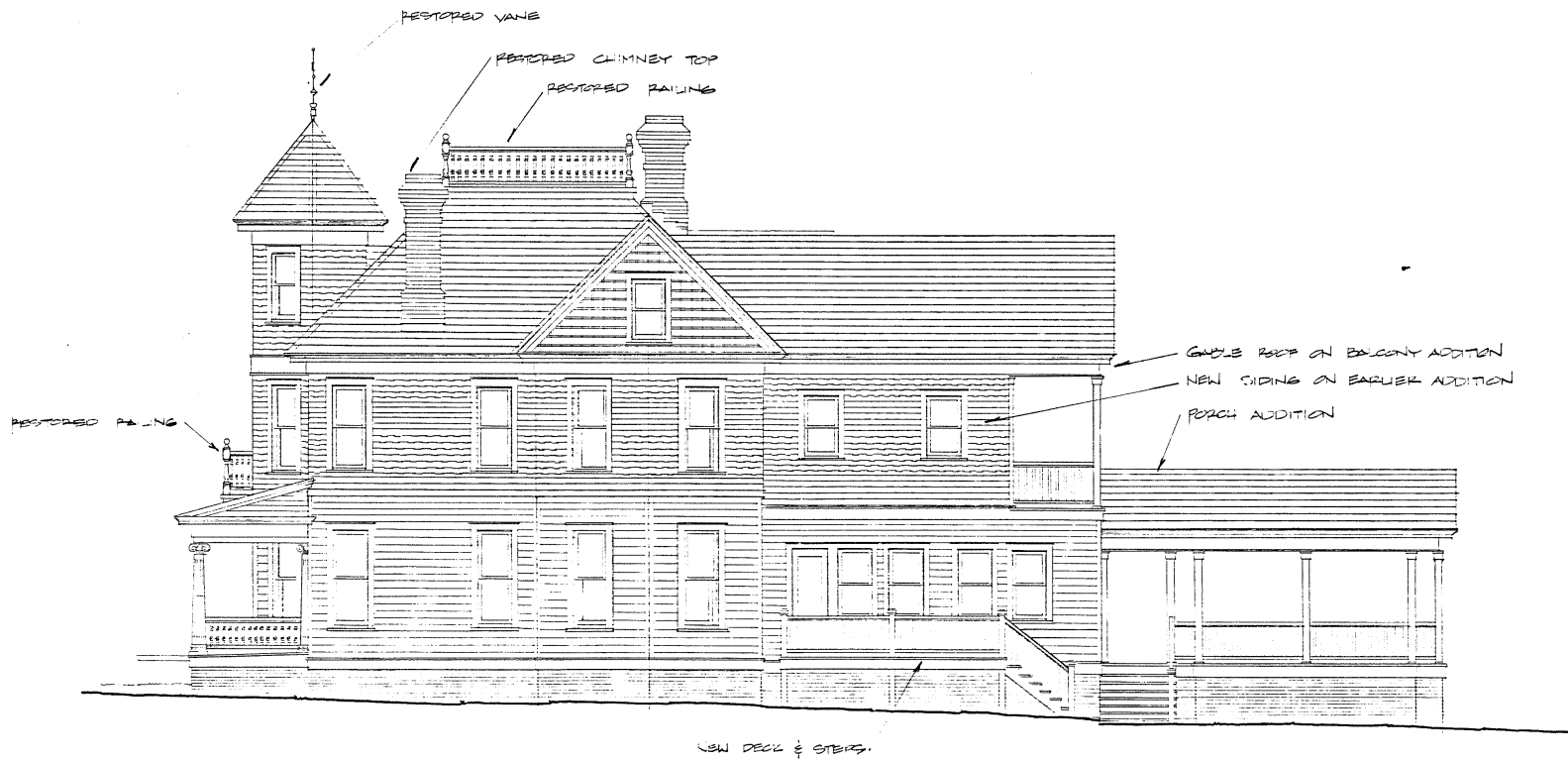
PROJECT NUMBER
013-80

DATE
4-18-86

DRAWN BY: J.D.

CHKD. BY:

EXISTING
SOUTH & EAST
ELEVATIONS
SCALE
DRAWING NUMBER
203



SOUTH ELEVATION

BELL & HOFFMAN

ARCHITECTS
603 BRANZOS AUSTIN, TEXAS 78701 512/476-3333

Restoration and Additions to the Residence of
DR. & MRS. DUANE ALBRECHT
Austin, Texas
1419 Newning Avenue

PROJECT NUMBER
015-55

DATE
4-13-86

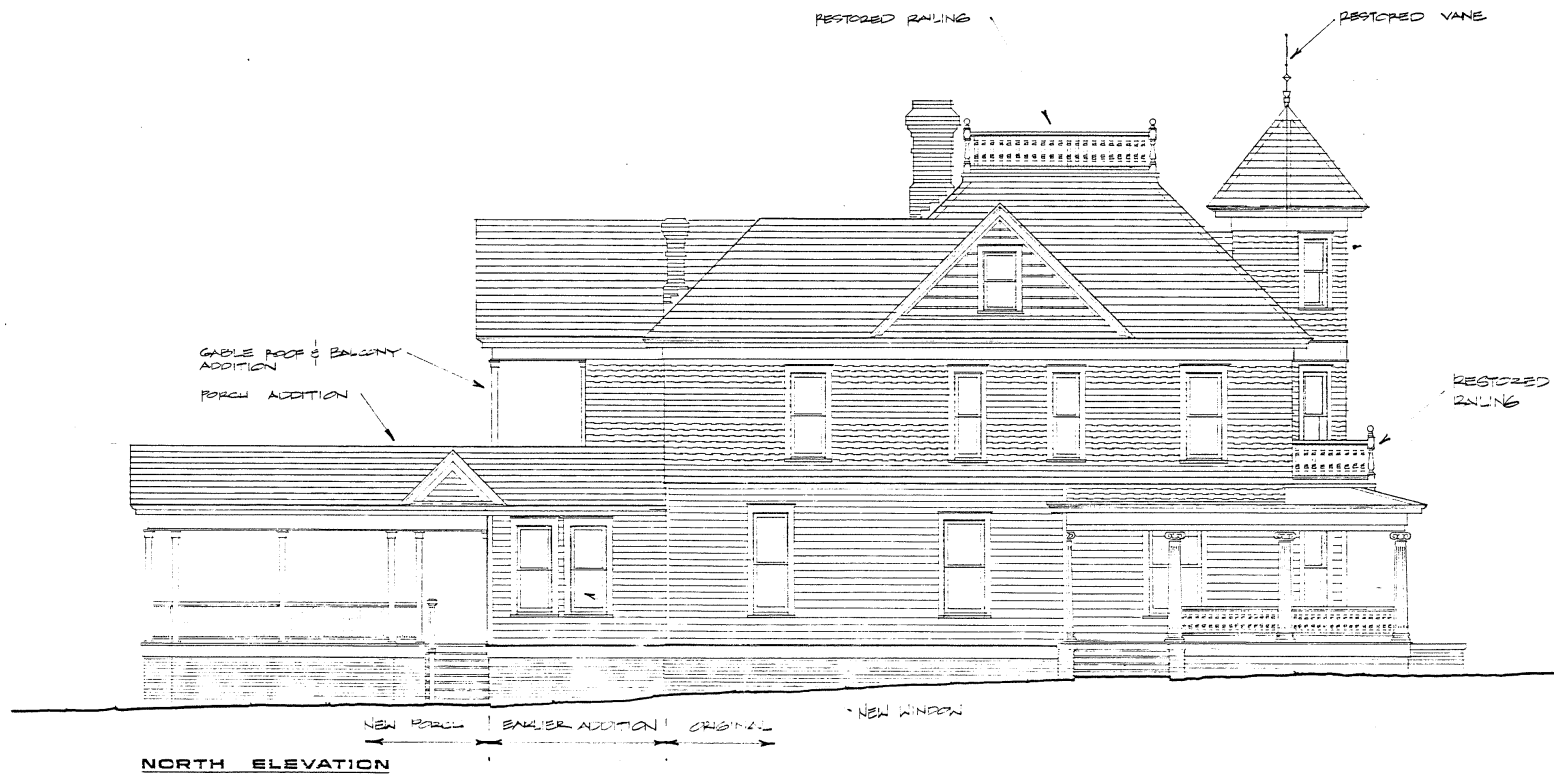
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J.S.

CHECKED BY

PROPOSED

SCALE

DRAWING NUMBER
5 OF 5

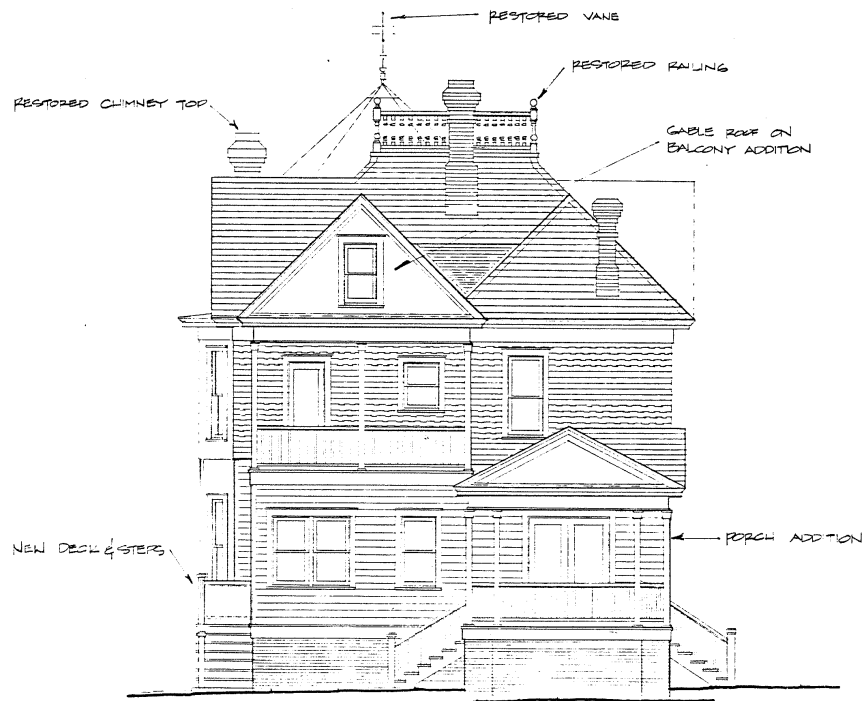


BELL & HOFFMAN
ARCHITECTS
803 BRACOS AUSTIN, TEXAS 78701 512/475-3933

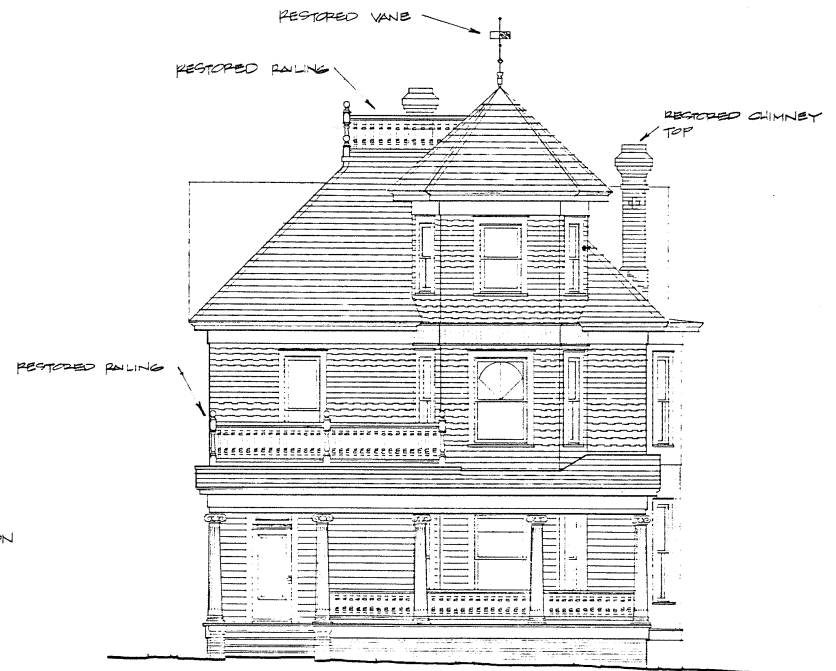
Restoration and Additions to the Residence of
DR. & MRS. DUANE ALBRECHT
1419 Newning Avenue
Austin, Texas

PROJECT NUMBER
08-88
DATE
1-18-86
DRAWN BY
JH
CHECK BY

PROPOSED
SCALE
DRAWING NUMBER
1-0-8



EAST ELEVATION



WEST ELEVATION

BELL & HOFFMAN
ARCHITECTS
803 BRAZOS AUSTIN, TEXAS 78701 512/478-3932

Restoration and Additions to the Residence of
DR. & MRS. DUANE ALBRECHT
1419 Newning Avenue
Austin, Texas

PROJECT NUMBER
05-85

DATE:
4-18-86

DRAWN BY:
JH

CHECK BY:

PROPOSED

SCALE

DRAWING NUMBER
3 OF 5



The large back porch (above) offers more privacy than the home's original front porch (below). Photographs: Cheryl Sales

A New Porch With a History

Nearly 100 years ago, when Edwin Dumble built his Austin home, he carefully selected a site that would provide firm footing on solid limestone. The choice was no surprise—Dumble was the Texas State Geologist.

Duane and Wendy Albrecht, the current owners, also carefully considered the site when they added on to the historic house three years ago. Even though the house is close to downtown Austin, it stands on a densely wooded hillside lot that drops off sharply in the back, providing a peaceful view of treetops instead of other houses. To take full advantage of this view, the Albrechts chose the back of the house for a new porch, nestling it beneath a huge live oak.

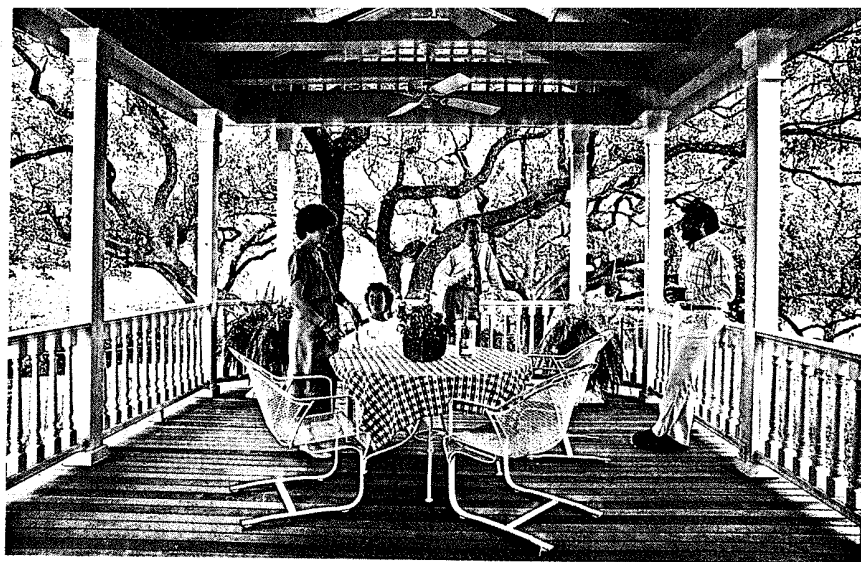


Adding the porch was part of a larger renovation that gave the Albrechts a new kitchen and breakfast room, also at the back. "A lot of people had added little things to the house," recalls Duane. "We wanted to make this addition look like it had

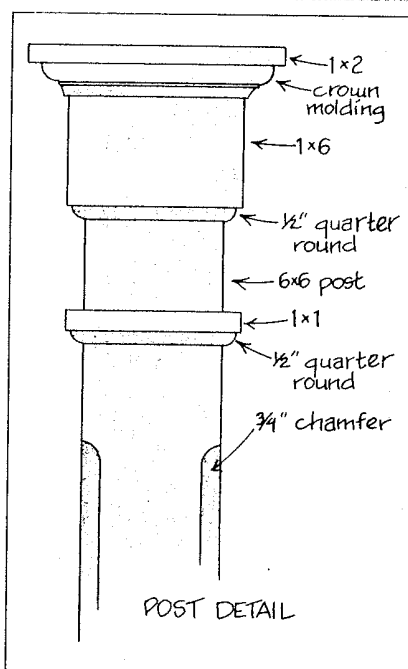
been planned."

Although the addition blends well with the 19th-century home, the new porch reflects changes in lifestyle since the house was built. The original structure has a front porch, but many homeowners today prefer the privacy of the backyard for relaxing or entertaining. The Albrechts' addition combines the shelter of a porch, the openness of a deck, and the close-to-nature feeling of a gazebo. "We spend a lot of time out here," says Wendy, "even as the weather gets warmer and warmer."

Designed by Austin architect David Hoffman, AIA, the 15- x 23-foot porch departs from traditional shape and orientation. "Once we decided to have an outdoor area, we began talking about



Latticework in the gable end and ceiling fans help keep the porch cool even in summer.



an outdoor room, and we kept emphasizing that," says the architect. "A porch by definition was narrow, and we wanted to keep this more open." Details, such as decorative wood trim and the small gable over the steps, help tie the new to the old.

If you think all steel garage doors are alike, we can wipe that thought from your mind.

When it comes to steel garage doors, the Raynor Decade StainGrain stands alone. That's because it's the first steel garage door you can stain. Our exclusive StainGrain surface allows you to give the Decade door a stained finish simply by using one of our four stain color kits.

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For more information, look in the Yellow Pages under "Doors." Or just call 1-800-545-1455.

RAYNOR DECADE DOORS
WARRANTED FOR AS LONG AS YOU OWN YOUR HOME.

OWNER Charles Palmer & Mary Keeneey ADDRESS 1419 Newning Ave.
PLAT 130 LOT 37 & 37 AB BLK.
SUBDIVISION Fairview Park
OCCUPANCY Res
BLDG. PERMIT # 202994 DATE 9-23-80 OWNERS ESTIMATE \$4600.00
CONTRACTOR Scott Turner NO. OF FIXTURES
WATER TAP REC# D 5599 SEWER TAP REC#
Repair & remodel existing res.

BID 2004



BUILDING INSPECTION DEPARTMENT--ELECTRIC DIVISION
INSPECTOR'S FIELD CARD

DATE: 11-4-80

ADDRESS 1419 Newning Ave OWNER C. Palmer & M. Keeneey PERMIT # 202994
CONTRACTOR Preston ACCT. # PHONE

SQ. FT.	OCC. CLASS	Res	FEE	\$ 15.00
DATE DEBITED	AMOUNT	WORK PROPOSED	ETJ	\$10.00
	\$.	NEW	REINSP.	\$10.00
	\$.	REPAIR	OTHER	\$.
	\$.	REMODEL	TOTAL FEES	\$.

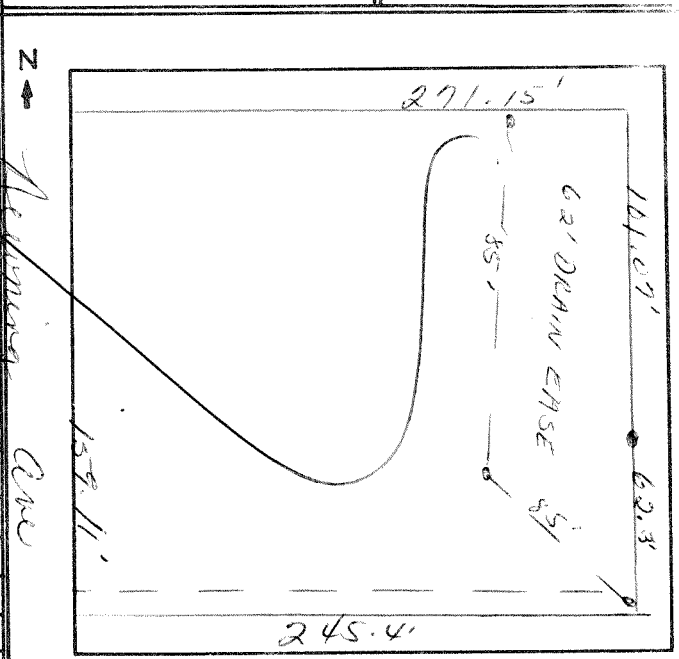
1 PH.	LOAD 1 ph.	SIZE SERVICE COND.
3 PH.	LOAD 3 ph.	SIZE METER BASE/CAN

COMMENTS: F Nov 4 1980
GROUND TO PROPOSED WORK

BID 3024 REV JAN 80

ADDRESS: 1419 Newning Ave PERMIT: 202994 PLAT: 130
LOT: 37A & 37AB BLOCK: SUBDIVISION: Fairview Park USE DIST: A112
OCCUPANCY: Repair & Remodel Existing Res DIMENSIONS:
OWNER: C. Palmer & M. Keeneey CONTRACTOR: Scott Turner PLUMBER: Posey MECH.:
LAYOUT: ELECTRICAL: R.O.W. CONCRETE:

PLUMBING ROUGH	9-30-80	KW9
SEWER		
COPPER	9-30-80	KW9
FOUNDATION		
FRAMING		
INSULATION		
PLUMBING TOP OUT	9-30-80	KW9
MECHANICAL ROUGH		
ELECTRICAL ROUGH		
WALLBOARD		
FINAL BUILDING	12/6-81	12/6-81
PLUMBING		
MECHANICAL		
ELECTRICAL		
SIDEWALKS & DRIVES		



INSPECTOR:

TYPE	DATE	OK	CORRECTIONS
F	11-6-80	TSJ	
LOOP: 3W <input type="checkbox"/> 4W <input type="checkbox"/> SERVICE: IN <input type="checkbox"/> NEEDS <input type="checkbox"/> SIZE SERVICE: 1Ø 3/Ø 3/Ø 3/Ø 48Ø-277 OTHER:			
METER BASE S <input type="checkbox"/> 3ØS <input type="checkbox"/> MI <input type="checkbox"/> M2 <input type="checkbox"/> PRIMARY <input type="checkbox"/> TYPE SERVICE: OVERHEAD <input type="checkbox"/> UNDERGROUND <input type="checkbox"/> LOAD 1Ø 3Ø			

INSPECTOR

[Signature]

DATE PERMIT CLOSED:

11-12-80