

# **Residential New Construction and Addition Permit Application**

Building a Better and Safer Austin Together

<u>DevelopmentATX.com</u> | Phone: 311 (or 512-974-2000 outside Austin) For submittal and fee information, see <u>austintexas.gov/digitaldevelopment</u>

Download application before entering information.

Property Information					
Project Address:	Tax Parcel ID:				
Legal Description:					
Zoning District:	Lot Area (sq ft):				
Neighborhood Plan Area (if applicable):	Historic District (if applicable):				
Required Reviews					
Is project participating in <b>S.M.A.R.T. Housing</b> ? Y N	Does project have a <b>Green Building</b> requirement? Y N				
(If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	(If yes, attach signed conditional approval letter from Austin Energy Green Building)				
Is this site within an <b>Airport Overlay Zone</b> ? Y N	Does this site have a <b>septic system</b> ? Y N				
(If yes, approval through Aviation is required)	(If yes, submit a copy of approved septic permit. <b>OSSF review</b> required)				
Does the structure <b>exceed 3,600 square feet</b> total under roof? Is this property within 200 feet of a <b>hazardous pipeline</b> ?	Y N (If yes, Fire review is required) Y N (If yes, Fire review is required)				
	1 ( ) ( ) ( ) ( ) ( ) ( ) ( ) ( ) ( ) (				
Is this site located within an <b>Erosion Hazard Zone</b> ?  Y  N  (If yes, EHZ review is required)	Is this property within 100 feet of the <b>100-year floodplain</b> ?  Y  N  (Proximity to floodplain may require additional review time.)				
Are there trees 19" or greater in diameter on/adjacent to the p. If yes, how many? (Provide plans with a tree survey, tree review re					
Was there a pre-development consultation for the Tree Review?	Y N Proposed impacts to trees: (Check all that apply) Root zone Canopy Removal None/Uncertain				
Is this site in the <b>Capital View Corridor</b> ? Y N (If yes, a preliminary review through land use is needed to determine if full view corridor review is required.)  Is this site within the <b>Residential Design and Compatibility Standards</b> Ordinance Boundary Area? (LDC 25-2 Subchapter F) Y N					
Does this site currently have: water availability? Y N wastewater availability? Y N					
Does this site have or will it have an auxiliary water source? (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water,	$\begin{array}{cccccccccccccccccccccccccccccccccccc$				
Does this site require a <b>cut or fill</b> in excess of four (4) feet? Y	N (If yes, contact the Development Assistance Center for a Site Plan Exemption)				
Is this site within the Waterfront Overlay? Y N (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? Y N (LDC 25-2-180, 25-2-647)				
Does this site front a paved street? Y N (If no, contact Development Assistance Center for Site Plan requirements.)	Is this site adjacent to a paved alley? Y N (Public Works approval required to take access from a public alley.)				
Does this site have a <b>Board of Adjustment</b> (BOA) variance? Y N Case # (if applicable) (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)					
Description of Work					
Is Total New/Added Building Area > 5,000 sq. Ft.? Y	N (If yes, construction material recycling is required per LDC 25-11-39)				
Existing Use: vacant single-family residential	duplex residential two-family residential other:				
Proposed Use: vacant single-family residential	duplex residential two-family residential other:				
Project Type: new construction addition	addition/remodel other:				
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y N (Notes: Removal of all or part of a structure requires a Demolition Permit Application per LDC 25-11-37. A demo permit is not required for the removal of all or part of an interior wall, floor or ceiling)					
# existing bedrooms: # bedrooms upon completion: # baths existing: # baths upon completion:					
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)					
Trade Permits Required (Check as applicable): electric	plumbing mechanical (HVAC) concrete (R.O.W.)				
11 /					

Total Remodeled Floor Area (if applicable)								
sq ft. (work within existing habitable square footage)								
Job Valuation – For Properties in a Floodplain Or	nly							
Total Job Valuation:		Amount for Primary Structure: \$  Elec: \( \text{Y} \) \( \text{N} \)   Plmbg: \( \text{Y} \) \( \text{N} \)   Mech: \( \text{Y} \) \( \text{N} \)						
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.	Amount for Accessory Structure: \$  Elec: \[ \text{Y} \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \							
Site Development Information					·			
Area Description  Note: Provide a separate calculation for each distinct area. Attach	Existing sq. ft. to Remain			New/Added sq. ft.		Total sq. ft.		
additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Bldg	g. 1	Bldg. 2	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2	
a) 1 <sup>st</sup> Floor conditioned area								
b) 2 <sup>nd</sup> Floor conditioned area								
c) 3 <sup>rd</sup> Floor conditioned area								
d) Basement								
e) Covered parking (garage or carport)								
f) Covered patio, deck, porch, and/or balcony area(s)								
g) Other covered or roofed area								
h) Uncovered wood decks								
Total Building Area (total a through h)								
i) Pool								
j) Spa								
k) Remodeled Floor Area, excluding Addition / New Construction								
The Calculation Aid on page 7 is to be used to complete the following calculations and to provide additional information.								
Building Coverage Information								
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)  Total Building Coverage (sq ft): % of lot size:								
Impervious Cover Information								
Note: Impervious Cover Information  Note: Impervious cover is the total horizontal area of covered spaces including building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)								
Total Impervious Cover (sq ft): % of lot size:								
Setbacks  Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492)  Y N Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513)  Y N Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778)  Y N								
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3	3.4)	Park	ing (LDC 25	-6 Appendix A	& 25-6-478)			
Building Height: ft in Number of Floors: # of spaces required: # of spaces provided:								
Right-of-Way Information  Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y N  *Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.								
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y								
Width of approach (measured at property line): ft Distance from intersection (for corner lots only): ft						ft		
Are <b>storm sewer inlets</b> located within ten (10) feet of the end of any proposed driveway? Y N (New driveways within ten(10) feet of an inlet will require additional review)								

# 1304 BOB HARRISON STREET, AUSTIN TEXAS, 78702



FRONT FACADE



REAR FACADE





EAST FACADE

N 79.59'52" E 5' REAR SETBACK EXISTING ADU REMOVE EXISTING ADDITION - EXISTING 25" DIAMETER EXISTING 25" EXISTING 29"
DIAMETER LIVE OAK
TREE IN /
NEIGHBORS YARD.
EXISTING FENCE
BETWEEN
PROPERTIES TO
REMAIN. TREE IS 39" EXISTING 29" DIAMETER LIVE OAK TREE IN NEIGHBORS YARD. EXISTING FENCE BETWEEN PROPERTIES TO REMAIN. TREE IS 39' FROM PROPOSED SITE WARD. FROM PROPOSED SITE WORK NO CERTIFIED TREE PERMIT REQUIRED PER EMAIL FROM HEATHER SINGLE STORY HOME TO REMAIN REPLACE PORCH 25' FRONT SETBACK GRAVEL DRIVE TO REMAIN EXISTING FENCE PAVERS TO REMAIN S 80.00'00" W S 79.59'58" W Existing Plan Proposed Plan MATERIAL STAGING AND -DUMPSTER LOCATED IN EXISTING DRIVEWAY SPOILS PLACEMENT, PORTABLE TOILET AND CONCRETE WASHOUT ALL IN THIS ZONE

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N 79.59'52" E 5' REAR SETBACK EXISTING ADU CONCRETE DECK MASTER SUITE ADDITION DINING ADDITION WITH NEW ADDITION COVERED PORCH 25' FRONT SETBACK GRAVEL DRIVE TO REMAIN S 80.00'00" W S 79.59'58" W

Subchapter F

		Existing sq. ft. to remain	New/Added sq. ft.	Proposed Exemption (check article utilized)	Applied Exemption sq. ft.	Total sq. ft.
1st Floor		863	600			146
2 <sup>nd</sup> Floor		† I	_			
3 <sup>rd</sup> Floor		† I	_			
Area w/ cei	lings > 15°	69.8	223	Must follow article 3.3.5		292.
Ground Flo			121	Full Porch sq. ft. (3.3.3.A) 200 sq. ft. (3.3.3 A 2)	121	
Basement 4			_	Must follow article 3.3.3B, see note below	1	
Attic 5			_	Must follow article 3.3.3C, see note below		
Garage <sup>2</sup> (check	Attached			200 sq. ft. (3.3.2 B 1)	T [	
article utilized)	Detached		_	450 sq. ft. (3.3.2 A 1 / 2a) 200 sq. ft. (3.3.2 B 2a / 2b)	1	
Carport <sup>2</sup> : (check article	Attached	Ī	_	450 sq. ft. (3.3.2 A 3) 200 sq. ft. (3.3.2 B 1) <sup>3</sup>	1	
utilized)	Detached	Ī	_	450 sq. ft. (3.3.2 A 1)		
Accessory I (detached)	Building(s)	478			1	47
Totals		1410.8	944	TOTAL GR	OSS FLOOR AREA	2233.

(Total Gross Floor Area + Lot Area) x 100 = 37.35

Floor-To-Area Ratio (FAR) Is a sidewall articulation required for this project? Y N

e'es, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")?

(If Yes, indicate applicable section of Subchapter F and length of protru	sion on the draw	ings.)				
Site Development Information						
Area Description Note: Provide a separate calculation for each distinct area, Attach	Existing sq. ft. to Remain		New/Added sq. ft.		Total sq. ft.	
additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2	Bldg. 1	Bldg
a) 1st Floor conditioned area	863	478	600		1463	
b) 2 <sup>nd</sup> Floor conditioned area					0	
c) 3 <sup>rd</sup> Floor conditioned area	i i				0	
d) Basement					0	
e) Covered parking (garage or carport)					0	
f) Covered patio, deck, porch, and/or balcony area(s)					0	
g) Other covered or roofed area					0	
h) Uncovered wood decks		000	000	000	0	
Total Building Area (total a through h)	863	478	600	0	1463	
i) Pool					0	
j) Spa					0	
k) Remodeled Floor Area, excluding Addition /	936				926	

Building Coverage Information

Note: Building Coverage means the area of a lot incidental projecting eaves, balconies, and simila Total Building Coverage (sq ft): 1955 ls, ponds, and fountains an % of lot size: 33

Impervious Cover Information

Note: Impervious cover is the total horizontal area of ponds, fountains, and areas with gravel placed over per drainage spaces between the deck boards and that is le impervious cover. (LDC 25-1-25)

Total Impervious Cover (sq ft): 2346.5

Calculation Aid			
Area Description  Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
a) 1 <sup>st</sup> floor conditioned area	1341	600	19
b) 2 <sup>nd</sup> floor conditioned area	0	0	
<ul> <li>c) 3<sup>rd</sup> floor conditioned area</li> </ul>	0	0	
d) Basement	0	0	
e) Attached Covered Parking (garage or carport)			
<li>f) Detached Covered Parking (garage or carport)</li>			
g) Covered Wood Decks (counted at 100%)			
h) Covered Patio			
i) Covered Porch	114		
j) Balcony			
k) Other - Specify:			
Total Building Area (TBA) (add: a through k)	1455	600	20
Total Building Coverage (TBC) (from TBA subtract, if applicable: b, c, d, and j)	( <u>A</u> ) 1455	600	( <u>B</u> ) 20
l) Driveway	125.5		12
m) Sidewalks	40		
n) Uncovered Patio		128	
o) Uncovered Wood Decks (counted at 50%)	0	0	
<ul> <li>p) AC pads and other concrete flatwork</li> </ul>	7		
<ul> <li>q) Other (Pool Coping, Retaining Walls)</li> </ul>	76		
Total Site Impervious Coverage (add: TBC and I through q)	© 1703.5	728	( <u>D</u> ) 243
r) Pool	0	0	
s) Spa	0	0	

Building Coverage Information

Lot Area (sq. ft.): 5980

Existing Building Coverage (see above A, sq. ft.): 1455 Existing Coverage % of lot (<u>A</u> + Lot Area) x 100 : <u>22.4</u> %

Final Building Coverage (see above  $\underline{\mathbf{B}}$ , sq. ft.):  $\underline{\mathbf{2055}}$ 

Existing Impervious Coverage (see above C, sq. ft.): 1703.5

Existing coverage % of lot (<u>C</u> ÷ **Lot Area** ) x 100 : <u>28.48</u> % Final coverage % of lot (<u>D</u> + **Lot Area** ) x 100 : <u>40.66</u> 9

PROPOSED TOTAL GROSS FLOOR AREA = 37.35% OF LOT (40% ALLOWED)

PROPOSED TOTAL IMPERVIOUS COVER: 2346.5 SQ FT = 39% OF LOT (45% ALLOWED)

Fox Fox Studio, LLC

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esidence Brosnan

Permit Set

3/4/2021

1/16" = 1'-0" 11X17 SHEET 1/8" = 1'-0" 22X34 SHEET

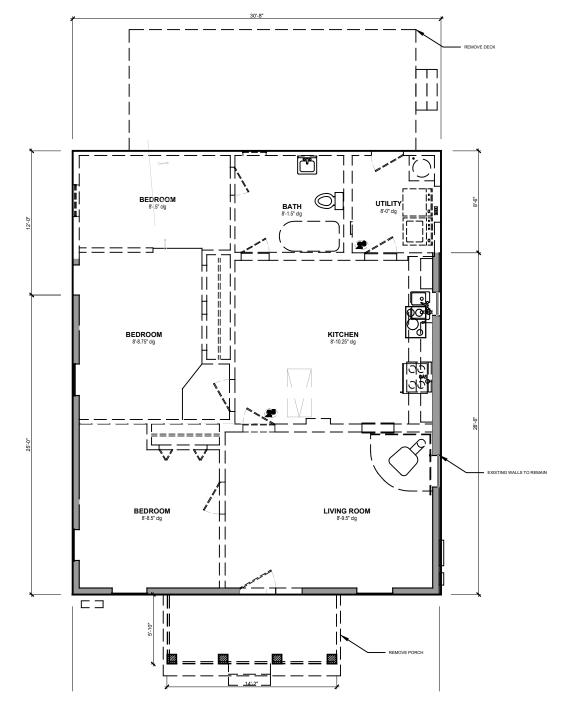
**PLANS** 

Fox Fox Studio, LLC

Existing House Foot Print (without porches) = 135'

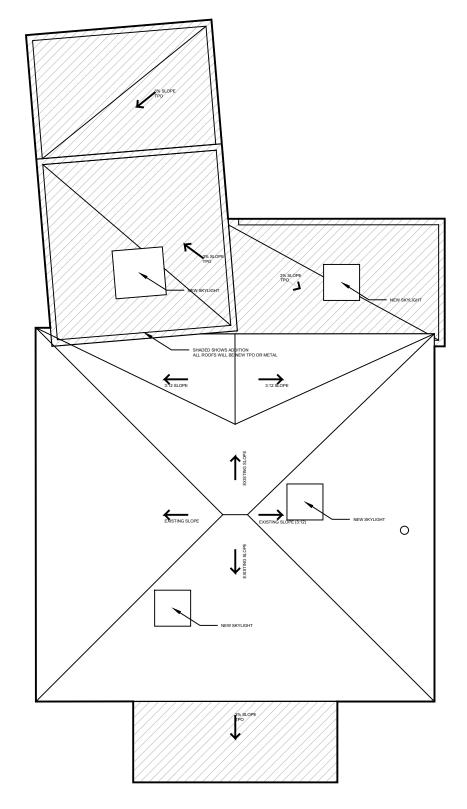
Max Removal Allowed - 67.5' (50%)

Demolished Walls Shown = 48'



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2 Proposed Roof Plan 1 Demolition Floor Plan



Brosnan Residence
Austin Texas 78702

Permit Set

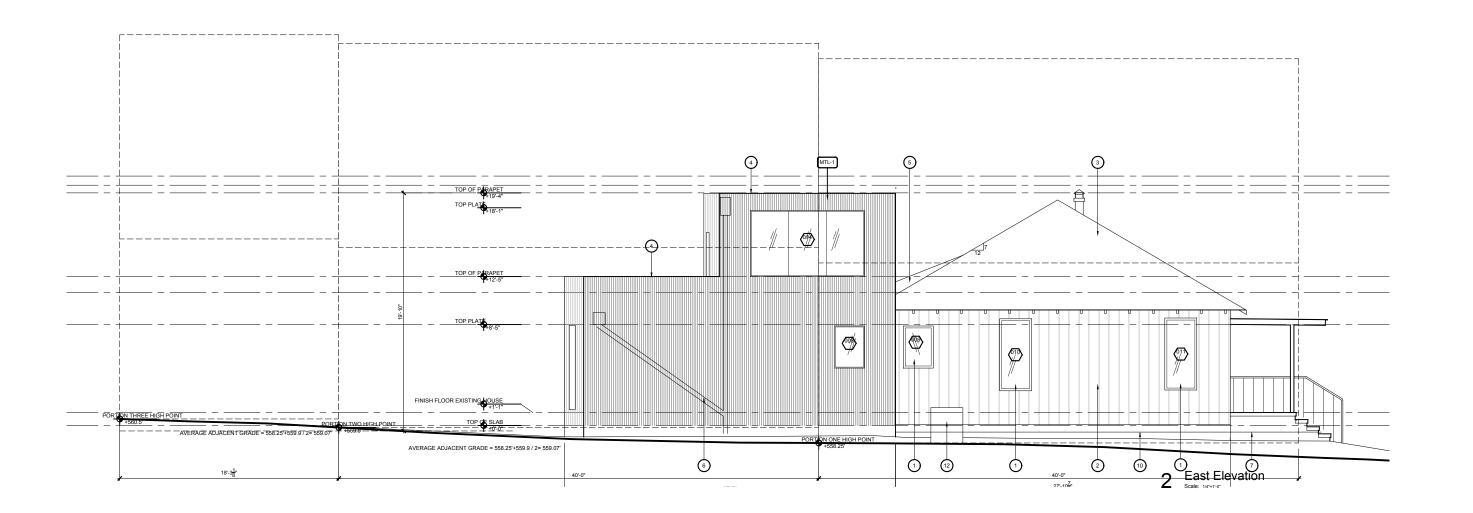
3/4/2021

1/8" = 1'-0" 11X17 SHEET 1/4" = 1'-0" 22X34 SHEET

Demolition Floor Plan

A2.0

# The dimensions on this sheet are based off of the face of finish material or masonry. All dimensions are to face of finish material, edge of awning, or centerline of support, unless otherwise notice. Contractor (GC) to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, notify Fox Fox Studio immediately. Elevations are shown for reference only. Refer to Building Plans, Sections, Wall Sections and Window Elevations for additional information. All glass to be tempered in areas required by applicable code. Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein. 3 +18'-1 Refer to appropriate sheet and/or schedule for adulturial information and analysis shown herein. Keynotes located on this sheet are for this sheet only. Do not scale the drawings. If a specific dimension is not given, contact Fox Fox Studio for clarification. Refer to Sheet A0.1-General Conditions for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work. Install all products per manufacturer's recommendations. TOP OF PARAPET TOP PHATE +10'-0" TOP PLATE EXISTING Elevation & Section Keynotes: Replacement window Existing wood siding and trim, repaired and painted Replace existing asphault roof with new metal roofing TPO roofing membrane, 3% slope to scuppers Overframed roof cricket Scupper downspouts New covered concrete porch with new handrail and guardrail Concrete rear deck Skylight Stucco underpinning New Metal siding AC Existing chimney **P % %** ₫ FINISH FLOOR EXISTING HOUSE TOP OF SLAB 1 West Elevation 11) 7 MTL-1 (8)



1

1

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10 2

Elevation & Section General Notes:

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# Brosnan Residence Austin Texas 78702

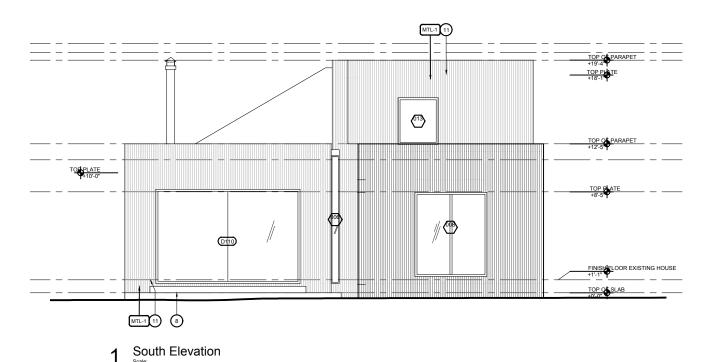
Permit Set

3/4/2021

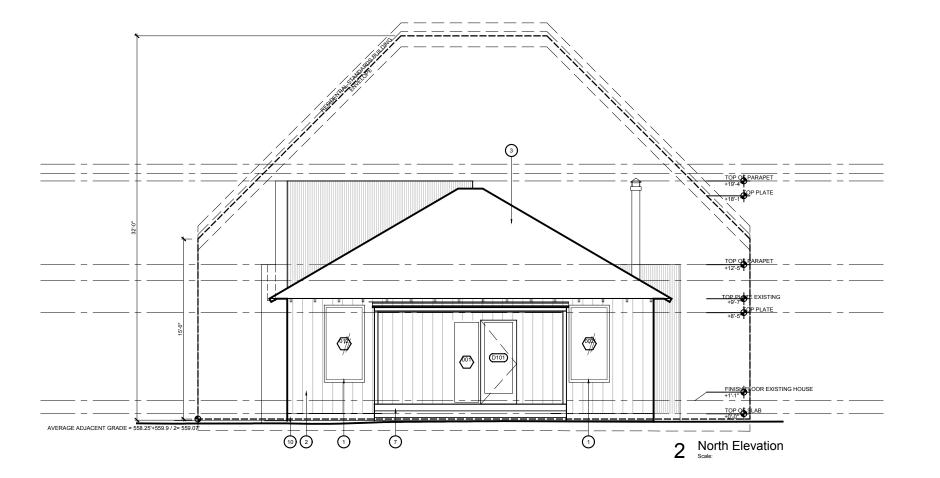
1/8" = 1'-0" 11X17 SHEET 1/4" = 1'-0" 22X34 SHEET

Building Elevations

A3.2



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## Elevation & Section General Notes:

- The dimensions on this sheet are based off of the face of finish material or masonry. All dimensions are to face of finish material, edge of awning, or centerline of support, unless otherwise noted.

  Contractor (GC) to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, notify Fox Fox Studio immediately. Elevations are shown for reference only. Refer to Building Plans, Sections, Wall Sections and Window Elevations for additional information.

  All glass to be tempered in areas required by applicable code.

  Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.

  Keynotes located on this sheet are for this sheet only.

  Do not scale the drawings. If a specific dimension is not given, contact Fox Fox Studio for clarification.

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# Elevation & Section Keynotes:

- Replacement window
  Existing wood siding and trim, repaired and painted
  Replace existing asphault roof with new metal roofing
  TPO roofing membrane, 3% slope to scuppers
  Overframed roof cricket
  Scupper downspouts
  New covered concrete porch with new handrail and guardrail
  Concrete rear deck
  Skylight
  Stucco underpinning
  New Metal siding
  AC
  Existing chimney

Fox Fox Studio, LLC

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1/8" = 1'-0" 11X17 SHEET 1/4" = 1'-0" 22X34 SHEET

3/4/2021

Building Elevations
Start Husber

A3.1