



# Residential New Construction and Addition Permit Application

[DevelopmentATX.com](http://DevelopmentATX.com) | Phone: 311 (or 512-974-2000 outside Austin)  
For submittal and fee information, see [austintexas.gov/digitaldevelopment](http://austintexas.gov/digitaldevelopment)

*Download application before entering information.*

Property Information				
Project Address:		Tax Parcel ID:		
Legal Description:				
Zoning District:		Lot Area (sq ft):		
Neighborhood Plan Area (if applicable):		Historic District (if applicable):		
Required Reviews				
Is project participating in <b>S.M.A.R.T. Housing</b> ? Y N (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)		Does project have a <b>Green Building</b> requirement? Y N (If yes, attach signed conditional approval letter from Austin Energy Green Building)		
Is this site within an <b>Airport Overlay Zone</b> ? Y N (If yes, approval through Aviation is required)		Does this site have a <b>septic system</b> ? Y N (If yes, submit a copy of approved septic permit. <b>OSSF review</b> required)		
Does the structure <b>exceed 3,600 square feet</b> total under roof? Y N (If yes, <b>Fire review</b> is required)		Is this property within 200 feet of a <b>hazardous pipeline</b> ? Y N (If yes, <b>Fire review</b> is required)		
Is this site located within an <b>Erosion Hazard Zone</b> ? Y N (If yes, <b>EHZ review</b> is required)		Is this property within 100 feet of the <b>100-year floodplain</b> ? Y N (Proximity to floodplain may require additional review time.)		
Are there trees <b>19" or greater in diameter on/adjacent</b> to the property? Y N <b>If yes</b> , how many? _____ (Provide plans with a tree survey, <b>tree review</b> required.)		Was there a pre-development consultation for the Tree Review? Y N Proposed impacts to trees: (Check all that apply) Root zone Canopy Removal None/Uncertain		
Is this site in the <b>Capital View Corridor</b> ? Y N (If yes, a preliminary review through land use is needed to determine if full view corridor review is required.)		Is this site within the <b>Residential Design and Compatibility Standards Ordinance Boundary Area</b> ? (LDC 25-2 Subchapter F) Y N		
Does this site currently have: water availability? Y N wastewater availability? Y N		(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)		
Does this site have or will it have an auxiliary water source? Y N (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)		(If yes, submit approved auxiliary and potable plumbing plans.)		
Does this site require a <b>cut or fill</b> in excess of four (4) feet? Y N		(If yes, contact the Development Assistance Center for a Site Plan Exemption)		
Is this site within the Waterfront Overlay? Y N (LDC 25-2 Subchapter C Article 3)		Is this site within the Lake Austin Overlay? Y N (LDC 25-2-180, 25-2-647)		
Does this site front a paved street? Y N (If no, contact Development Assistance Center for Site Plan requirements.)		Is this site adjacent to a paved alley? Y N (Public Works approval required to take access from a public alley.)		
Does this site have a <b>Board of Adjustment (BOA)</b> variance? Y N (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)		Case # _____ (if applicable)		
Description of Work				
Is Total New/Added Building Area > 5,000 sq. Ft.? Y N		(If yes, construction material recycling is required per LDC 25-11-39)		
Existing Use:	vacant	single-family residential	duplex residential	two-family residential other: _____
Proposed Use:	vacant	single-family residential	duplex residential	two-family residential other: _____
Project Type:	new construction	addition	addition/remodel	other: _____
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y N (Notes: Removal of all or part of a structure requires a Demolition Permit Application per LDC 25-11-37. A demo permit is not required for the removal of all or part of an interior wall, floor or ceiling)				
# existing bedrooms:	# bedrooms upon completion:		# baths existing:	# baths upon completion:
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) _____ _____				
Trade Permits Required (Check as applicable): electric plumbing mechanical (HVAC) concrete (R.O.W.)				



1304 BOB HARRISON STREET, AUSTIN TEXAS, 78702



FRONT FACADE



REAR FACADE



WEST FACADE



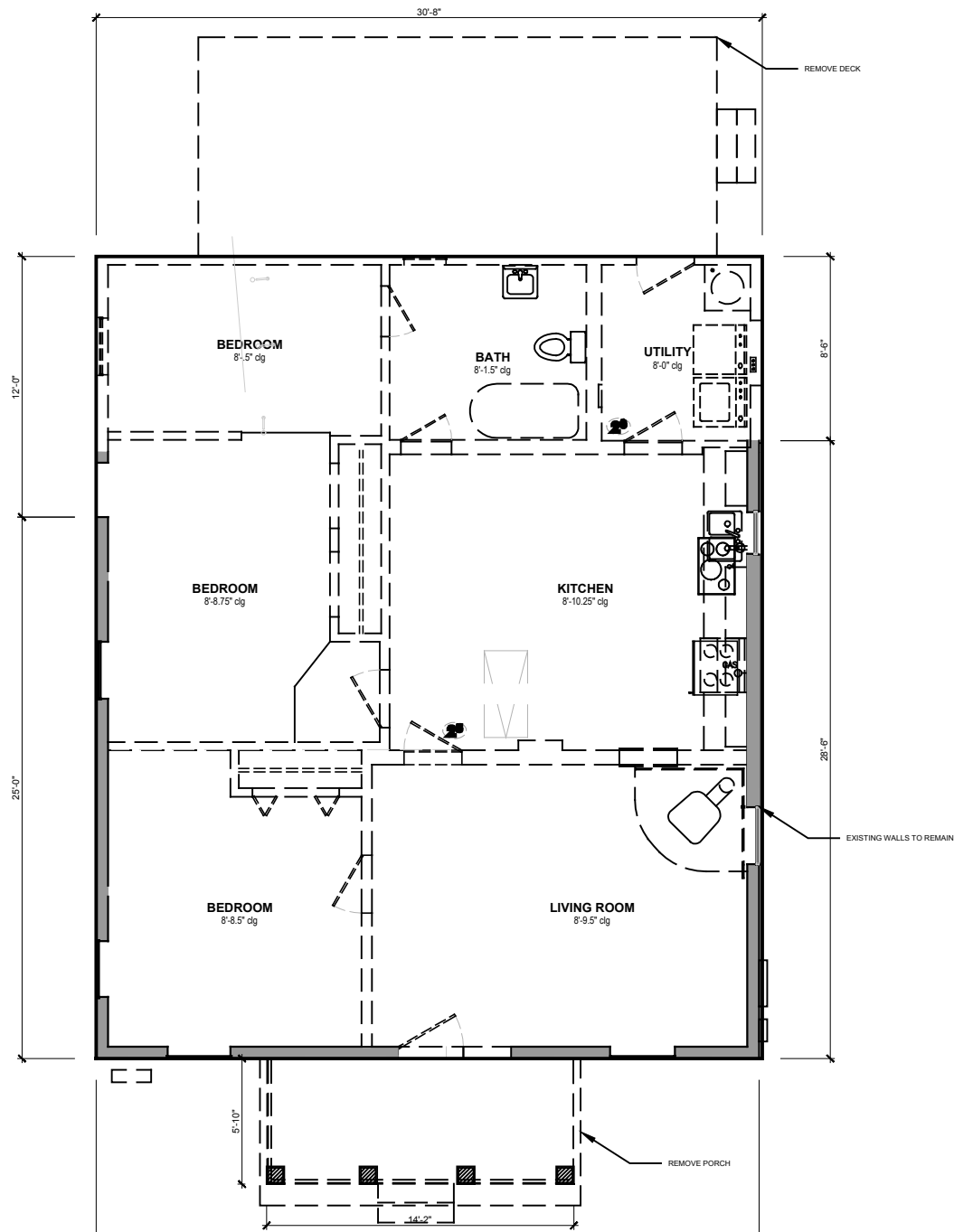
EAST FACADE



Existing House Foot Print (without porches) = 135'

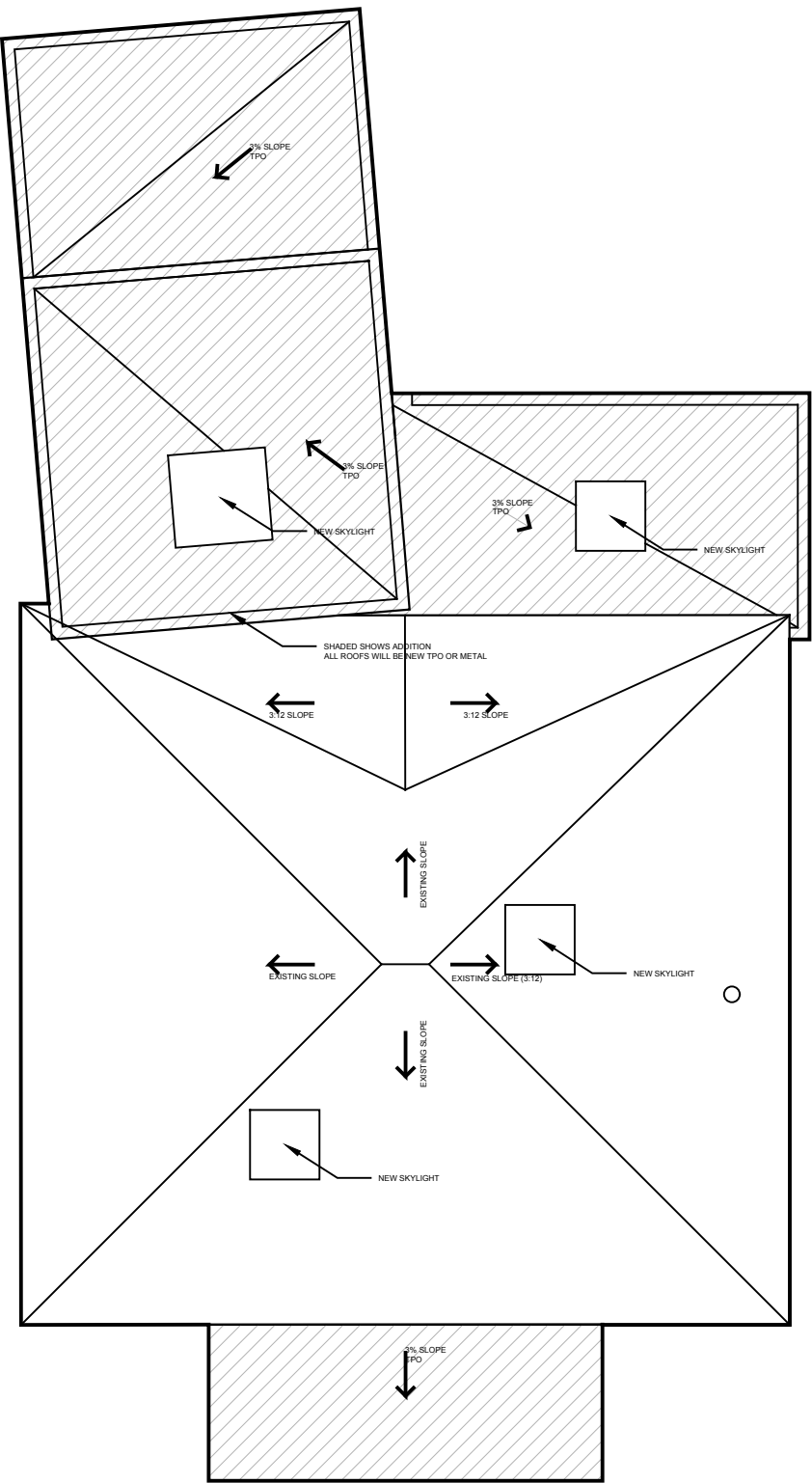
Max Removal Allowed - 67.5' (50%)

Demolished Walls Shown = 48'



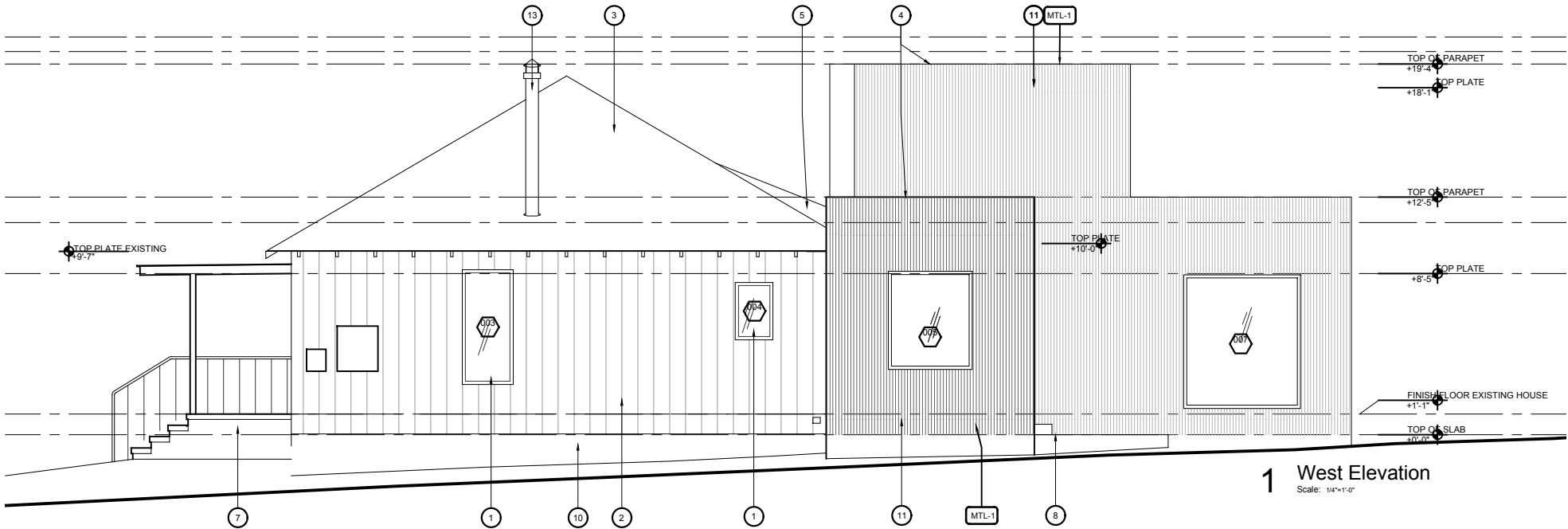
1 Demolition Floor Plan

Scale:



2 Proposed Roof Plan

Scale:

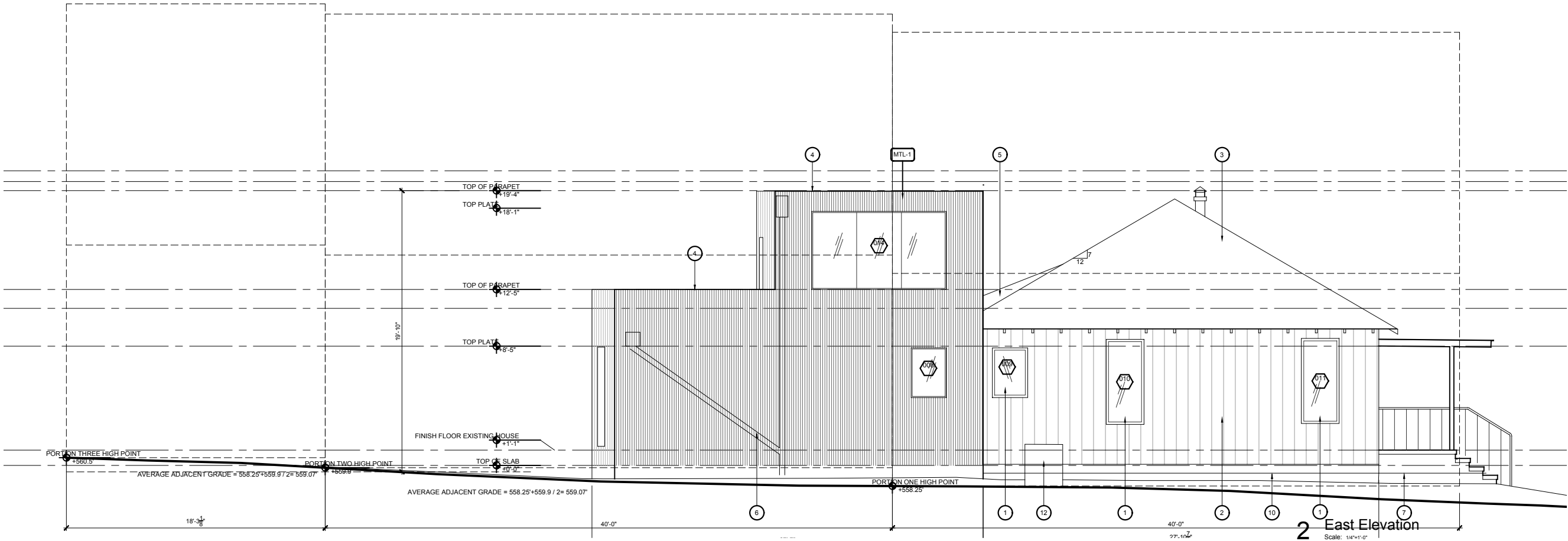


Elevation & Section General Notes:

1. The dimensions on this sheet are based off of the face of finish material or masonry. All dimensions are to face of finish material, edge of awning, or centerline of support, unless otherwise noted.
2. Contractor (GC) to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, notify Fox Fox Studio immediately.
3. Elevations are shown for reference only. Refer to Building Plans, Sections, Wall Sections and Window Elevations for additional information.
4. All glass to be tempered in areas required by applicable code.
5. Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
6. Keynotes located on this sheet are for this sheet only.
7. Do not scale the drawings. If a specific dimension is not given, contact Fox Fox Studio for clarification.
8. Refer to Sheet A0.1-General Conditions for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.
9. Install all products per manufacturer's recommendations.

Elevation & Section Keynotes:

1. Replacement window
2. Existing wood siding and trim, repaired and painted
3. Replace existing asphalt roof with new metal roofing
4. TPO roofing membrane, 3% slope to scuppers
5. Overframed roof cricket
6. Scupper downspouts
7. New covered concrete porch with new handrail and guardrail
8. Concrete rear deck
9. Skylight
10. Stucco underpinning
11. New Metal siding
12. AC
13. Existing chimney



Fox Fox Studio, LLC

Will Fox  
512.925.0375 - will@foxfoxstudio.com

Brosnan Residence  
1304 Bob Harless Street  
Austin Texas 78702

Permit Set

Date  
3/4/2021

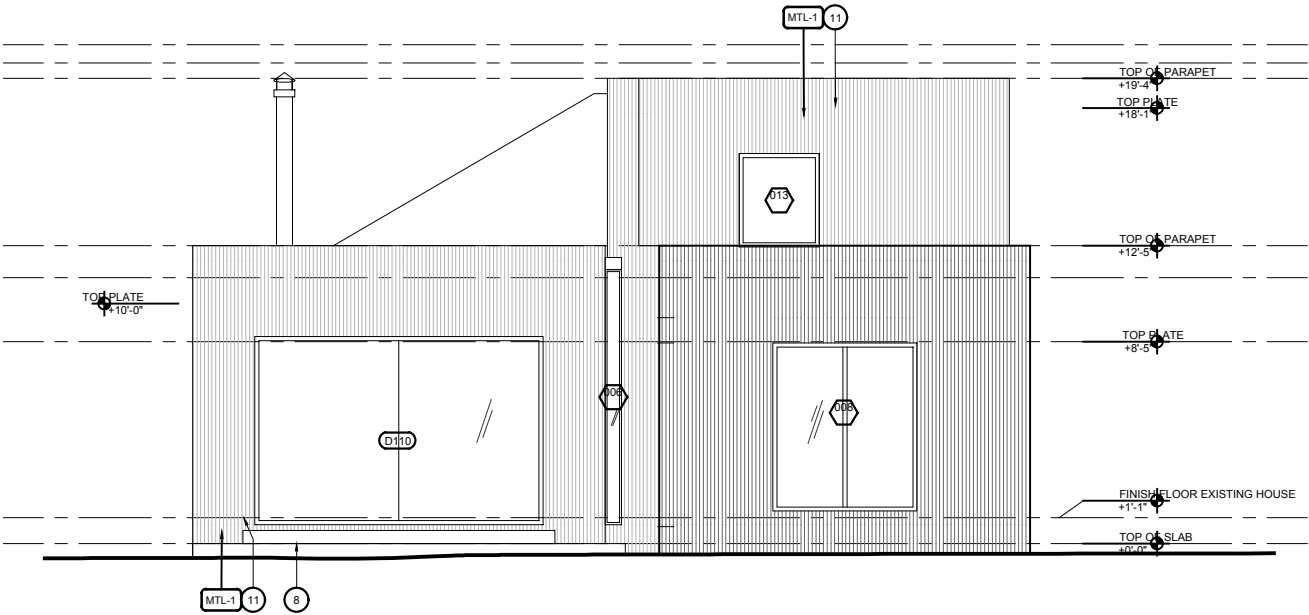
Revision Date

1/8" = 1'-0" 11X17 SHEET  
1/4" = 1'-0" 22X34 SHEET

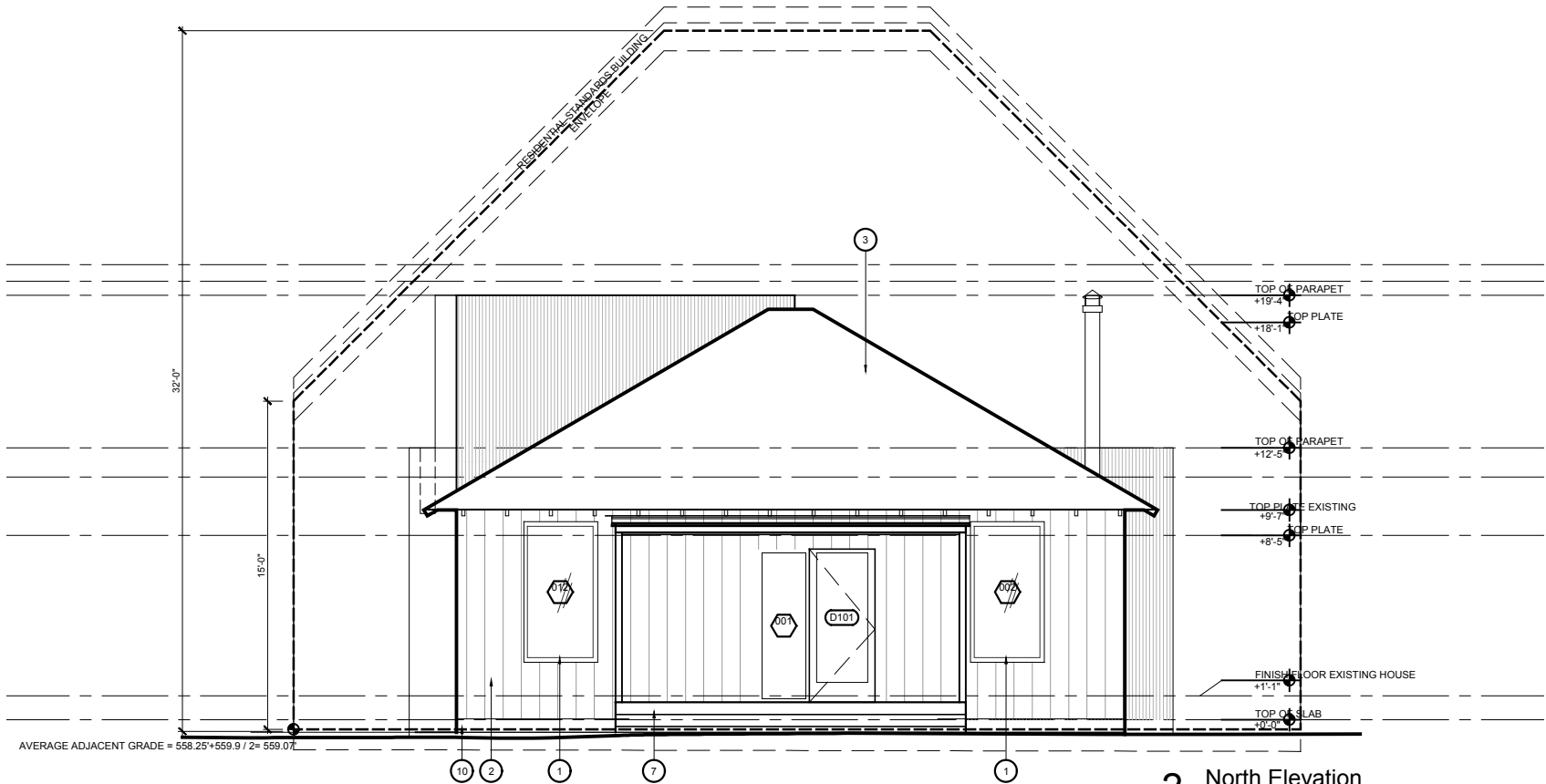
Building  
Elevations

Sheet Number

A3.2



1 South Elevation  
Scale:



2 North Elevation  
Scale:

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Project  
**Brosnan Residence**  
1304 Bob Hartman Street  
Austin Texas 78702

Notes

Permit Set

Date

3/4/2021

Person

Date

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1/4" = 1'-0" 22X34 SHEET

Sheet Title

**Building  
Elevations**

Sheet Number

**A3.1**