

ENFIELD TOWNHOUSES

1201 ENFIELD ROAD AUSTIN, TX 78703

PROJECT INFO

SCOPE OF WORK

Proposed Residential Building, Consisting of (1) 3-story Wood Framed Site Built, Wood frame and Steel Columns

PROJECT SUMMARY

Lot Area: 24,393.60 SF
Legal Description: .56 AC of Lot 18 Enfield A
Base Zoning: MF-3 NP
Alternate Compliance: SF-5
Type of Construction: Wood framed structure and concrete foundation system
IRC designation: Residential Townhomes
Unit Quantity: 4 Dwelling Units
Parking Required: 2 Spaces per unit
Parking Provided: 8 Required Spaces; 3 Guest Spaces = 11 Total Spaces
Automatic Fire Sprinklers: Yes
Sprinkler Type: 13D

CODE AND STANDARDS

- The term IRC shall apply to the current edition of the International Residential Code as amended by the local jurisdiction.
- This set of plans prepared and submitted for approval under the following code

2015 International Energy Code (IECC) - Local Amendments
2015 International Fire Code (IFC) - Local Amendments
2015 International Residential Code (IRC) - Local Amendments
2015 International Property Maintenance Code (IPMC) - Local Amendments
2015 Uniform Mechanical Code (UMC) - Local Amendments
2015 Uniform Plumbing Code (UPC) - Local Amendments
2020 National Electrical Code (NEC) - Local Amendments
2018 International Swimming Pool and Spa Code (ISPSA) - Local Amendments

Note: Fire sprinkler and fire alarm designs and systems are provided and installed by others.

BUILDING AREA SUMMARY

Total Building Coverage on Site: 4,901 SF

	Unit 1	Unit 2	Unit 3	Unit 4	total
a) 1st floor conditioned area	1,015.37 sf	1,049.33 sf	1,049.33 sf	1,015.37 sf	4,129.40 sf
b) 2nd floor conditioned area	1,126.09 sf	1,159.41 sf	1,159.41 sf	1,126.09 sf	4,571 sf
c) 3rd floor conditioned area	-	-	-	-	-
d) *basement, habitable attic	312.70 sf	311.19 sf	311.19 sf	312.70 sf	1,247.78 sf
e) *covered parking (garage or carport)	267.74 sf	402.89 sf	402.89 sf	267.74 sf	1,341.26 sf
f) *covered patio, deck, or porch	213.40 sf	172.40 sf	172.40 sf	213.40 sf	771.60 sf
g) uncovered wood deck, roof deck	-	-	-	-	-
h) *balcony	65.71 sf	65.02 sf	65.02 sf	65.71 sf	261.46 sf
i) other covered or roofed areas	-	-	-	-	-
*total unit area with allowed exemptions	2,141.46 sf	2,208.74 sf	2,208.74 sf	2,141.46 sf	-
total building area (add all: a through i)	-	-	-	-	12,322.50 sf

Story 0 (Parking) : 2,589.04 Gross Square Feet*
Story 1 (Residential) : 4,901 Gross Square Feet
Story 2 (Residential) : 4,832.46 Gross Square Feet
Maximum FAR: .40 (24,393.60 sf x .40 = 9,757.44 sf)
Actual FAR: .36 (8,700.40 sf / 24,393.60 sf = .356)

Gross Square Footage *8,700.40 Gross Square Feet

*w/ allowed exemptions: Applied Carport, Basement, Patio, Deck, Balcony, and Attached Parking

BUILDING CODE ANALYSIS

Construction Type: Wood w/Steel Elements
Allowable Building Height: 32' Sub-Chapter F
Allowable Number of Stories: 3 stories above grade plane in height with a separate means of egress, R101.2
Automatic Sprinklers: An automatic sprinkler shall be installed in townhomes, in accordance with Section P2904 or NFPA 13D, R313.1
Exterior Walls - Dwellings with Fire Sprinklers [Table R302.1(2)]

- Fire-Resistance rated: 1 hour, ASTM E 119 or UL 263 with exposure to outside
- Minimum Fire Separation Distance: 0 feet
- Projections: 1 hour on the underside; 2 feet minimum fire separation
- Openings in Wall: Unlimited, 0 hours, 3' minimum fire separation distance
- Penetrations: Comply with R302.4 if < 3'; No minimum fire-resistance if < 3'

Common Walls: separating townhouses shall be assigned a fire-resistance rating in accordance with Section 302.2., 1
1. Where fire sprinkler system is provided: 1 hour fire-resistance-rated wall is required.
Fire Blocking: Require at each Level, R302.11.

- 1. In concealed spaces of stud walls, vertically at ceiling and floor levels. Horizontally at intervals not exceeding 10 feet.

Continuity: The fire resistance-rated wall or assembly separating townhouses shall be continuous from the foundation to the underside of the roof sheathing, deck or slab, R302.2.1
Structural Independence: Each individual Townhouse shall be structurally independent. R302.2.3
Dwelling-Garage fire separation: Fire-resistance is required [Table R302.6]

- From Habitable rooms above the garage: 5/8" type X gypsum board or equivalent.
- Structural Supporting floor/ceiling assemblies for separation, no less than 1/2" gypsum board or equivalent.

Smoke Alarms & Carbon Monoxide Alarms: Wall and Ceiling Smoke and CO Alarms shall comply with NFPA 72 and Section R314 & Section R315: provided in dwelling units.
Egress: A means of egress provided for each dwelling unit. The means shall provide a continuous and unobstructed path of vertical and horizontal egress travel to a public way or yard or court that opens to a public way.

SUBCHAPTER F AND VISITABILITY ZONING ORDINANCE ANALYSIS

Accessible Standards:
Visitability:

- Exterior visitability path, exemption. Slope from back of structure to front property line <10%.
- No step entrance to all units
- Clearance reqs to ground level restrooms

Parking Spaces (COA Municode, 9.2.0):

- two (2) or more parking spaces per unit.
- 10% of total parking spaces on the site must be unassigned spaces which are available for the use of visitors.

SF-5 USE AND DEVELOPMENT REGULATIONS

PER ALTERNATIVE ZONING REGULATION SF-5

MINIMUM LOT SIZE: 5,750 SF PER ZONE
MINIMUM LOT WIDTH: 50'
MAX HEIGHT: 35'
SETBACKS:

- FRONT 15'
- STREET SIDE YARD 10'
- INTERIOR SIDE YARD 5'
- REAR YARD 5'

MAX FLOOR AREA RATIO (per SubChapter F): 40%
MAX IMPERVIOUS COVER: 55%
MAX BUILDING COVERAGE: 40%

ACTUAL

LOT SIZE: 24,393.60 SF
LOT WIDTH MAX: 158'-4"; VARIES
HEIGHT: 32'-8" FT
SETBACKS:

- FRONT 15'
- STREET SIDE YARD N/A
- INTERIOR SIDE YARD 5'
- REAR YARD 5'

FLOOR AREA RATIO (40%): 9,757 SF
IMPERVIOUS COVER (44%): 10,730 SF
BUILDING COVERAGE (20%): 4,929 AF

PROJECT SHEET INDEX

GENERAL SHEETS

G0.01 COVER

CIVIL SHEETS

C1 COVER SHEET
C2 NOTES SHEET
C3 LEGEND SHEET
C4 EXISTING CONDITIONS
C5 DEMOLITION PLAN
C6 EXISTING DRAINAGE AREA MAP
C7 PROPOSED DRAINAGE AREA MAP
C8 EROSION AND SEDIMENTATION CONTROL PLAN
C9 EROSION NOTES AND DETAILS
C10 SITE AND DIMENSIONAL CONTROL PLAN
C11 SITE DETAILS (1 OF 2)
C12 SITE DETAILS (2 OF 2)
C13 GRADING PLAN
C14 WATER AND WASTEWATER PLAN
C15 AUSTIN WATER GENERAL INFORMATION AND CONSTRUCTION NOTES
C16 WATER AND WASTEWATER DETAILS
C17 ELEVATIONS
C18 ELEVATIONS
C19 LANDSCAPE & IRRIGATION SPECIFICATIONS
C20 LANDSCAPE PLAN

ARCHITECTURAL SHEETS

A0.0.0 GENERAL NOTES
A0.0.1 WALL TYPES
A0.01 EXISTING SITE PLAN
A0.02 ARCH SITE PLAN
A0.03 ARCH SITE PLAN CODE
A1.00 LEVEL 0 - FLOOR PLAN
A1.01 LEVEL 1 - FLOOR PLAN
A1.02 LEVEL 2 - FLOOR PLAN
A1.03 ROOF PLAN
A1.04 LEVEL 0 - RCP
A1.05 LEVEL 1 - RCP
A1.06 LEVEL 2 - RCP
A2.00 ELEVATIONS
A2.01 ELEVATIONS
A2.02 HIDDEN ELEVATIONS
A3.00 SECTIONS
A3.01 SECTIONS
A3.02 SECTIONS
A3.03 WALL SECTIONS
A4.00 ENLG DIMENSION PLANS
A4.01 ENLG DIMENSION PLANS
A7.00 DOOR SCHEDULE
A7.01 WINDOW SCHEDULE / FINISHES

STRUCTURAL SHEETS

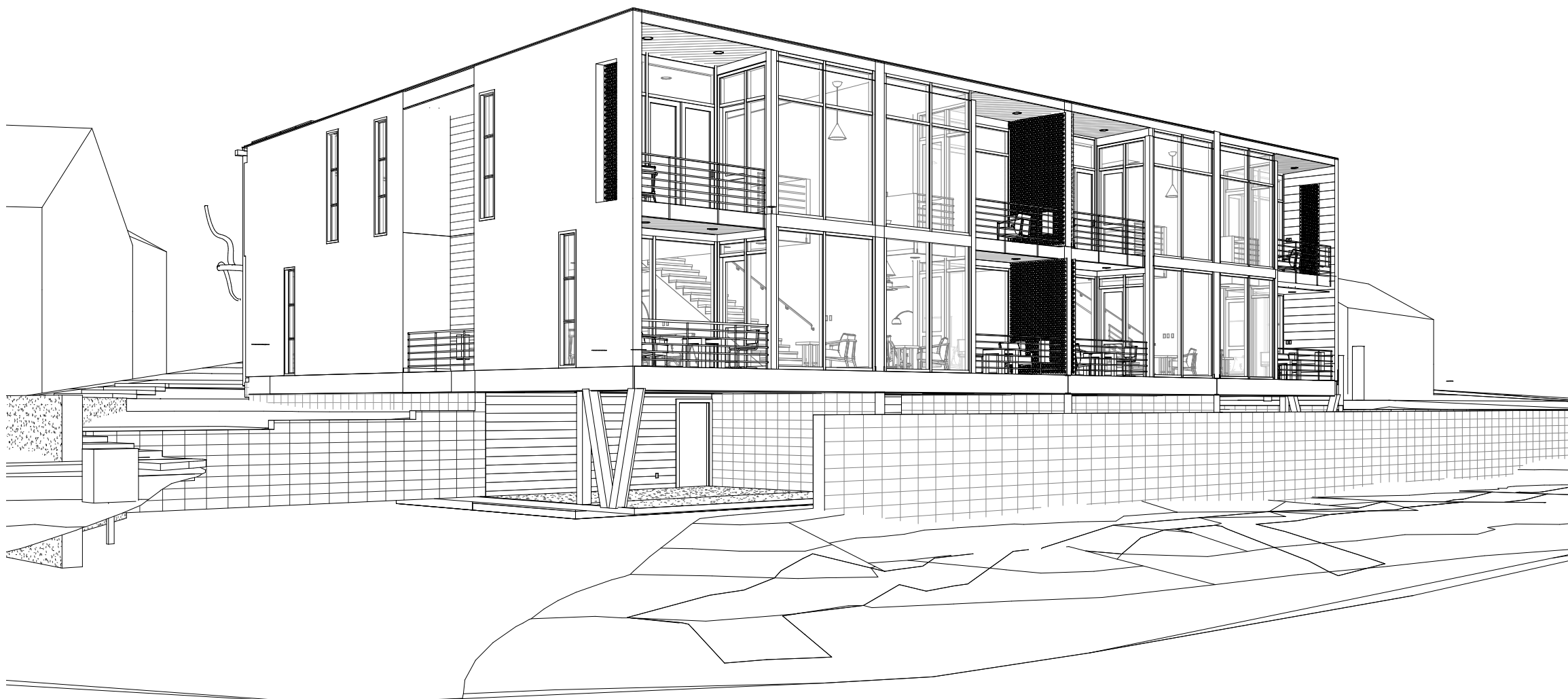
S0.00 GENERAL NOTES
S0.10 GENERAL NOTES
S0.20 3D VIEWS
S1.00 LEVEL 0 FOUNDATION PLAN
S1.01 LEVEL 0 BRACED WALL PLAN
S1.10 LEVEL 1 FLOOR FRAMING PLAN
S1.11 LEVEL 1 BRACED WALL PLAN
S1.20 LEVEL 2 FLOOR FRAMING PLAN
S1.21 LEVEL 2 BRACED WALL PLAN
S1.30 ROOF FRAMING PLAN
S2.00 STEEL ELEVATIONS
S2.01 STEEL ELEVATIONS
S2.02 STEEL ELEVATIONS
S3.00 TYPICAL CONCRETE DETAILS
S3.01 TYPICAL CONCRETE DETAILS
S3.02 FOUNDATION CONCRETE DETAILS
S3.03 FOUNDATION WALL DETAILS
S4.00 TYPICAL WOOD FRAMING DETAILS
S4.01 TYPICAL WOOD SHEAR WALL DETAILS
S4.02 TYPICAL FLOOR FRAMING DETAILS
S4.03 TYPICAL ROOF FRAMING DETAILS
S5.00 TYPICAL STEEL DETAILS
S6.00 TYPICAL CMU DETAILS

MEP SHEETS

M-0.1 MECHANICAL LEGEND & SHEET INDEX
M-0.2 MECHANICAL SCHEDULES
M-2.1 LEVEL 1 MECHANICAL FLOOR PLAN
M-2.2 LEVEL 2 MECHANICAL FLOOR PLAN
M-2.3 LEVEL 3 MECHANICAL FLOOR PLAN
M-3.1 MECHANICAL ROOF PLAN
M-4.1 MECHANICAL DETAILS
M-4.2 MECHANICAL DESIGN SCHEMATIC

P-0.1 PLUMBING LEGEND & SHEET INDEX
P-0.2 PLUMBING SCHEDULES
P-2.1 LEVEL 1 PLUMBING DOMESTIC WATER PLAN
P-2.2 LEVEL 1 PLUMBING WASTE AND VENT PLAN
P-2.3 LEVEL 1 PLUMBING NATURAL GAS PLAN
P-2.4 LEVEL 2 PLUMBING DOMESTIC WATER PLAN
P-2.5 LEVEL 2 PLUMBING WASTE AND VENT PLAN
P-2.6 LEVEL 2 PLUMBING NATURAL GAS PLAN
P-2.7 LEVEL 3 PLUMBING DOMESTIC WATER PLAN
P-2.8 LEVEL 3 PLUMBING WASTE AND VENT PLAN
P-2.9 LEVEL 3 PLUMBING NATURAL GAS PLAN
P-3.1 PLUMBING ROOF PLAN
TP-4.1 PLUMBING DETAILS
TP-4.2 PLUMBING DETAILS CONT.

E-0.1 ELECTRICAL GENERAL NOTES/SHEET INDEX
E-0.2 ELECTRICAL SYMBOLS
E-1.1 ELECTRICAL SITE PLAN
E-2.1 LEVEL 1 LIGHTING PLAN
E-2.2 LEVEL 1 POWER FLOOR PLAN
E-3.1 LEVEL 2 LIGHTING PLAN
E-3.2 LEVEL 2 POWER FLOOR PLAN
E-4.1 LEVEL 3 LIGHTING PLAN
E-4.2 LEVEL 3 POWER FLOOR PLAN
E-5.1 ELECTRICAL - SINGLE LINE DIAGRAM



TEAM

ARCHITECT

CHRIS KRAGER, AIA
BLAIR MCKAY, AIA
KRDB

916 SPRINGDALE RD. BLDG. 5,
STE 101, AUSTIN, TX 78702

512.374.0946
CHRIS@KRDB.COM

CLIENT

REBECCA DALBY

104 MOSS ST.
HOUSTON, TX 77009

832.265.5294
REBECCADALBY@GMAIL.COM

STRUCTURAL

SAM COVEY, PE
ELIZABETH DEPWE, PE
FORT STRUCTURES

2235 E 6TH ST, STE. 105
AUSTIN, TX 78702

512.817.9264

CIVIL

MATT DRINGENBERG, PE
HENRY JUAREZ
SOUTHWEST ENGINEERS, INC.

205 CIMARRON PARK LOOP, STE. B
BUDA, TX 78610

512.312.4336

MEP

JOSHUA BELTRAN
CARLOS RIVAS
RIVERSIDE ENGINEERING

11801 PIERCE STREET SUITE 200
RIVERSIDE, CA 92505

951.977.1042

GEOTECHNICAL

AUBREY M. TAYLOR

TERRADYNE ENGINEERING, INC.

8906 WALL ST, STE. 505
AUSTIN, TX 78754

512.252.1218

LANDSCAPE

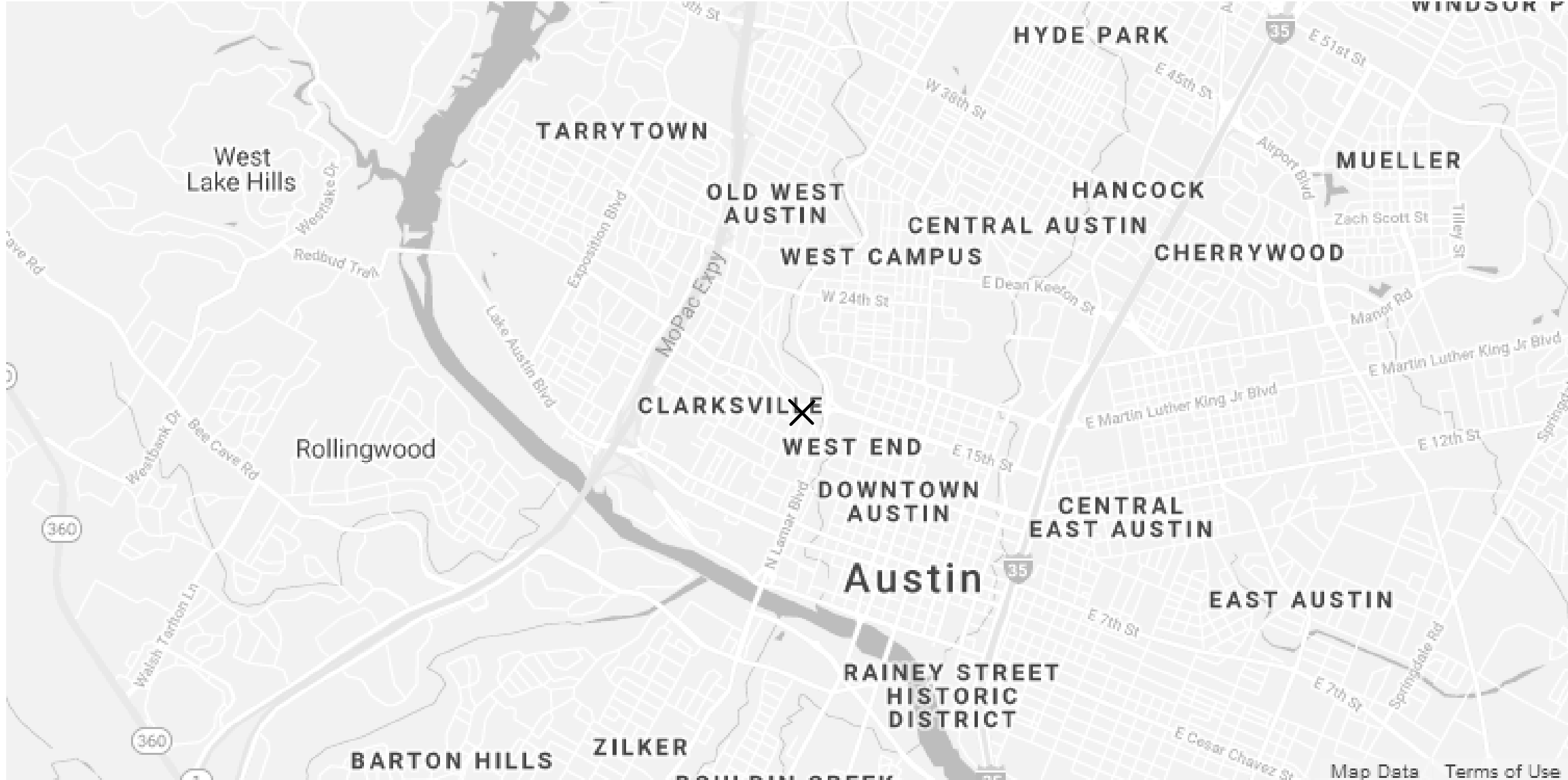
WILL BLAIR

BLAIR LANDSCAPE ARCHITECTURE, LLC

306 W MAIN ST. SUITE 12
ROUND ROCK, TEXAS 78664

512.522.8979

VICINITY MAP



KRDB

916 Springdale Rd.
Building #5, Suite 101
Austin, TX 78702
512.374.0946 T
512.374.0736 F

www.krdb.com

CLIENT

REBECCA DALBY
104 Moss St.
Houston, TX 77009
832.265.5294
REBECCADALBY@GMAIL.COM

ARCHITECT

CHRIS KRAGER, AIA
BLAIR MCKAY, AIA
KRDB
916 SPRINGDALE RD. BLDG. 5,
STE 101, AUSTIN, TX 78702

512.374.0946

CHRIS@KRDB.COM

STRUCTURAL

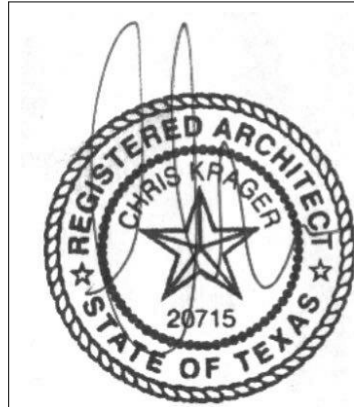
SAM COVEY, PE FORT
STRUCTURES
2235 E 6TH ST, STE. 105
AUSTIN, TX 78702
512.817.9264

CIVIL

MATT DRINGENBERG,
PE SOUTHWEST
ENGINEERS, INC.
205 CIMARRON PARK
LOOP, STE. B BUDA, TX
78610 512.312.4336

MEP

CARLOS RIVAS,
RIVERSIDE
ENGINEERING
11801 Pierce Street
Riverside, CA 92505
951.977.1042



ENFIELD TOWNHOUSES

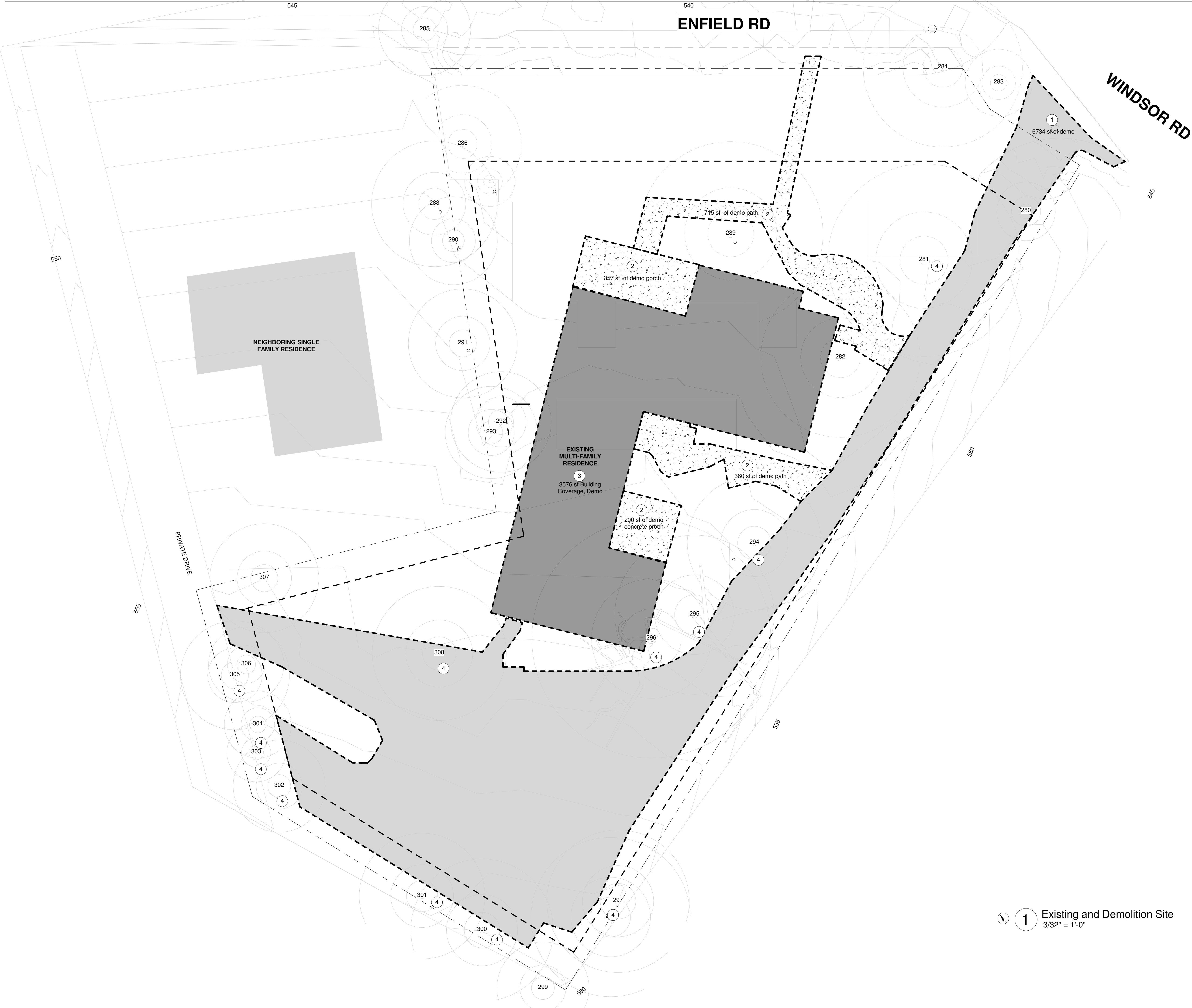
1201 ENFIELD ROAD
AUSTIN, TX 78703

NAME	DATE
DEMO PERMIT	01/12/21
PERMIT SET	02/12/21

COVER

G0.01

3/4/2021 10:10:44 AM



KRDB

916 Springdale Rd.
Building #5, Suite 101
Austin, TX 78702
512.374.0946 T
512.374.0736 F
www.krdb.com

CLIENT

REBECCA DALBY
104 Moss St.
Houston, TX 77059
832.265.5294
REBECCADALBY@GMAIL.COM

ARCHITECT

CHRIS KRAGER, AIA
BLAIR MOCA, AIA
KRDB
916 SPRINGDALE RD. BLDG. 5,
STE 101, AUSTIN, TX 78702
512.374.0946
CHRIS@KRDB.COM

STRUCTURAL

SAM COVEY, PE FORT
STRUCTURES
2235 E 6TH ST, STE. 105
AUSTIN, TX 78702
512.817.9264

CIVIL

MATT DRINGENBERG,
PE SOUTHWEST
ENGINEERS, INC.
305 CIMARRON PARK
LOOP, STE. B BUDA, TX
78610 512.312.4336

MEP

CARLOS RIVAS,
RIVERSIDE
ENGINEERING
11801 Pecos Street
Riverside, CA 92505
951.977.1042

REGISTERED ARCHITECT

CHRIS KRAGER

2015

STATE OF TEXAS

ENFIELD TOWNHOUSES

1201 ENFIELD ROAD
AUSTIN, TX 78703

NAME	DATE
DEMO PERMIT	01/12/21
PERMIT SET	02/12/21

EXIST/DEMO SITE PLAN

A0.01

2/13/2021 9:38:04 AM

ENFIELD RD

545

540

ENFIELD RD

WINDSOR RD

550

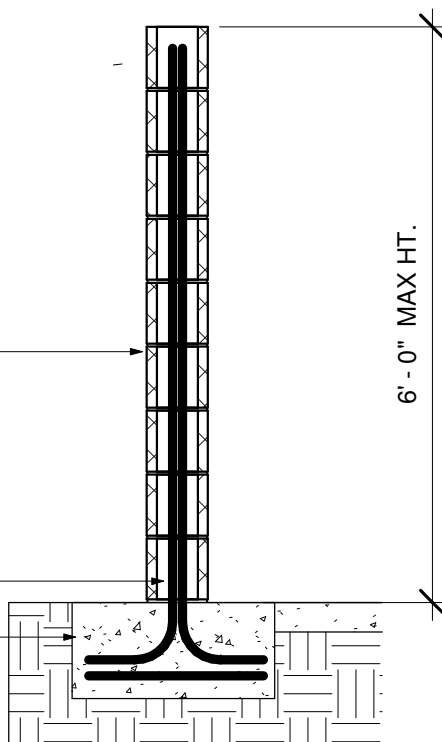
NEIGHBORING SINGLE
FAMILY RESIDENCE

PRINTED DRIVE

555

CMU privacy wall, 12"
high stack bond

Rebar per Structural
Footing per Structural

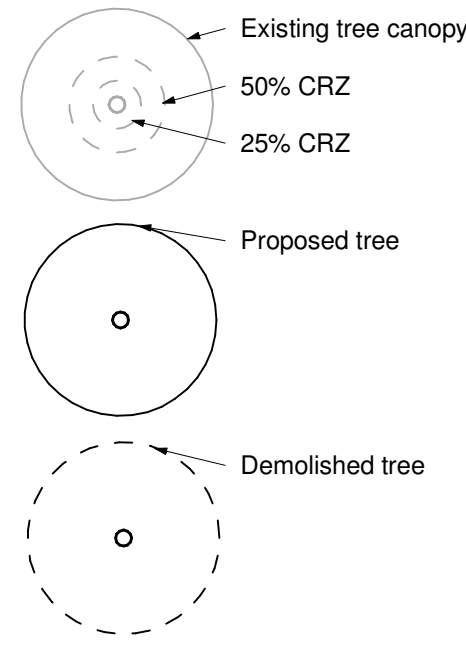


3 Stand-Alone Privacy Wall Detail
1/2" = 1'-0"

: KEYNOTES

1. Location of electrical panel.
2. Meters. Ref. to MEP drawings.
3. Site wall.
4. Line of fire hose laydown length.
5. Non-covered parking.
- 6.covered parking.
7. 6' Masonry fence.
8. Bike Parking
9. Concrete Site steps
10. Partial ht concrete wall. < 4'
11. Ground cover, landscaping
12. 15' ht. limestone rocks
13. Native Tall Grass
14. Removed Electrical Pole
15. Replaced Electrical Pole with steel pole.
16. 4" concrete drive.
17. 5000 sl temporary area for spoils and staging, porta potty, washout, dumpster, and access.
18. Stabilized construction entrance according to COA Item No. 641S.
19. Concrete apron.
20. Fine grade and level disturbed earth. Re-seed or sog with watering plan.
21. 4" concrete paver steps.
22. NA
23. 8" French drain.
24. Location of water shut off.
25. City R.O.W. extension into original property.
26. Drain daylight thru all, add turn down drain cover.
27. T.O.Wall 6'-5"
28. Mailbox Kiosk, 4 units w/package box, per USPS reg. adn ADA.

TREE LEGEND



TREE LIST

TAG #	TYPE	SIZE	STATUS
280	POST OAK	7	DEMO
281	CEDAR	23M	
282	CEDAR ELM	19	DEMO
283	HACKBERRY	8M	DEMO
284	HACKBERRY	19M	DEMO
285	CEDAR	11M	
286	CEDAR ELM	14	
287	HACKBERRY	6	
288	LIVE OAK	15M	
289	CEDAR ELM	22	DEMO
290	HACKBERRY	10.5M	
291	CEDAR ELM	13M	
292	CEDAR ELM	12	
293	CEDAR ELM	11M	
294	CEDAR ELM	16	
295	CEDAR ELM	19	
296	LIVE OAK	28.5M	DEMO
297	CEDAR ELM	17M	DEMO
298	CHINA BERRY	19M	DEMO
299	HACKBERRY	11	
300	CHINA BERRY	17M	
301	HACKBERRY	15M	DEMO
302	CEDAR ELM	11	
303	HACKBERRY	7	DEMO
304	CHINA BERRY	8	DEMO
305	HACKBERRY	13M	DEMO
306	CEDAR ELM	9M	DEMO
307	CEDAR ELM	13M	DEMO
308	CEDAR ELM	16M	

SITE PLAN GENERAL NOTES

1. BE ADVISED KEYNOTES SHOWN ARE ONLY FOR THIS SHEET AND NOT TO BE USED ON OTHER SHEETS.
2. DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT BEFORE CONTINUING THE WORK.
3. SIDEWALK EXPANSION JOINTS TO BE 20'-0" O.C. MAX TYP, CONTROL JOINTS EVERY 5'-0" O.C. MAX TYP, UNLESS NOTED ON DRAWINGS
4. ALL SIDEWALKS SHALL BE 5'-0" WIDE, UNLESS OTHERWISE NOTED
5. VERIFY ALL SPOT ELEVATIONS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES.
6. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN DURING DEMOLITION AND CONSTRUCTION. PER SPECS & LANDSCAPE DRAWINGS. CONTRACTOR WILL BE HELD RESPONSIBLE FOR HARM TO TREES.
7. REFER TO ELECTRICAL SITE PLAN FOR SITE LIGHTING AT SIDEWALK AND PARKING.
8. VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK.
9. CONTRACTOR SHALL VISIT PROJECT SITE TO FAMILIARIZE HIMSELF WITH THE SCOPE OF WORK AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. ANY AMBIGUOUS ITEMS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO SUBMITTING PROPOSAL.
10. REFER TO ROOF PLAN AND ELEVATIONS FOR ROOF HEIGHTS.
11. REFER TO LANDSCAPE DRAWINGS FOR TREE PROTECTION, NEW TREES , GROUND COVER, AND LANDSCAPE

KRDB

916 Springdale Rd.
Building #5, Suite 101
Austin, TX 78702
512.374.0946 T
512.374.0736 F

www.krdb.com

CLIENT

REBECCA DALBY
104 Moss St.
Houston, TX 77009
832.265.5294
REBECCADALBY@GMAIL.COM

ARCHITECT

CHRIS KRAGER, AIA
8 ALAMOSA AIA
KRDB
916 SPRINGDALE RD. BLDG. 5,
STE 101, AUSTIN, TX 78702
512.374.0946
CHRIS@KRDB.COM

STRUCTURAL

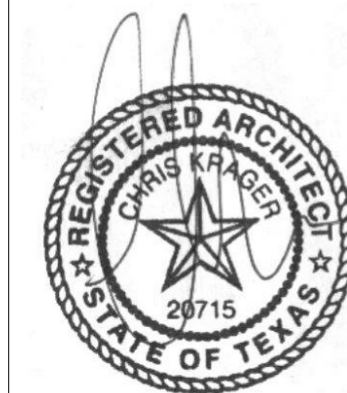
SAM COVEY, PE FORT
STRUCTURES
2235 E 6TH ST, STE. 105
AUSTIN, TX 78702
512.817.9264

CIVIL

MATT DRINGENBERG,
PE SOUTHWEST
ENGINEERS, INC.
305 CIMARRON PARK
LOOP, STE. B BUDA, TX
78010 512.912.4336

MEP

CARLOS RIVAS,
RIVERSIDE
ENGINEERING
11801 Pecos Street
Riverside, CA 92505
951.977.1042



ENFIELD TOWNHOUSES

1201 ENFIELD ROAD
AUSTIN, TX 78703

NAME	DATE
DEMO PERMIT	01/12/21
PERMIT SET	02/12/21

ARCH SITE PLAN

A0.02

2/13/2021 9:38:07 AM

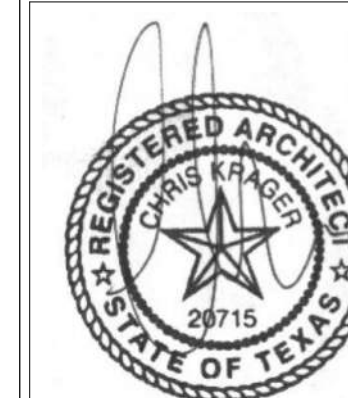
CLIENT
REBECCA DALBY
104 Moss St.
Houston, TX 77009
832.265.5294
REBECCADALBY@GMAIL.COM

ARCHITECT
CHRIS KRAGER, AIA
BLAIR MOCA, AIA
KRDB
916 SPRINGDALE RD. BLDG. 5,
STE 101, AUSTIN, TX 78702
512.374.0946
CHRIS@KRDB.COM

STRUCTURAL
SAM COVEY, PE FORT
STRUCTURES
2235 E 6TH ST, STE. 105
AUSTIN, TX 78702
512.817.9264

CIVIL
MATT DRINGENBERG,
PE SOUTHWEST
ENGINEERS, INC.
505 CAMERON PARK
LOOP, STE. B BUDA, TX
78610 512.312.4336

MEP
CARLOS RIVAS,
RIVERSIDE
ENGINEERING
11801 Pierce Street
Riverside, CA 92505
951.977.1042



ENFIELD TOWNHOUSES

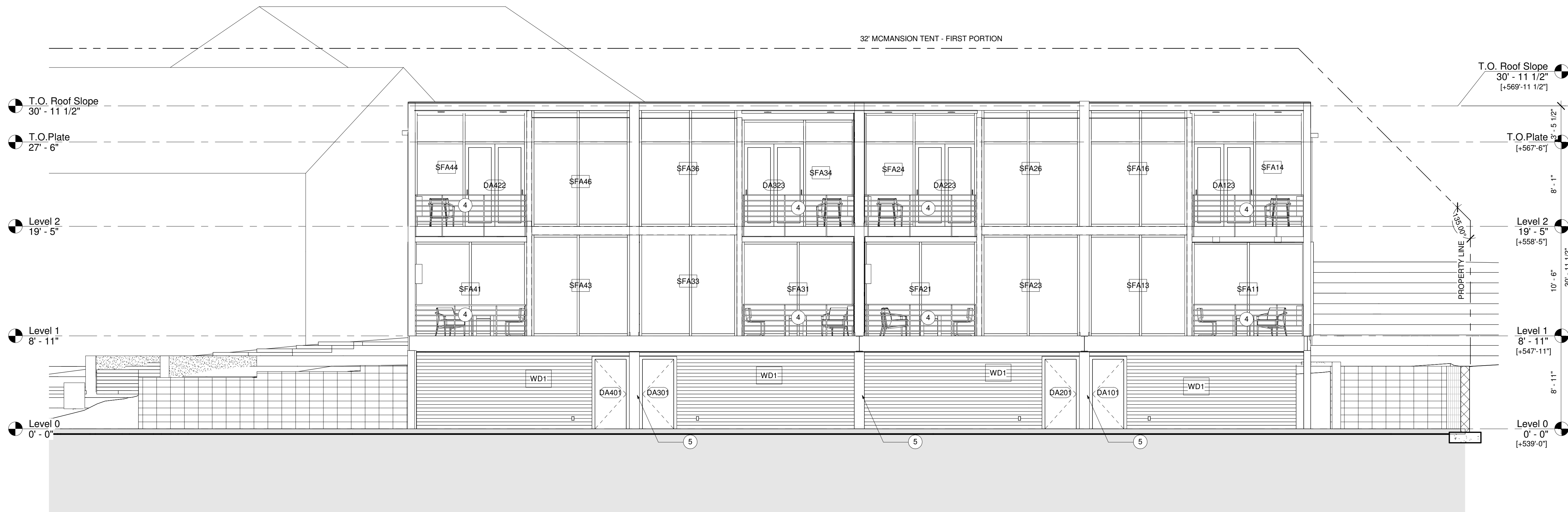
1201 ENFIELD ROAD
AUSTIN, TX 78703

NAME	DATE
DEMO PERMIT	01/12/21
PERMIT SET	02/12/21

ELEVATIONS

A2.00

2/13/2021 10:20:38 AM



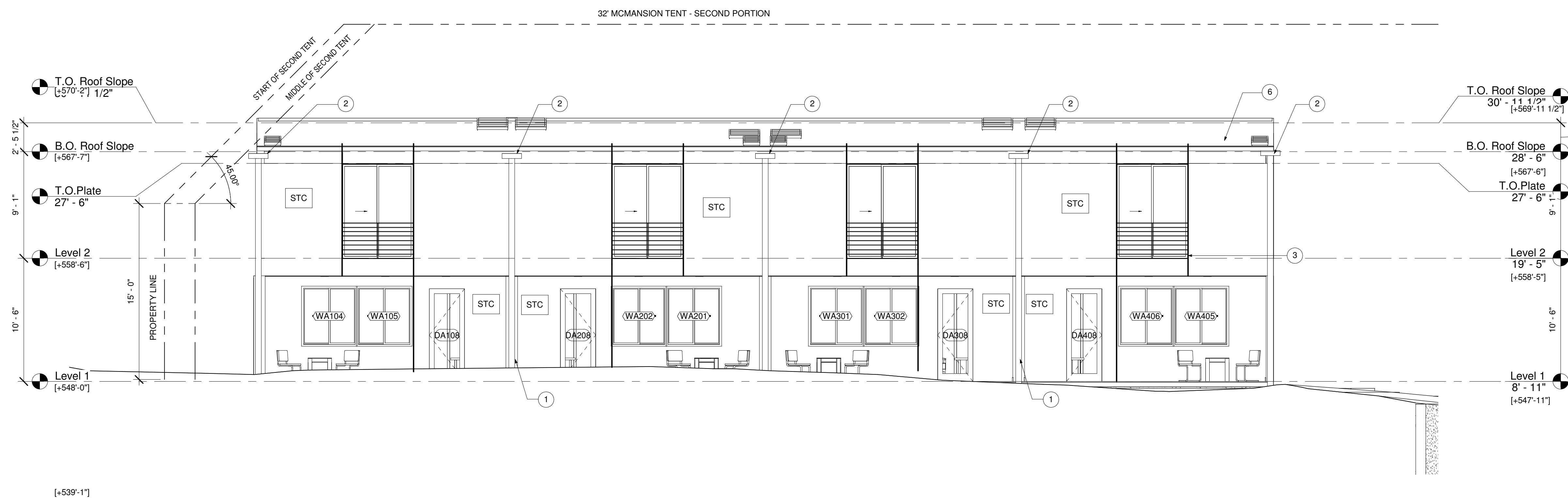
: KEYNOTES

1. Metal screen
2. Downspouts
3. Stucco control joints
4. Metal Railing
5. Foundation wall
6. Metal Gutter

WALL FINISH LEGEND

GWB	Gypsum Wall Board
SG	Shower Glass
STC	Stucco
T1	Tile 1
T2	Tile 2
VP	Venetian Plaster
WD1	
WD2	

1 North
3/16" = 1'-0"



2 South
3/16" = 1'-0"

CLIENT
REBECCA DALBY
104 Moss St.
Houston, TX 77059
832.265.5294
REBECCADALBY@GMAIL.COM

ARCHITECT
CHRIS KRAGER, AIA
BLAIR MOCA, AIA
KRDB
916 SPRINGDALE RD. BLDG. 5,
STE 101, AUSTIN, TX 78702
512.374.0946
CHRIS@KRDB.COM

STRUCTURAL
SAM COVEY, PE FORT
STRUCTURES
2235 E 6TH ST, STE. 105
AUSTIN, TX 78702
512.817.9264

CIVIL
MATT DRINGENBERG,
PE SOUTHWEST
ENGINEERS, INC.
305 CIMARRON PARK
LOOP, STE. B BUDA, TX
78610 512.912.4336

MEP
CARLOS RIVAS,
RIVERSIDE
ENGINEERING
11801 Pecos Street
Riverside, CA 92505
951.977.1042



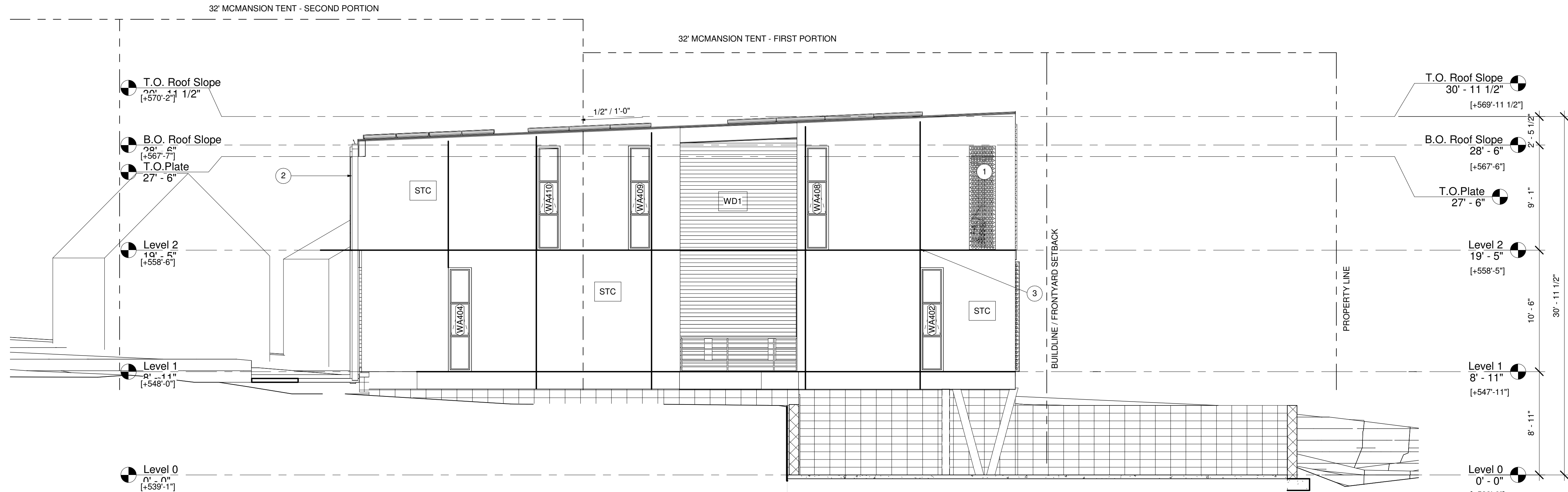
ENFIELD TOWNHOUSES
1201 ENFIELD ROAD
AUSTIN, TX 78703

NAME	DATE
DEMO PERMIT	01/12/21
PERMIT SET	02/12/21

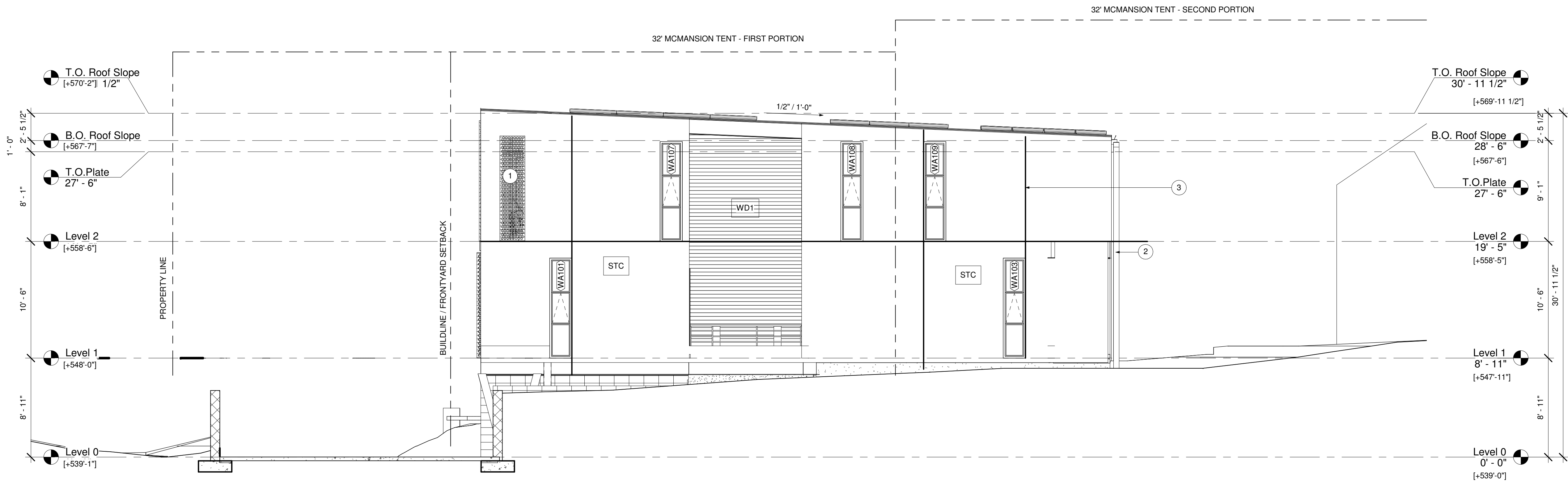
ELEVATIONS

A2.01

2/13/2021 10:28:28 AM



1 East
3/16" = 1'-0"



2 West
3/16" = 1'-0"

CLIENT
REBECCA DALBY
104 Moss St.
Houston, TX 77009
832.265.5294
REBECCADALBY@GMAIL.COM

ARCHITECT
CHRIS KRAGER, AIA
BLAIR MOCA, AIA
KRDB
916 SPRINGDALE RD. BLDG. 5,
STE 101, AUSTIN, TX 78702
512.374.0946
CHRIS@KRDB.COM

STRUCTURAL
SAM COVEY, PE FORT
STRUCTURES
2235 E 6TH ST, STE. 105
AUSTIN, TX 78702
512.817.9264

CIVIL
MATT DRINGENBERG,
PE SOUTHWEST
ENGINEERS, INC.
505 CMAPRISON PARK
LOOP, STE. B BUDA, TX
78610 512.312.4336

MEP
CARLOS RIVAS,
RIVERSIDE
ENGINEERING
11801 Pecos Street
Riverside, CA 92505
951.977.1042

- # : KEYNOTES
1. Metal screen.
 2. Railing to be mounted on vertical face.
 3. Downspout in line with wall.
 4. Paver step beyond.

WALL FINISH LEGEND

- | | |
|-----|-------------------|
| GWB | Gypsum Wall Board |
| SG | Shower Glass |
| STC | Stucco |
| T1 | Tile 1 |
| T2 | Tile 2 |
| VP | Venetian Plaster |
| WD1 | |
| WD2 | |



ENFIELD TOWNHOUSES

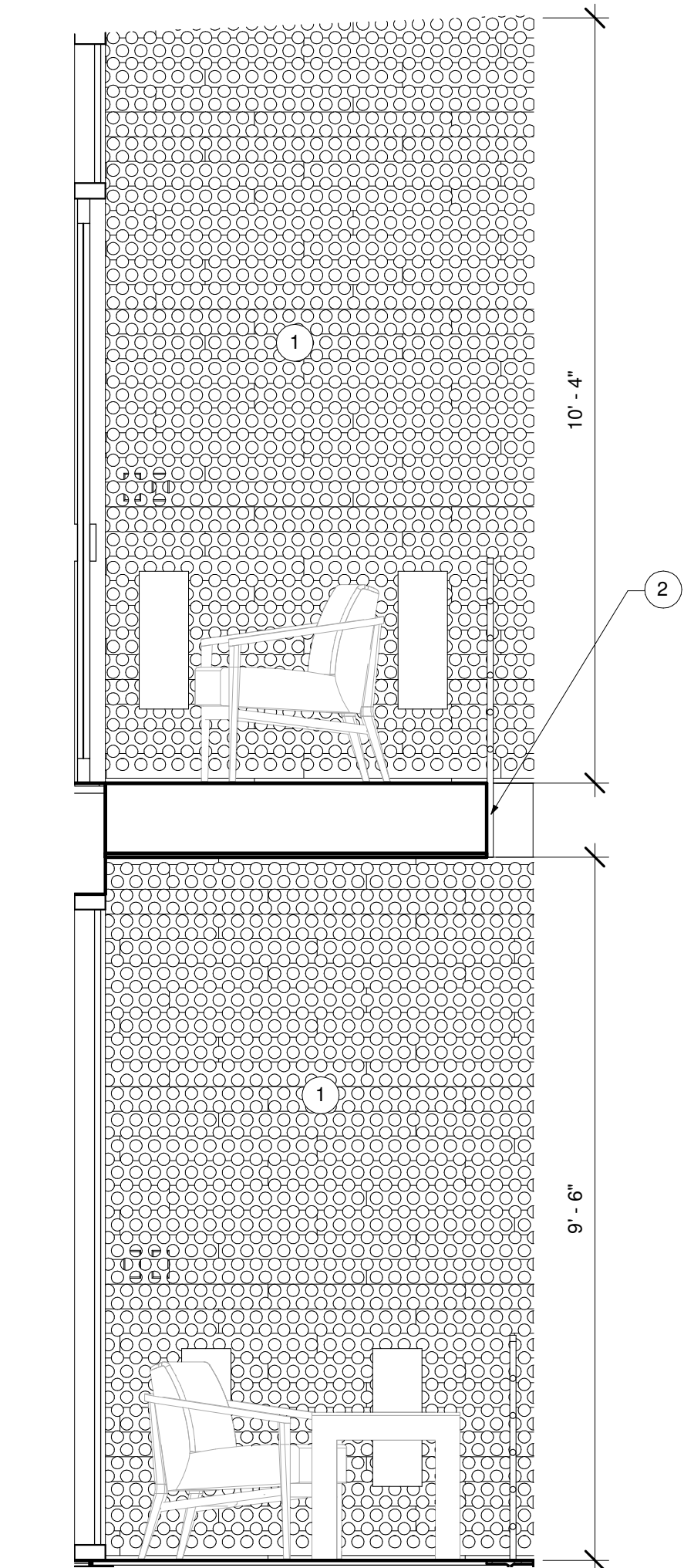
1201 ENFIELD ROAD
AUSTIN, TX 78703

NAME	DATE
DEMO PERMIT	01/12/21
PERMIT SET	02/12/21

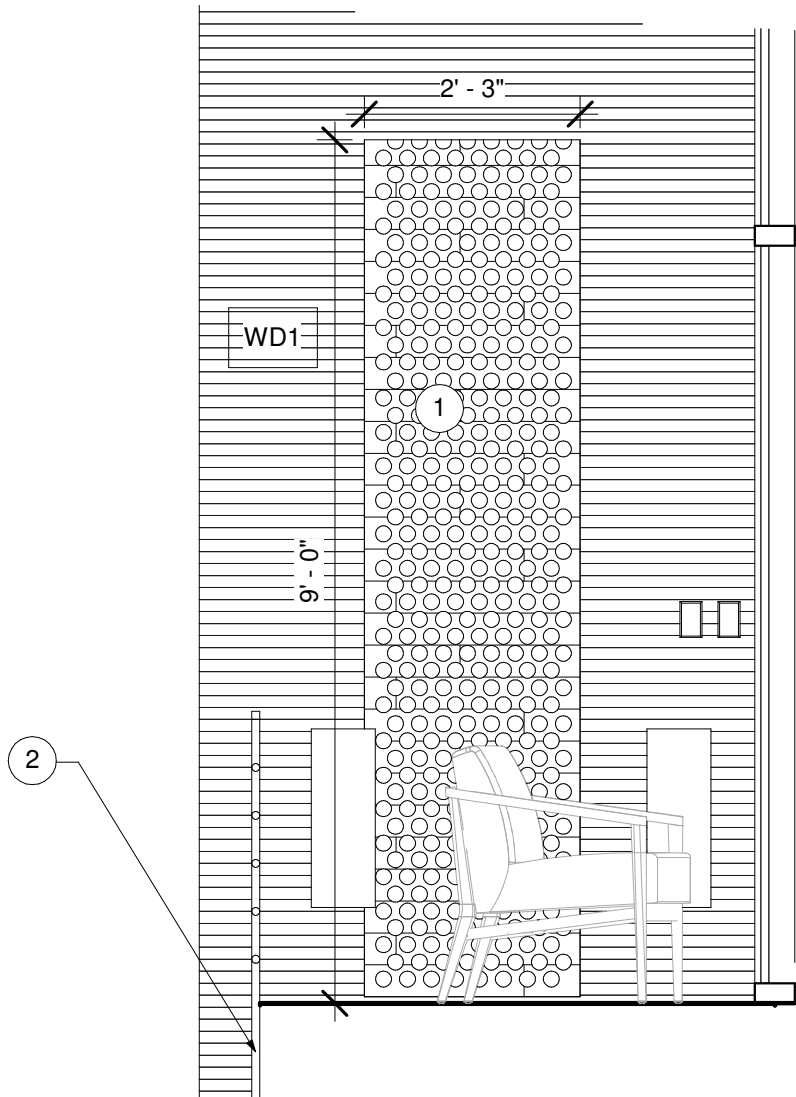
HIDDEN ELEVATIONS

A2.02

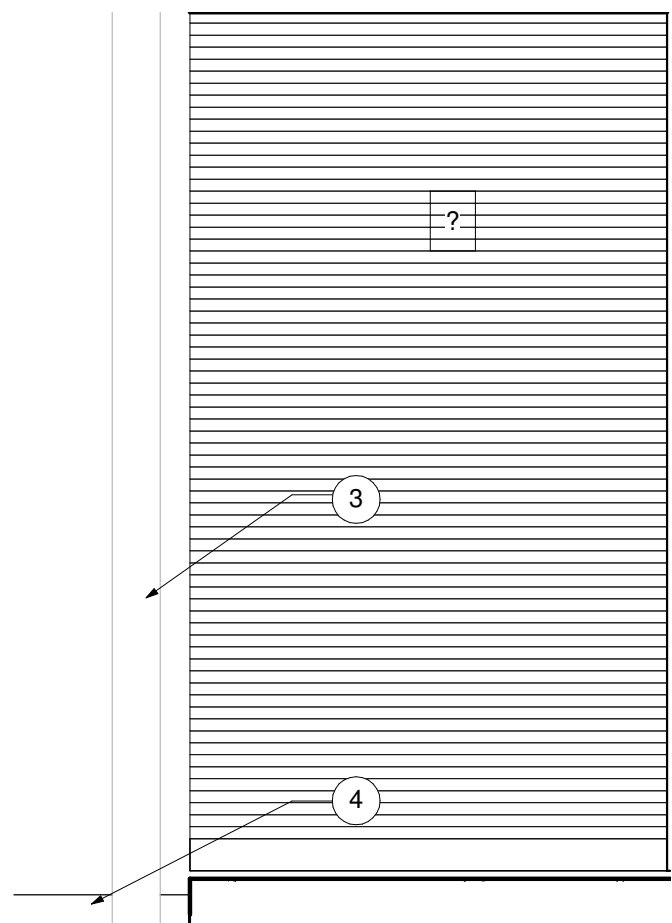
2/13/2021 9:39:03 AM



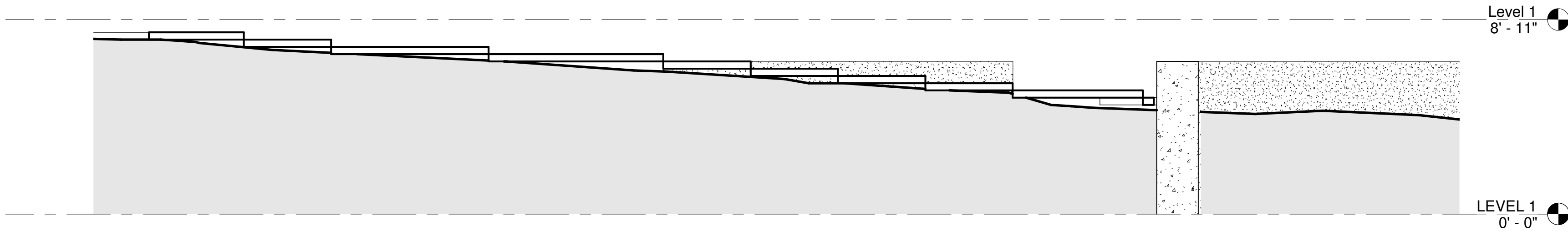
1 Hidden Elevation-Center Screen
1/2" = 1'-0"



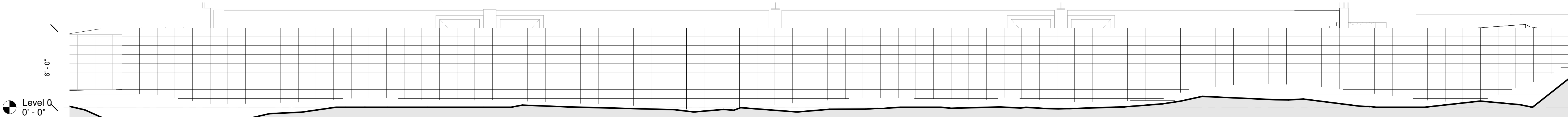
2 Hidden Elevation-Small Screen
1/2" = 1'-0"



3 Hidden Elevation-Back Porch
1/2" = 1'-0"



4 Paver Steps
1/4" = 1'-0"



5 Standalone Wall
1/4" = 1'-0"

WINDOW SCHEDULE UNIT 1									
MARK	Family	WIDTH	HEIGHT	Sill Height	HEAD HEIGHT	TYPE	MODEL	MANUFACTURER	COMMENTS
WA101	3-Lite Awning	2' - 0"	9' - 0"	0' - 0"	9' - 0"			Gerkin	Solarban® 90 (2) Clear + Clear
WA103	3-Lite Awning	2' - 0"	9' - 0"	0' - 0"	9' - 0"			Gerkin	Solarban® 90 (2) Clear + Clear
WA104	Gerkin Slider1	4' - 8"	5' - 0"	3' - 1"	8' - 1"			Gerkin	Solarban® 90 (2) Clear + Clear
WA105	Gerkin Slider1	4' - 8"	5' - 0"	3' - 1"	8' - 1"			Gerkin	Solarban® 90 (2) Clear + Clear
WA107	3-Lite Awning	2' - 0"	9' - 0"	0' - 0"	9' - 0"			Gerkin	Solarban® 90 (2) Clear + Clear
WA108	3-Lite Awning	2' - 0"	9' - 0"	0' - 0"	9' - 0"			Gerkin	Solarban® 90 (2) Clear + Clear
WA109	3-Lite Awning	2' - 0"	9' - 0"	0' - 0"	9' - 0"			Gerkin	Solarban® 90 (2) Clear + Clear

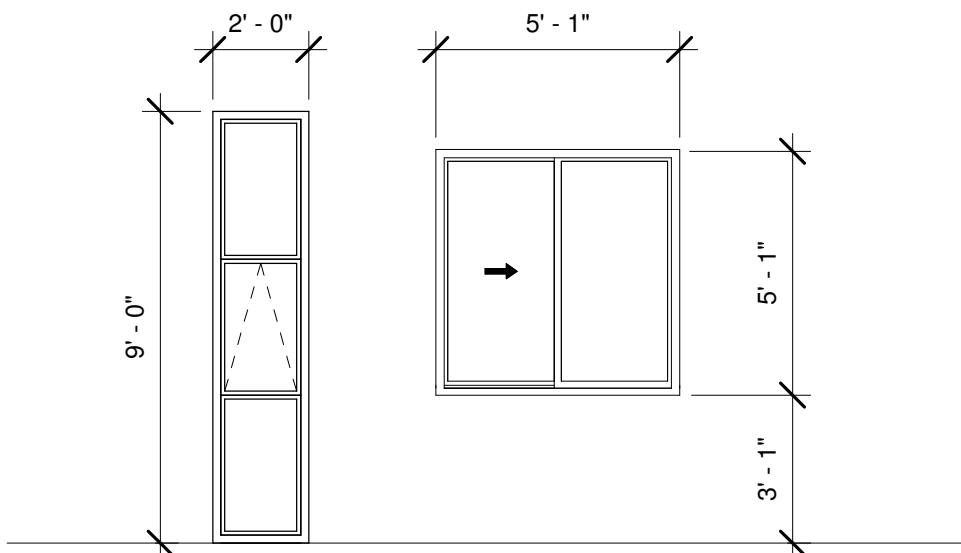
WINDOW SCHEDULE UNIT 2									
MARK	Family	WIDTH	HEIGHT	Sill Height	HEAD HEIGHT	TYPE	MODEL	MANUFACTURER	COMMENTS
WA201	Gerkin Slider1	4' - 8"	5' - 0"	3' - 1"	8' - 1"			Gerkin	Solarban® 90 (2) Clear + Clear
WA202	Gerkin Slider1	4' - 8"	5' - 0"	3' - 1"	8' - 1"			Gerkin	Solarban® 90 (2) Clear + Clear

WINDOW SCHEDULE SKYLIGHTS									
MARK	Family	WIDTH	HEIGHT	Sill Height	HEAD HEIGHT	TYPE	MODEL	MANUFACTURER	COMMENTS
1SL1	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
1SL2	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
1SL3	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
1SL4	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
1SL5	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
1SL6	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
1SL7	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
1SL8	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
2SL1	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
2SL2	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
2SL3	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
2SL4	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
2SL5	Skylight-Flat	2' - 6 1/2"	3' - 5 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
2SL6	Skylight-Flat	2' - 6 1/2"	3' - 5 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
2SL7	Skylight-Flat	2' - 6 1/2"	3' - 5 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
2SL8	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
2SL9	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
2SL10	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
2SL11	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL1	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL2	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL3	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL4	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL5	Skylight-Flat	2' - 6 1/2"	3' - 5 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL6	Skylight-Flat	2' - 6 1/2"	3' - 5 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL7	Skylight-Flat	2' - 6 1/2"	3' - 5 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL8	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL9	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL10	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL11	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL12	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL13	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL14	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL15	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL16	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL17	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL18	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL19	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL20	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL21	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL22	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL23	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL24	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL25	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL26	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL27	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL28	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL29	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL30	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL31	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL32	Skylight-Flat	2' - 6 1/2"	3' - 5 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL33	Skylight-Flat	2' - 6 1/2"	3' - 5 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL34	Skylight-Flat	2' - 6 1/2"	3' - 5 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL35	Skylight-Flat	2' - 6 1/2"	3' - 5 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL36	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL37	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL38	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL39	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL40	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL41	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL42	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL43	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL44	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL45	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL46	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL47	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL48	Skylight-Flat	2' - 6 1/2"	3' - 5 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
3SL49	Skylight-Flat	2' - 6 1/2"	3' - 5 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
4SL1	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
4SL2	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
4SL3	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
4SL4	Skylight-Flat	2' - 6 1/2"	4' - 1 1/2"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
4SL5	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
4SL6	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
4SL7	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear
4SL8	Skylight-Flat	1' - 4"	2' - 8"				Flatroof - Fixed - Curb mounted	Velux	Solarban® 90 (2) Clear + Clear

WINDOW SCHEDULE UNIT 4									
MARK	Family	WIDTH	HEIGHT	Sill Height	HEAD HEIGHT	TYPE	MODEL	MANUFACTURER	COMMENTS
WA402	3-Lite Awning	2' - 0"	9' - 0"	0' - 0"	9' - 0"			Gerkin	Solarban® 90 (2) Clear + Clear
WA404	3-Lite Awning	2' - 0"	9' - 0"	0' - 0"	9' - 0"			Gerkin	Solarban® 90 (2) Clear + Clear
WA405	Gerkin Slider1	4' - 8"	5' - 0"	3' - 1"	8' - 1"			Gerkin	Solarban® 90 (2) Clear + Clear
WA406	Gerkin Slider1	4' - 8"	5' - 0"	3' - 1"	8' - 1"			Gerkin	Solarban® 90 (2) Clear + Clear
WA408	3-Lite Awning	2' - 0"	9' - 0"	0' - 0"	9' - 0"			Gerkin	Solarban® 90 (2) Clear + Clear
WA409	3-Lite Awning	2' - 0"	9' - 0"	0' - 0"	9' - 0"			Gerkin	Solarban® 90 (2) Clear + Clear
WA410	3-Lite Awning	2' - 0"	9' - 0"	0' - 0"	9' - 0"			Gerkin	Solarban® 90 (2) Clear + Clear

WINDOW SCHEDULE UNIT 3									
MARK	Family	WIDTH	HEIGHT	Sill Height	HEAD HEIGHT	TYPE	MODEL	MANUFACTURER	COMMENTS
WA301	Gerkin Slider1	4' - 8"	5' - 0"	3' - 1"	8' - 1"			Gerkin	Solarban® 90 (2) Clear + Clear
WA302	Gerkin Slider1	4' - 8"	5' - 0"	3' - 1"	8' - 1"			Gerkin	Solarban® 90 (2) Clear + Clear

FINISH SCHEDULE				
ROOM	FLOOR FINISH	WALL FINISH	CEILING FINISH	COMMENTS
2 Car Covered Parking	Brushed Concrete - Light Broom Finish	T&G Redwood or Equiv.	T&G Redwood or Equiv.	
Bath	Large Format Tile - InterCeramic "Rectified Terrazo" Cluster	Painted Gyp - SW Super White	Painted Gyp - SW Super White	
Bedroom 1	Mesquite Wood Flooring	Painted Gyp - SW Super White	Painted Gyp - SW Super White	
Bedroom 2	Mesquite Wood Flooring	Painted Gyp - SW Super White	Painted Gyp - SW Super White	
Closet	Mesquite Wood Flooring	Painted Gyp - SW Super White	Painted Gyp - SW Super White	
Dining Room	Large Format Tile - Porcelanosa "Bottega" Acero PV	Painted Gyp - SW Super White	Painted Gyp - SW Super White	
Entry Porch	Brushed Concrete - Light Broom Finish	Stucco / Metal Screen	T&G Redwood or Equiv.	
Hall	Mesquite Wood Flooring	Painted Gyp - SW Super White	Painted Gyp - SW Super White	
Kitchen	Large Format Tile - Porcelanosa "Bottega" Acero PV	Painted Gyp - SW Super White / Plaster Wall at Stair	Painted Gyp - SW Super White	
Laundry	Mesquite Wood Flooring	Painted Gyp - SW Super White	Painted Gyp - SW Super White	
Library/Office	Mesquite Wood Flooring	Painted Gyp - SW Super White	Painted Gyp - SW Super White	
Living Room	Large Format Tile - Porcelanosa "Bottega" Acero PV	Painted Gyp - SW Super White / Plaster Wall at Stair	Painted Gyp - SW Super White	
Master Bedroom	Mesquite Wood Flooring	Painted Gyp - SW Super White	Painted Gyp - SW Super White	
Mech.	NA	Painted Gyp - SW Super White	Painted Gyp - SW Super White	
Office	Sealed Concrete Floor	Painted Gyp - SW Super White	Painted Gyp - SW Super White	
Pantry	Large Format Tile	Painted Gyp - SW Super White	Painted Gyp - SW Super White	
Patio	Westcoat Finish - Cape Cod Gray	Stucco / Wood	Stucco / Wood	
PDR	Large Format Tile - Porcelanosa "Bottega" Acero PV	Painted Gyp - SW Super White / Tile 1 Vanity Wall	Painted Gyp - SW Super White	
Sitting	Large Format Tile - Porcelanosa "Bottega" Acero PV	Painted Gyp - SW Super White / Plaster Wall at Stair	Painted Gyp - SW Super White	
Vanity	Large Format Tile - InterCeramic "Rectified Terrazo" Cluster	Painted Gyp - SW Super White / Tile 2 Vanity Wall Tub surround	Painted Gyp - SW Super White	
WC	Large Format Tile - Ceramic "Terrazo" Cluster	Painted Gyp - SW Super White	Painted Gyp - SW Super White	



916 Springdale Rd.
Building #5, Suite 101
Austin, TX 78702
512.374.0946 T
512.374.0736 F

www.krdb.com

CLIENT
REBECCA DALBY
104 Moss St.
Houston, TX 77009
832.265.5294
REBECCADALBY@GMAIL.COM

ARCHITECT
CHRIS KRAGER, AIA
BLAIR MOSA, AIA
KRDB
916 SPRINGDALE RD. BLDG. 5,
STE 101, AUSTIN, TX 78702

512.374.0946
CHRIS@KRDB.COM

STRUCTURAL
SAM COVEY, PE FORT
STRUCTURES
2235 E 6TH ST, STE. 105
AUSTIN, TX 78702
512.817.9264

CIVIL
MATT DRINGENBERG,
PE SOUTHWEST
ENGINEERS, INC.
205 CAMERON PARK
LOOP, STE. B BUDA, TX
78610.912.4336

MEP
CARLOS RIVAS,
RIVERSIDE
ENGINEERING
11801 Pierce Street
Riverside, CA 92505
951.977.1042



ENFIELD TOWNHOUSES
1201 ENFIELD ROAD
AUSTIN, TX 78703

NAME	DATE
DEMO PERMIT	01/12/21
PERMIT SET	02/12/21