



Historic Review Application

For Office Use Only

Date of Submission: _____

Plan Review #: _____

Property Address: 2314 Woodlawn Blvd, Austin, TX 78703

Historic Landmark ☐

Local Historic District ☐

National Register Historic District ☒

Historic Landmark Name or

Historic District Name: Old West Austin

Applicant Name: Wes Wigginton Phone #: 5129444520 Email: Wes@foursquarebuilders.co

Applicant Address: 507 Walsh St City: Austin State: TX Zip: 78703

Please describe all proposed exterior changes with location and materials. If you need more space, attach an additional sheet.

PROPOSED CHANGE(S)	LOCATION OF PROPOSED CHANGE(S)	PROPOSED MATERIAL(S)
1) <u>2530 sf addition</u> _____ _____ _____	<u>back and north side of home</u> _____ _____ _____	<u>painted brick 1st story, shiplap siding second story</u> _____ _____
2) <u>paint existing brick house and garage white</u> _____ _____ _____	<u>all brick areas</u> _____ _____ _____	<u>white paint</u> _____ _____ _____
3) <u>Cabana, pool and sun deck</u> _____ _____ _____	<u>Northwest corner of backyard</u> _____ _____ _____	<u>stone leuder patios and pool coping with metal and wood trellis above cabana</u> _____ _____

Submittal Requirements

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing *and* proposed conditions for alterations and additions.

Site Plan ☒

Elevations ☒

Floor Plan ☒

Roof Plan ☒

2. Color photographs of building and site:

Elevation(s) proposed to be modified ☒

Detailed view of each area proposed to be modified ☒

Applicant Signature: _____

Date: 03.19.2021



Design Standards and Guidelines for Historic Properties

Adopted December 2012

Design Standards and Guidelines for Historic Properties

Landmarks and National Register historic district properties

If you are making changes to a historic landmark, the project *must* comply with these standards to receive a Certificate of Appropriateness. If you are making changes to a contributing property or constructing a new building within a National Register historic district, consider the standards below as advisory guidelines:

1. Use a property for its historic purpose or place it in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. Retain and preserve the historic character of a property shall be retained and preserved. Avoid the removal of historic materials or alteration of features and spaces that characterize a property.
3. Recognize each property as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Local historic district properties

If you are making changes to a contributing property or constructing a new building in a local historic district, the project *must* comply with the design standards established for that district to receive a Certificate of Appropriateness. Visit the Historic Preservation Office website to view your district's design standards: <http://www.austintexas.gov/department/historic-preservation>.

What Type of Work Requires a Certificate of Appropriateness?

Certificates of Appropriateness (COAs) are required for exterior changes or additions to historic landmarks, any property pending designation as a landmark, and contributing buildings in local historic districts; or if you are constructing a new building in a local historic district. Work requiring a COA includes:

1. Additions
2. Construction of new buildings, including outbuildings
3. Window and door replacement
4. Exterior siding replacement
5. Replacement of roof materials with a different material
6. Site changes such as a pool, deck, fence, or back porch enclosure

Ordinary repair and maintenance projects do *not* require a Certificate of Appropriateness. For more information, see the historic review process charts on the [Historic Preservation Office website](#).



2314 WOODLAWN BLVD - STREET

HOUSE - FRONT



HOUSE - N ELEVATION



HOUSE - BACK

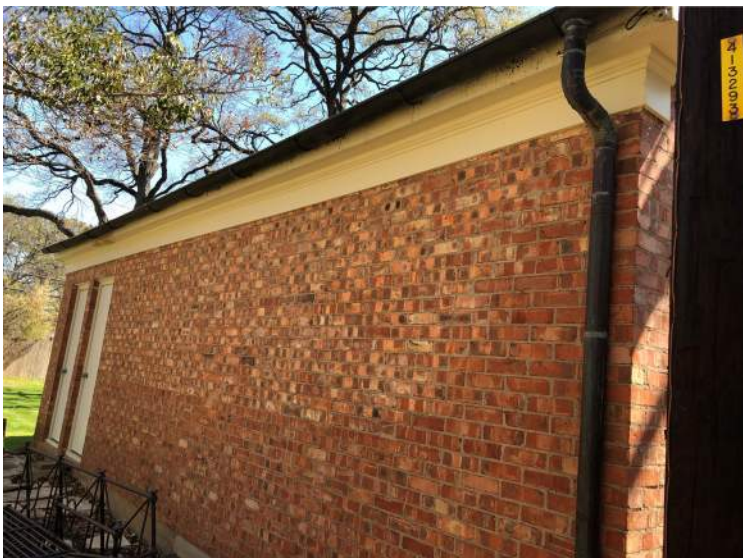
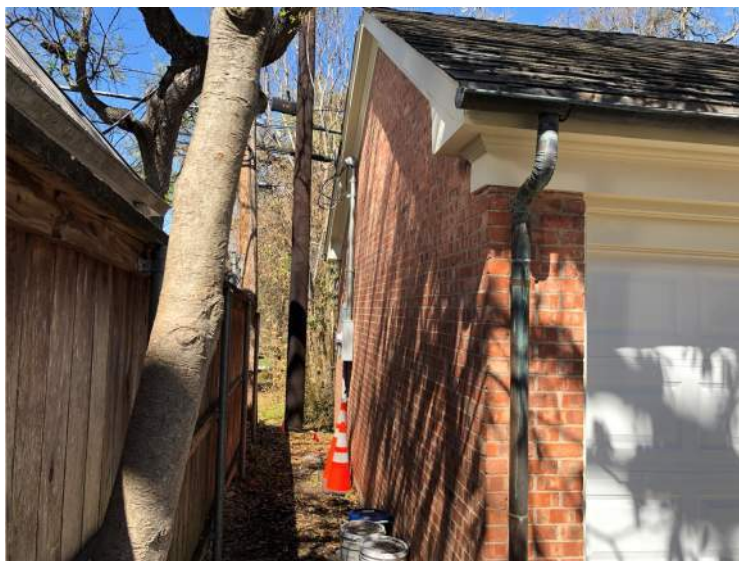


HOUSE - S ELEVATION

GARAGE - FRONT



GARAGE - S ELEVATION



GARAGE - BACK



GARAGE - N ELEVATION

LAWSON RESIDENCE

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson

ISSUED FOR: BUILDING PERMIT

DATE: 03.22.2021



DRAWING SHEET INDEX	
SHEET #	SHEET NAME
1 GENERAL	
G001	COVERSHEET
G002	GENERAL
G003	OUTLINE SPECIFICATIONS
G004	TREE PROTECTIONS & SOIL STABILIZATION
2 DEMO	
AS101	SURVEY
AS102	SITE PLAN - EXISTING
D101	BASEMENT PLAN - DEMO
D102	FIRST & SECOND FLOOR PLAN - DEMO
D104	ROOF PLAN - DEMO
D105	GARAGE FLOOR & ROOF PLAN - DEMO
3 ARCHITECTURAL	
A103	SITE PLAN - PROPOSED
A104	MCMANSION EXHIBIT
A105	MCMANSION EXHIBIT
A106	VISITABILITY EXHIBIT
A107	CONSTRUCTION STAGING
A110	FIRST FLOOR PLAN - CABANA
A115	GARAGE FLOOR & ROOF PLAN
A116	EXTERIOR ELEVATIONS - GARAGE
A201	BASEMENT-FOUNDATION PLAN
A202	FIRST FLOOR PLAN
A203	SECOND FLOOR PLAN
A204	ROOF PLAN
A301	EXTERIOR ELEVATIONS
A302	EXTERIOR ELEVATIONS
A801	DOOR & WINDOW SCHEDULES

PROJECT DESCRIPTION:

ADDRESS 2314 WOODLAWN BLVD, AUSTIN, TX 78703
LOT/BLOCK LOT 22, SUNSET HILL ENFIELD
LOT SIZE 16,331sf

CONSTRUCTION TYPE V
USE CLASSIFICATION R-3
ZONING SF-3

APPLICABLE CODES 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
2015 INTERNATIONAL ENERGY CODE (IECC)
2015 INTERNATIONAL FIRE CODE (IFC)
2015 UNIFORM PLUMBING CODE (UPC)
2015 UNIFORM MECHANICAL CODE (UMC)
2017 NATIONAL ELECTRICAL CODE (NEC)

PROJECT DESCRIPTION CONSTRUCTION OF A _____ SF ADDITION ON AN EXISTING
SF SINGLE FAMILY RESIDENCE, MINOR RENOVATIONS TO
AN EXISTING 655SF GARAGE, AND THE ADDITION OF A POOL
AND POOL LOUNGE AREAS IN BACKYARD.

1ST FLOOR SF 1467 sf
EXISTING 1118 sf
ADDITION

2ND FLOOR SF 1467 sf
EXISTING 1238 sf
ADDITION

TOTAL: 5290

ARCHITECT:
Michael + Wes
507 Walsh St, Austin, TX 78703
p.512.922.7533
https://michaelwes.com/

CONTRACTOR:
Foursquare Builders
507 Walsh Street, Austin, TX 78703
p.512.922.7533

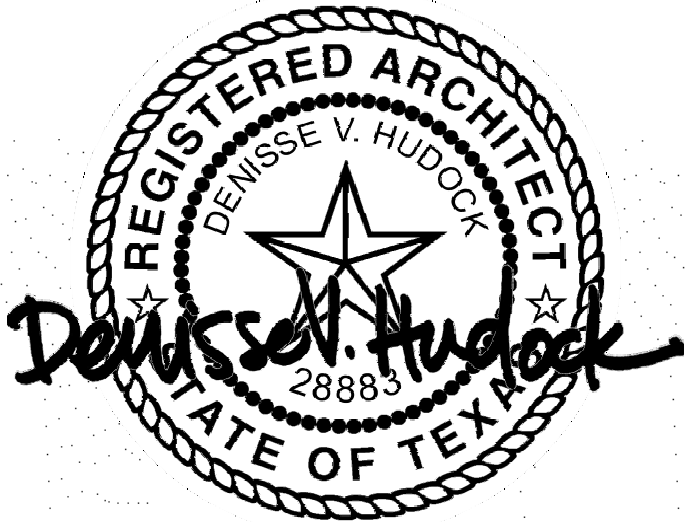
STRUCTURAL ENGINEER:
DCI Engineers
515 S Congress Ave #600, Austin, TX 78704
512.472.9797
http://www.dci-engineers.com/

MEP ENGINEER:
MEP

LANDSCAPE ARCHITECT:
David Wilson Garden Design, Inc.
P.O. Box 302589, AUstin, TX 78703
512.459.7909
https://dwgd.com/

INTERIOR DESIGNER:

CIVIL ENGINEER:



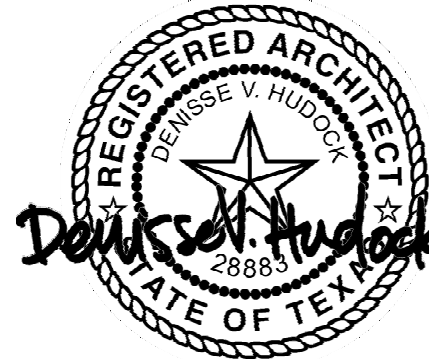
LAWSON RESIDENCE

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson

BUILDING PERMIT

ISSUE FOR BLDG PERMIT 03.22.2021

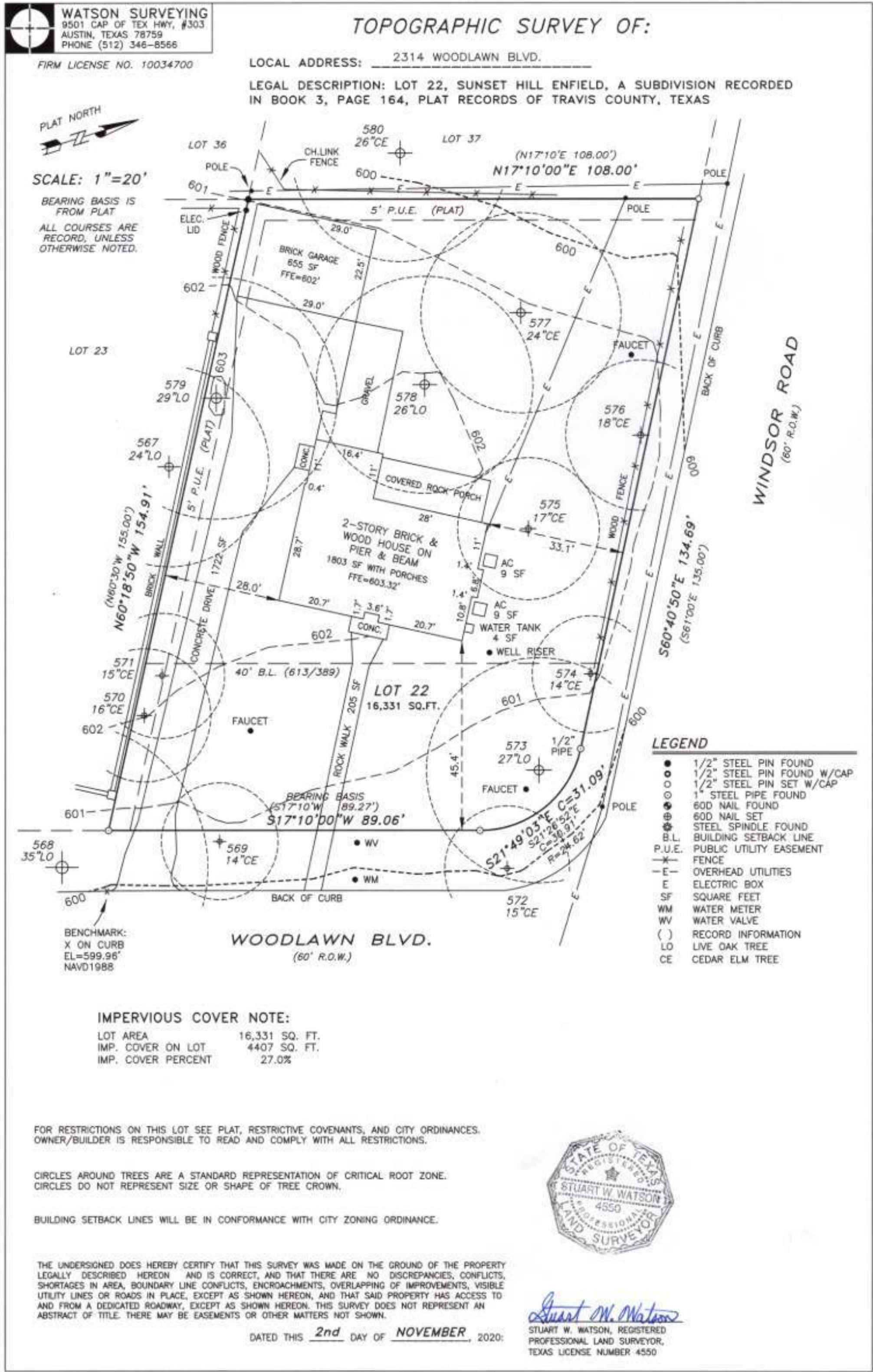


Date 03.22.2021
Checked by Denise Hudock

Any reproductions, alteration, modifications, usage or incorporation into other documents may not occur without the prior written permission of Michael + Wes & Co.

© 2021 Michael + Wes & Co.

AS101
SURVEY



LAWSON RESIDENCE

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson

BUILDING PERMIT

ISSUE FOR BLDG PERMIT 03.22.2021

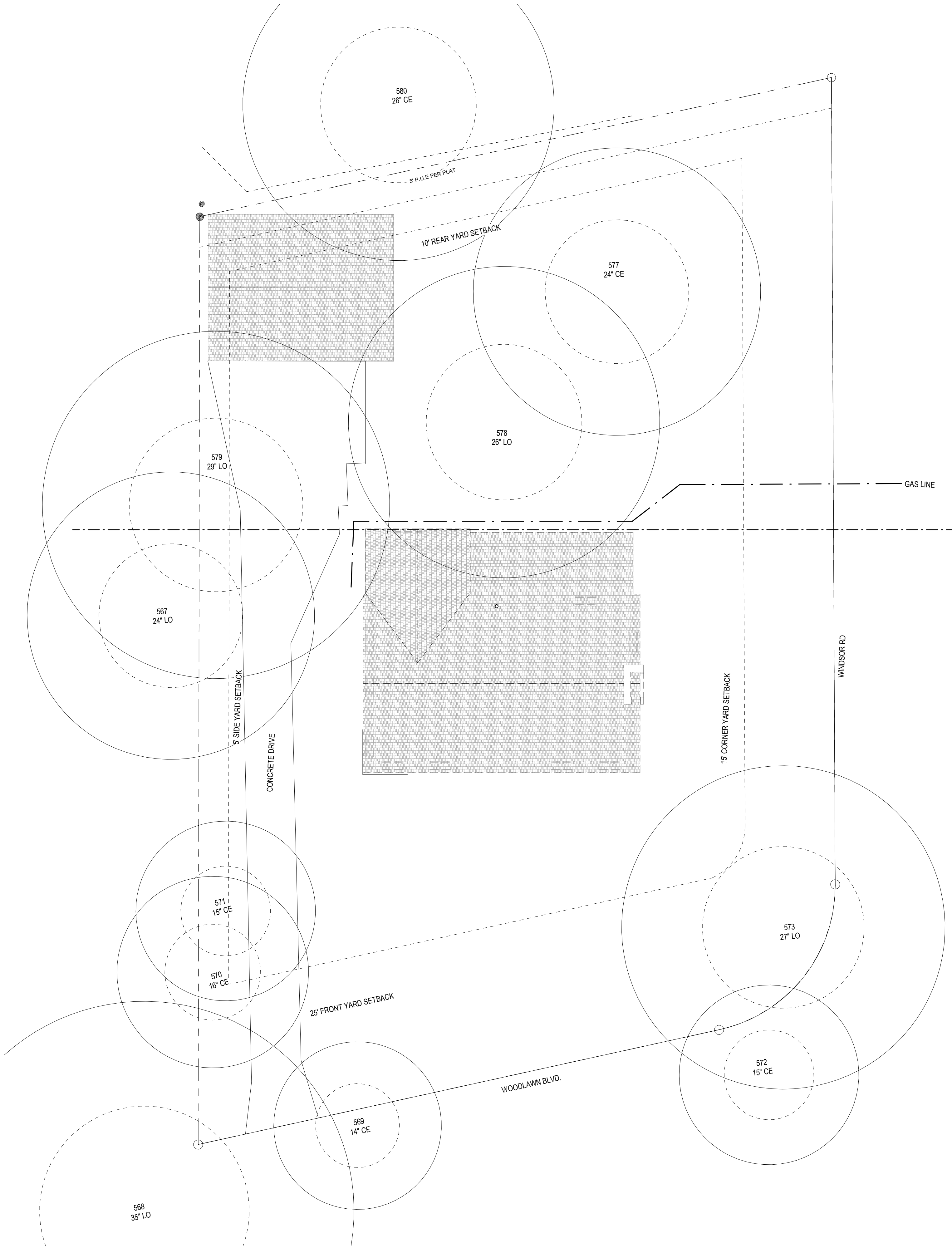


Date 03.22.2021
Checked by Denise Hudock

Any reproductions, alteration, modifications, usage or incorporation into other documents may not occur without the prior written permission of Michael + Wes & Co.

© 2021 Michael + Wes & Co.

AS102
SITE PLAN - EXISTING



DEMO NOTES:

- 1. ALL EXISTING AIR GRILLES TO BE REPLACED U.N.O., CONTRACTOR TO PROVIDE GRILLE OPTIONS BASED ON HVAC SUBCONTRACTOR DIRECTION
- 2. REMOVE ALL INTERIOR CEILING FIXTURES AND DEMO GYP BOARD CEILING AS NEEDED FOR LIGHTING AND HVAC LAYOUT
- 3. CONFIRM ANY ITEMS TO BE SALVAGED FOR REUSE WITH CLIENTS (EXHAUST, CEILING FANS, DECORATIVE FIXTURES, ETC)
- 4. REPLACE ALL EXISTING EXTERIOR FIXTURES

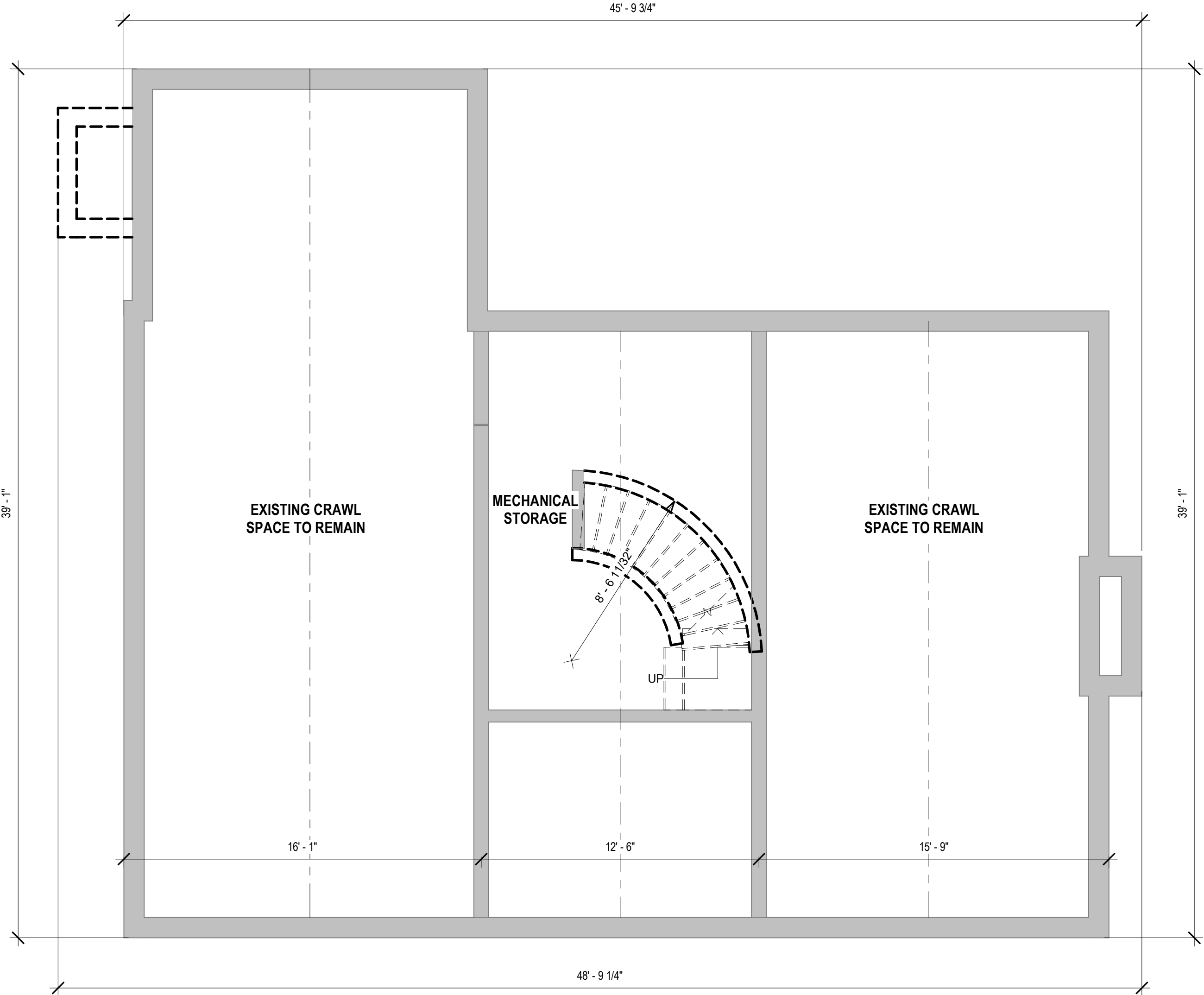
DEMO KEY:

- WALL TO REMAIN
- WINDOW TO REMAIN
- WALLS TO BE DEMOLISHED
- MILLWORK TO BE DEMOLISHED
- WINDOW TO BE DEMOLISHED
- ROOF TO BE DEMOLISHED

LAWSON RESIDENCE

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson



1 FLOOR PLAN - BASEMENT
1/4" = 1'-0"

BUILDING PERMIT	
ISSUE FOR BLDG PERMIT	03.22.2021

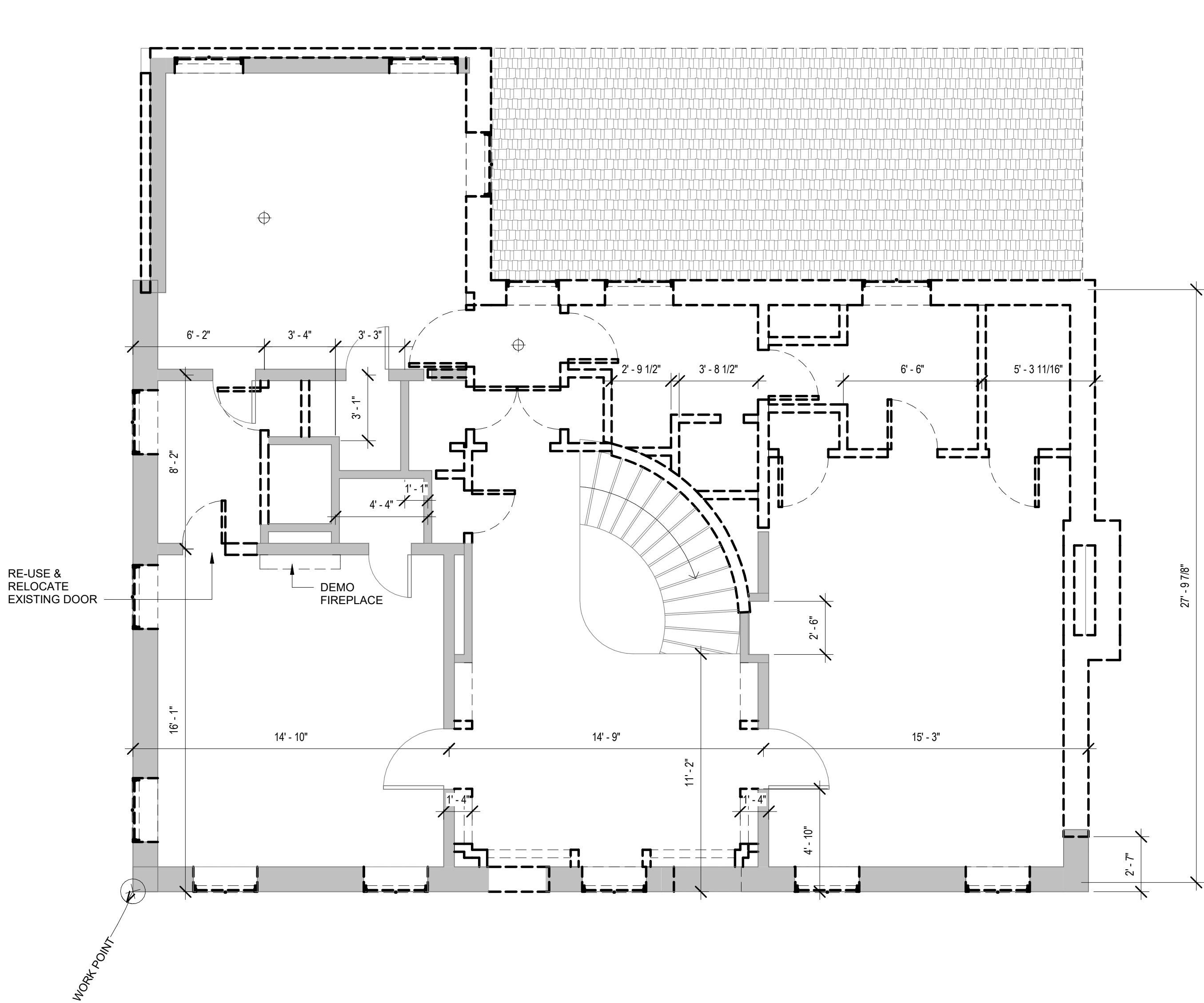


Date	03.22.2021
Checked by	Denisse Hudock

Any reproductions, alteration, modifications, usage or incorporation into other documents may not occur without the prior written permission of Michael + Wes & Co.

© 2021 Michael + Wes & Co.

D101
BASEMENT PLAN -
DEMO



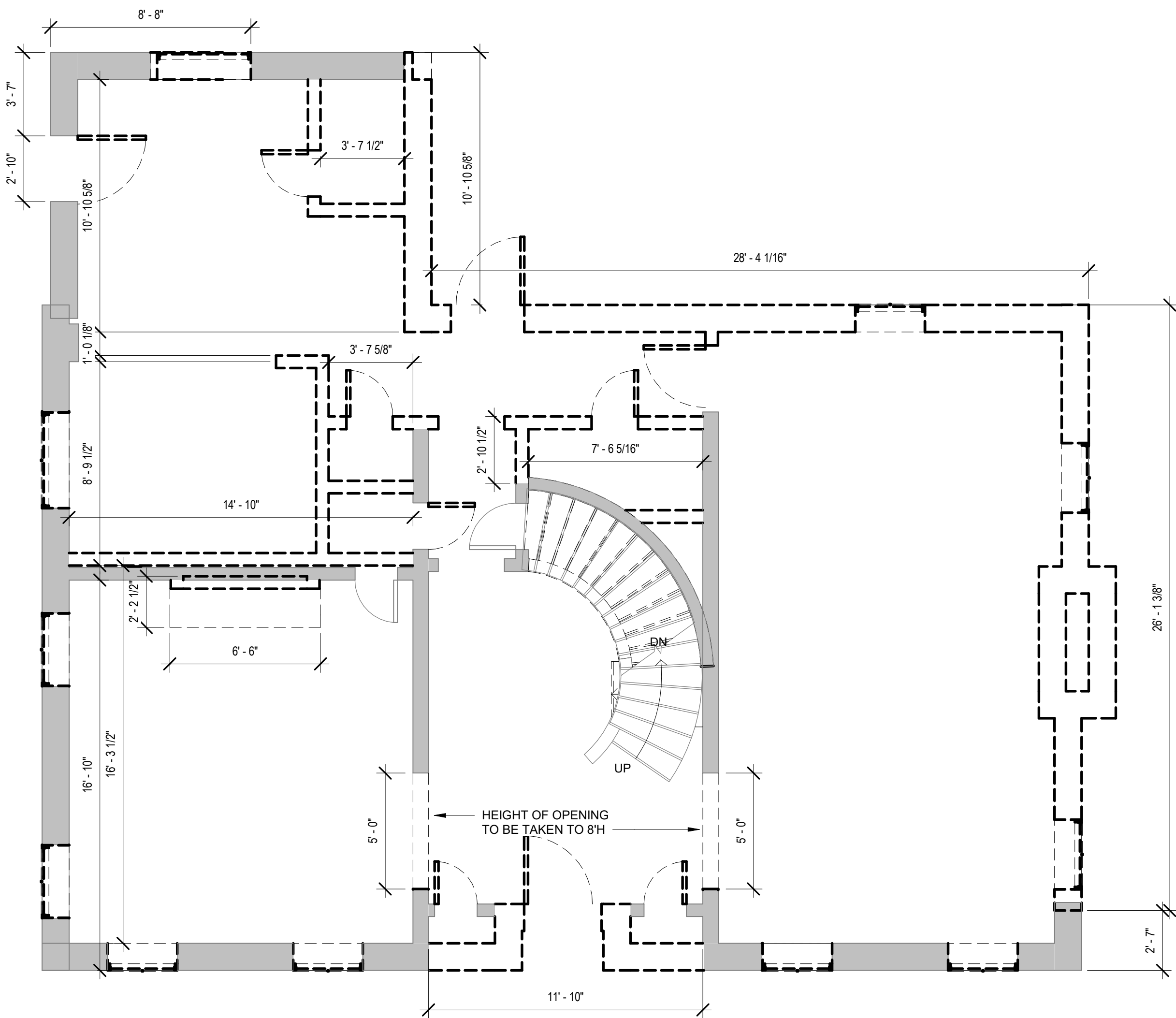
2 FLOOR PLAN - SECOND FLOOR - DEMO
1/4" = 1'-0"

DEMO NOTES:

1. ALL EXISTING AIR GRILLES TO BE REPLACED U.N.O., CONTRACTOR TO PROVIDE GRILLE OPTIONS BASED ON HVAC SUBCONTRACTOR DIRECTION
2. REMOVE ALL INTERIOR CEILING FIXTURES AND DEMO GYP BOARD CEILING AS NEEDED FOR LIGHTING AND HVAC LAYOUT
3. CONFIRM ANY ITEMS TO BE SALVAGED FOR REUSE WITH CLIENTS (EX-HAUST, CEILING FANS, DECORATIVE FIXTURES, ETC)
4. REPLACE ALL EXISTING EXTERIOR FIXTURES

DEMO KEY:

- WALL TO REMAIN
- WINDOW TO REMAIN
- WALLS TO BE DEMOLISHED
- MILLWORK TO BE DEMOLISHED
- WINDOW TO BE DEMOLISHED
- ROOF TO BE DEMOLISHED



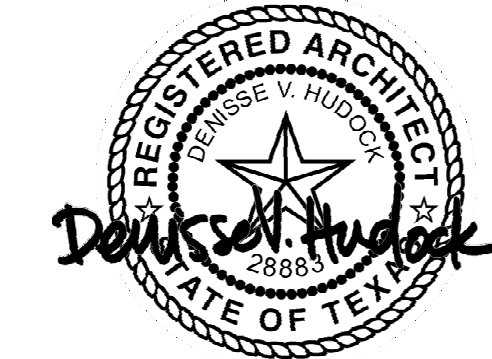
01 01 - FIRST FLOOR PLAN - DEMO
1/4" = 1'-0"

LAWSON RESIDENCE

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson

BUILDING PERMIT	
ISSUE FOR BLDG PERMIT	03.22.2021



Date	03.22.2021
Checked by	Denisse Hudock

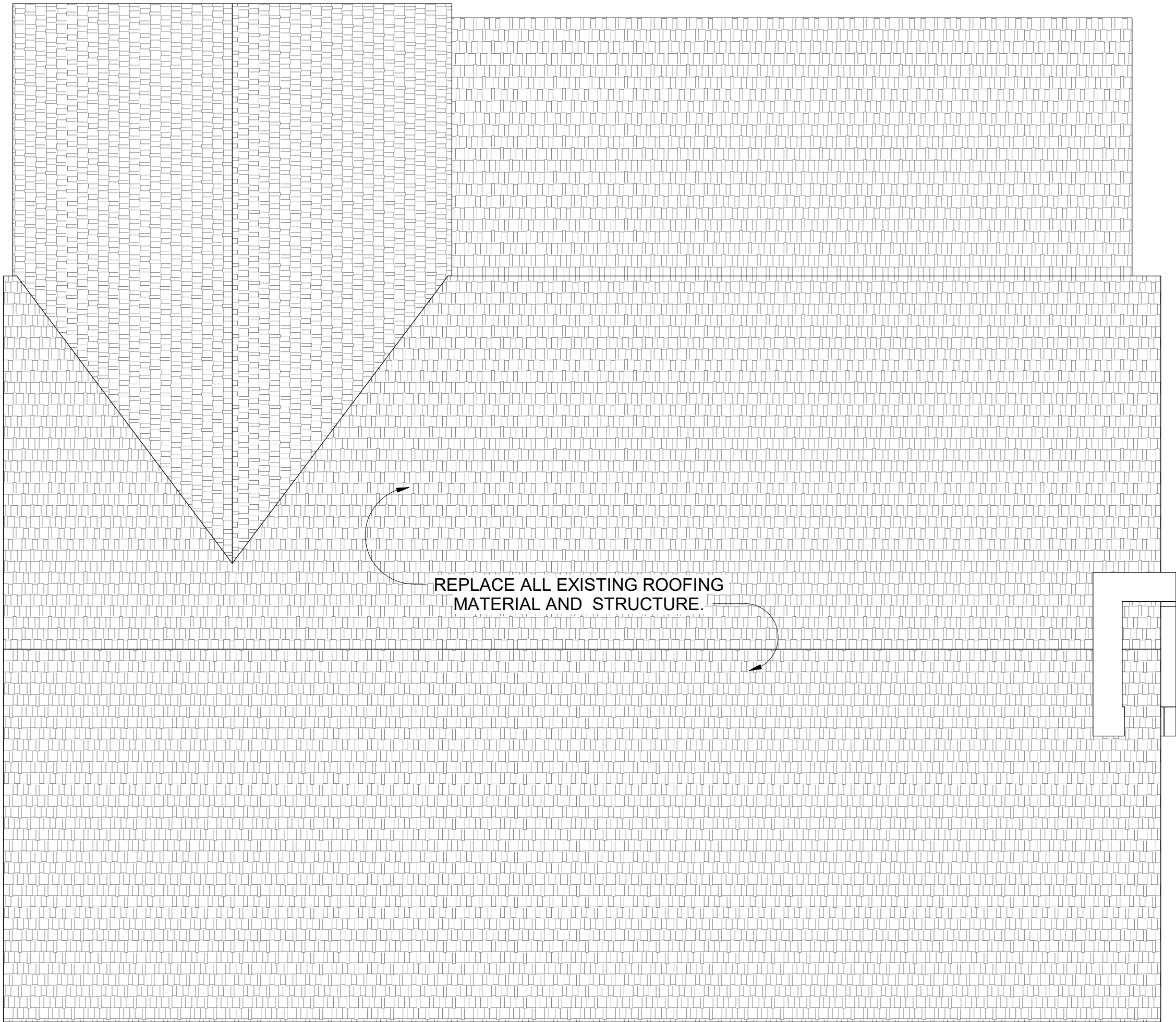
Any reproductions, alteration, modifications, usage or incorporation into other documents may not occur without the prior written permission of Michael + Wes & Co.

© 2021 Michael + Wes & Co.

D102
FIRST & SECOND
FLOOR PLAN - DEMO

- DEMO NOTES:
- 1. ALL EXISTING AIR GRILLES TO BE REPLACED U.N.O., CONTRACTOR TO PROVIDE GRILLE OPTIONS BASED ON HVAC SUBCONTRACTOR DIRECTION
 - 2. REMOVE ALL INTERIOR CEILING FIXTURES AND DEMO GYP BOARD CEILING AS NEEDED FOR LIGHTING AND HVAC LAYOUT
 - 3. CONFIRM ANY ITEMS TO BE SALVAGED FOR REUSE WITH CLIENTS (EXHAUST, CEILING FANS, DECORATIVE FIXTURES, ETC)
 - 4. REPLACE ALL EXISTING EXTERIOR FIXTURES

- DEMO KEY:
- WALL TO REMAIN
 - WINDOW TO REMAIN
 - WALLS TO BE DEMOLISHED
 - MILLWORK TO BE DEMOLISHED
 - WINDOW TO BE DEMOLISHED
 - ROOF TO BE DEMOLISHED



LAWSON RESIDENCE
2314 Woodlawn Blvd Austin, Texas 78702
Client: John & Missy Lawson

BUILDING PERMIT	
ISSUE FOR BLDG PERMIT	03.22.2021



Date	03.22.2021
Checked by	Denisse Hudock

Any reproductions, alteration, modifications, usage or incorporation into other documents may not occur without the prior written permission of Michael + Wes & Co.

© 2021 Michael + Wes & Co.

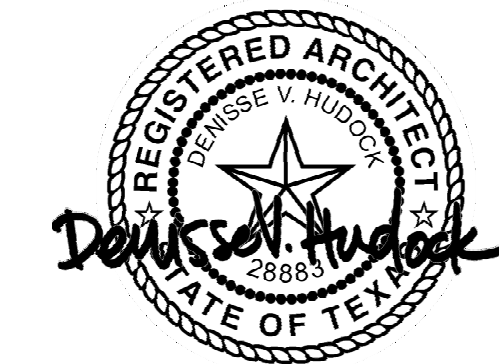
LAWSON RESIDENCE

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson

BUILDING PERMIT

ISSUE FOR BLDG PERMIT 03.22.2021

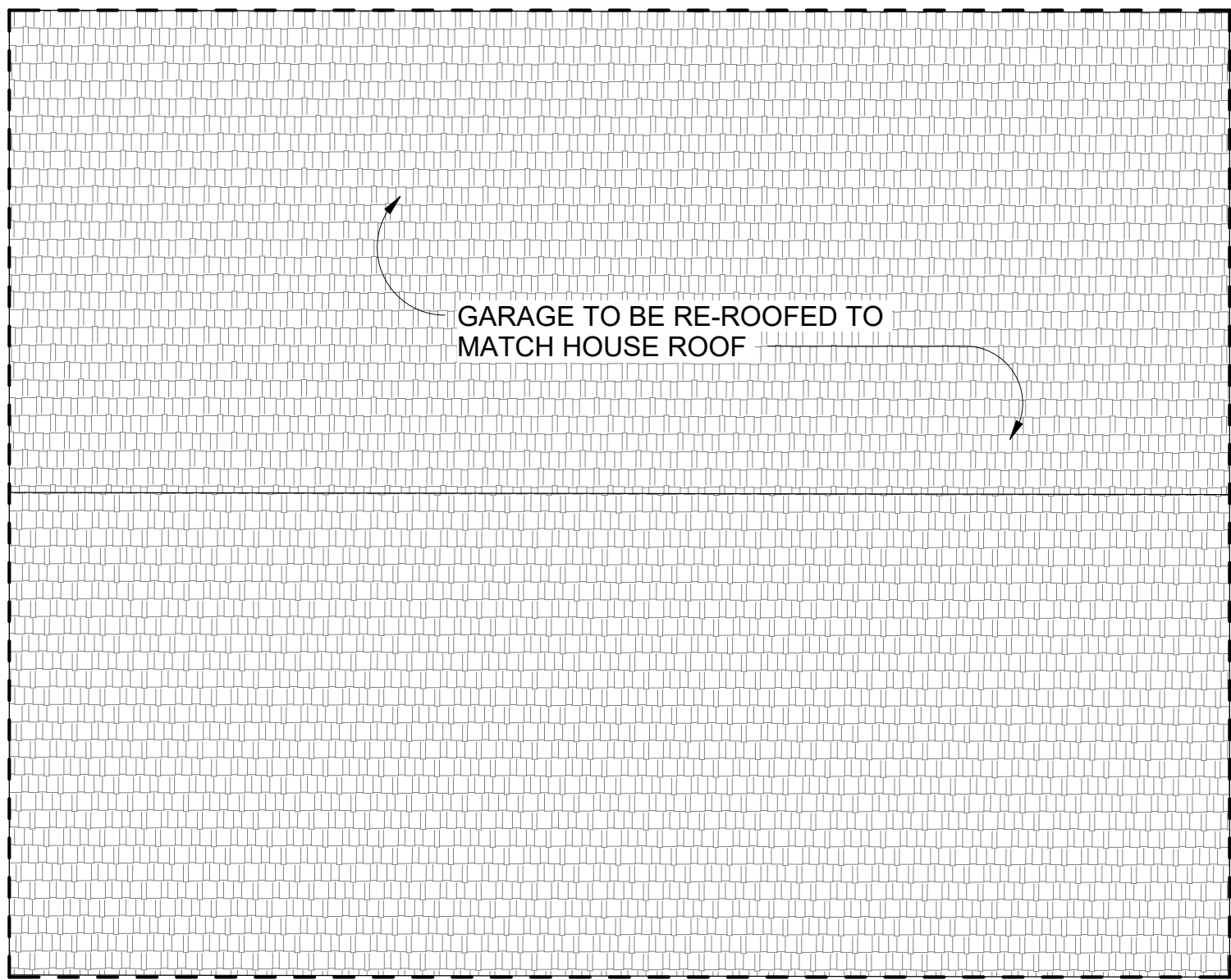


Date _____ Author _____
Checked by _____ Checker _____

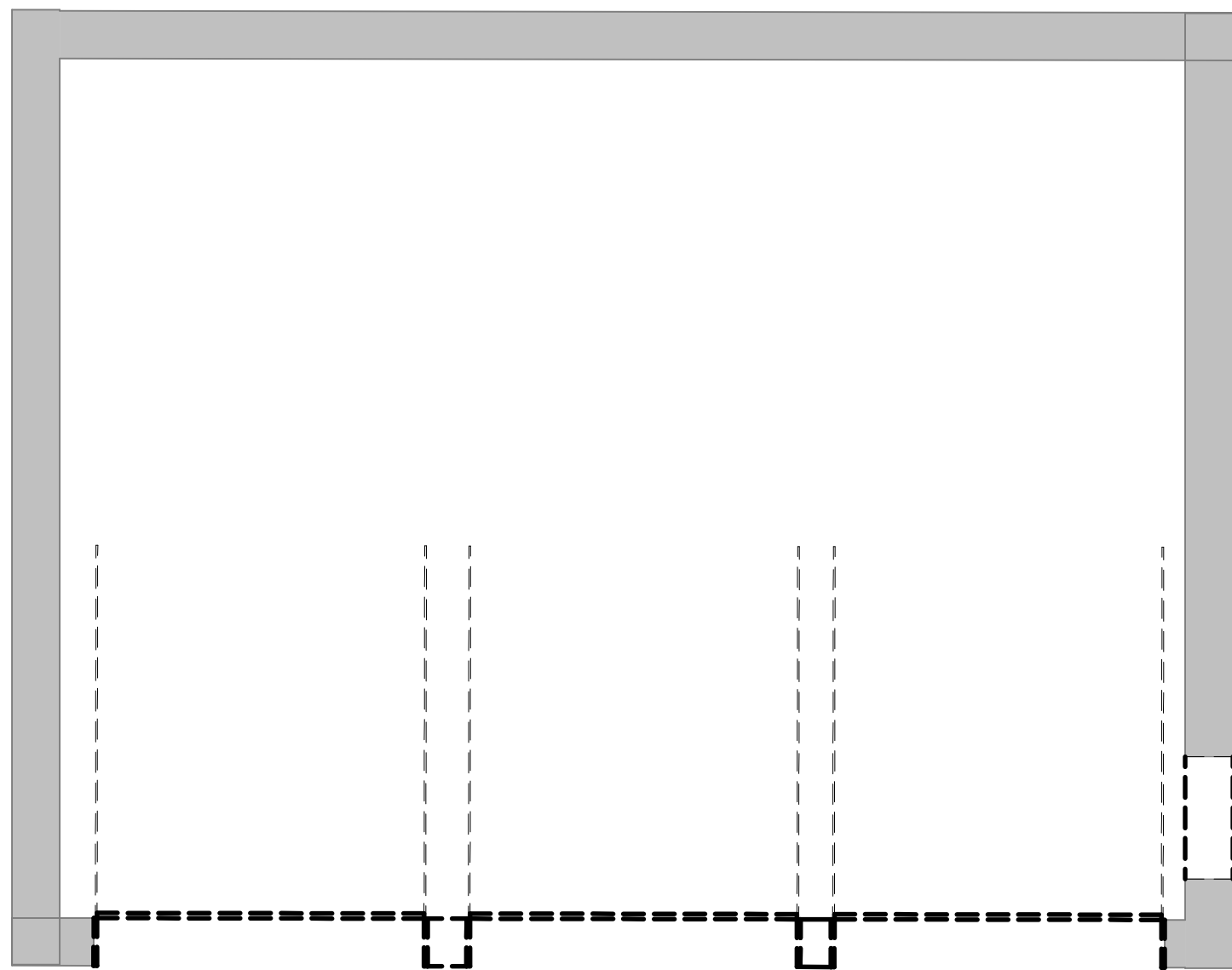
Any reproductions, alteration, modifications, usage or incorporation into other documents may not occur without the prior written permission of Michael + Wes & Co.

© 2021 Michael + Wes & Co.

D105
GARAGE FLOOR &
ROOF PLAN - DEMO



2 03 - ROOF PLAN - DEMO
1/4" = 1'-0"



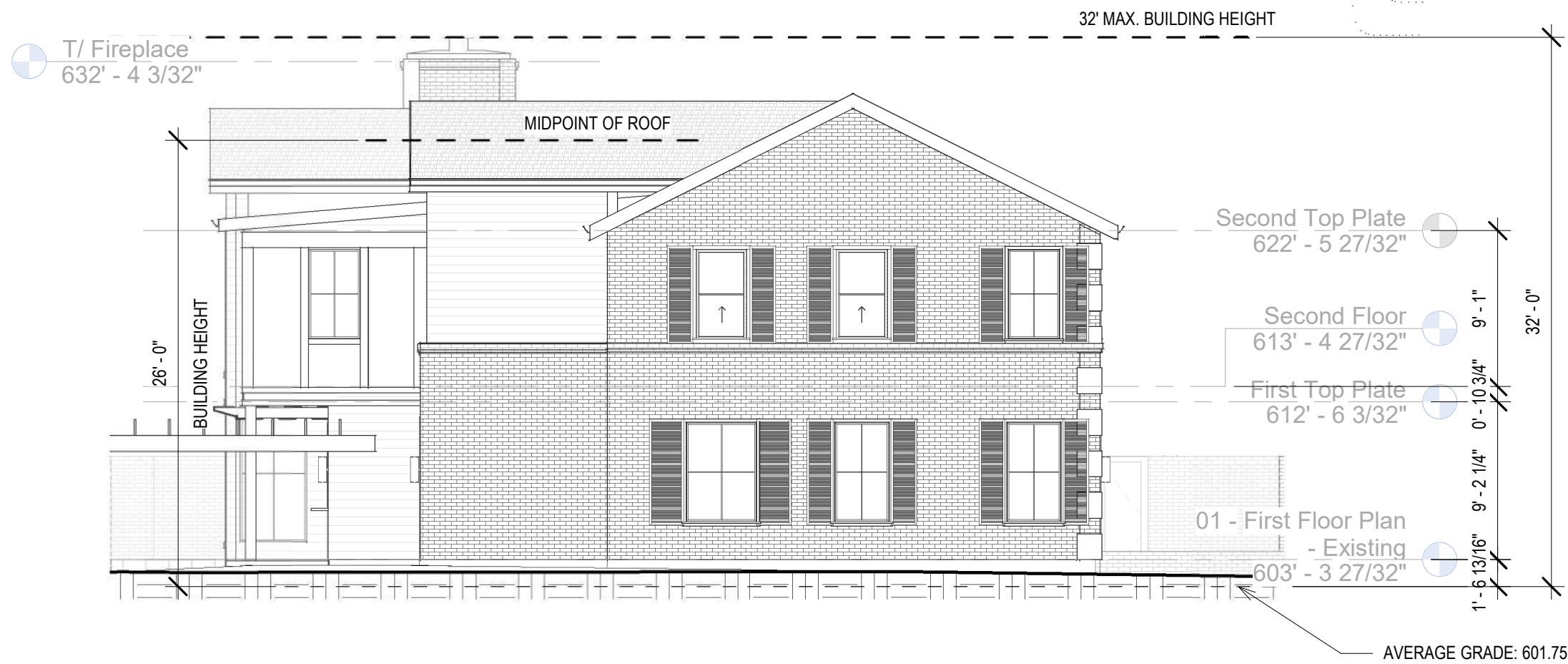
1 01 - GARAGE FLOOR PLAN - DEMO
1/4" = 1'-0"

Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
1st floor	1467.00	1118.00	2585.00
2nd floor	1467.00	1238.00	2705.00
3rd floor	0.00	0.00	0.00
Basement			0.00
Covered parking	655.00		655.00
Covered deck			0.00
Covered porch			0.00
Covered patio			0.00
Balcony			0.00
Other roofed areas			0.00
Total Building Area	3589.00	2356.00	5945.00
Total Building Coverage	2122.00	1118.00	3240.00
Driveway	1410.00	680.00	2090.00
Sidewalks			0.00
Uncovered patio		812.00	812.00
Uncovered deck (pervious pavers)			0.00
Other flatwork (pool coping, retaining walls, etc.)		386.00	386.00
Total Impervious Coverage	3532.00	2996.00	6528.00
Pool (surface area)	0.00	276.00	276.00
Spa (surface area)			0.00

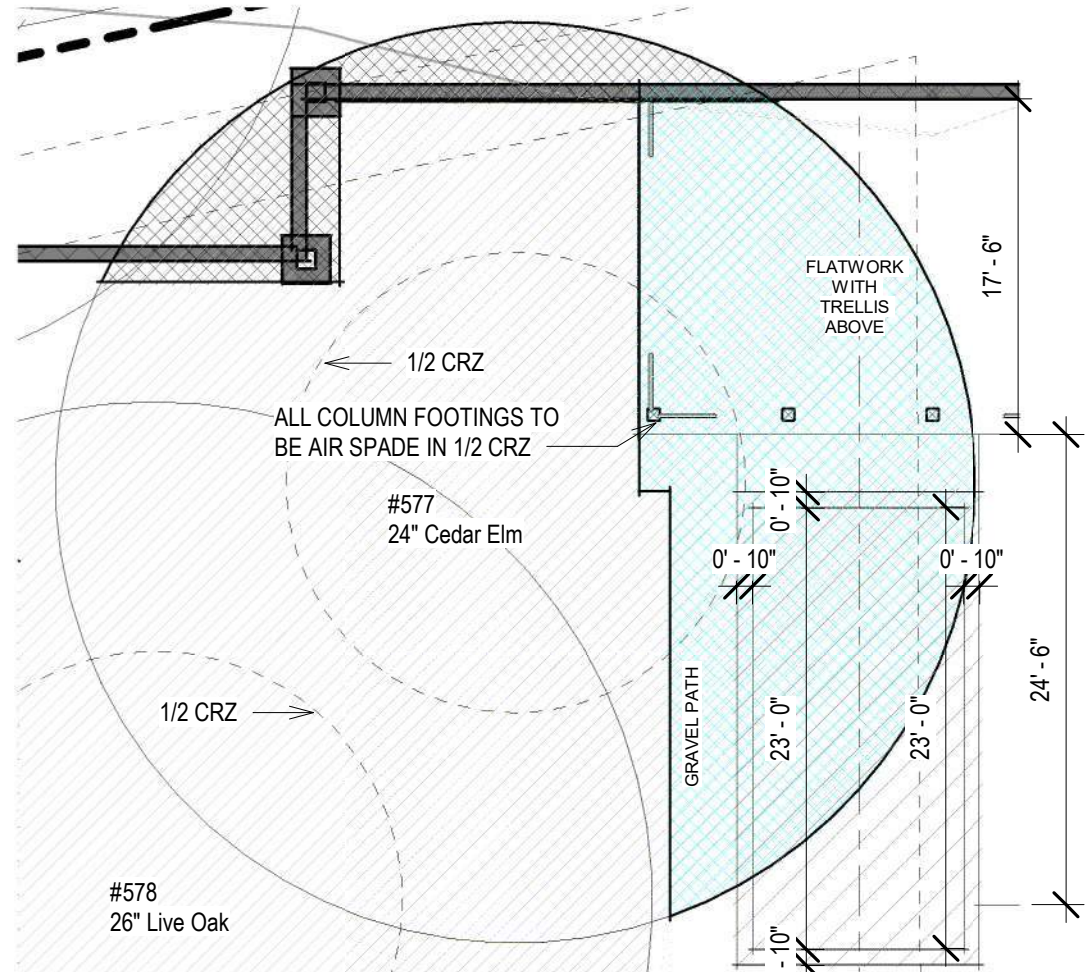
Lot size 16331.00

Existing Building Coverage % 12.99%
Total Building Coverage % 19.84%

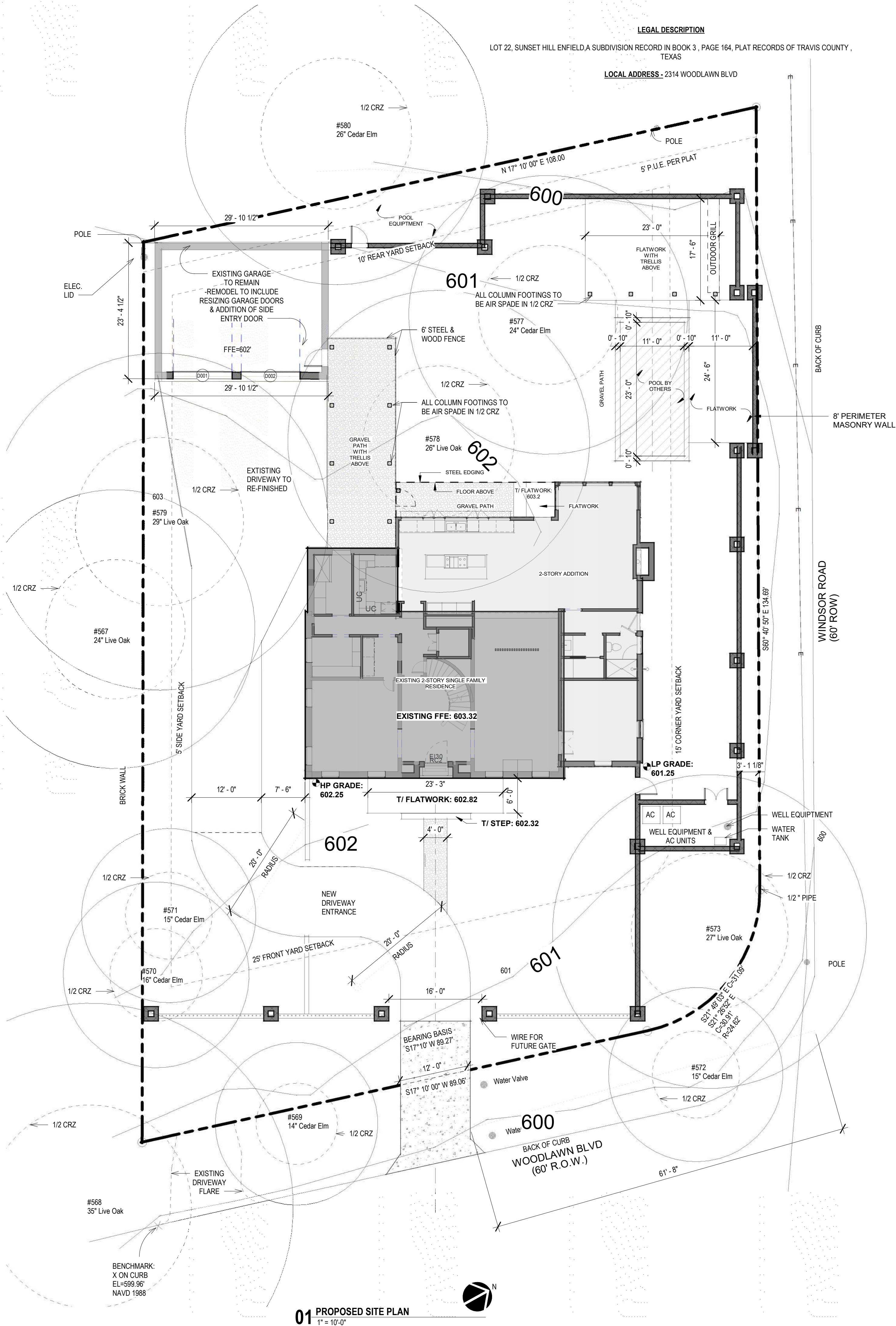
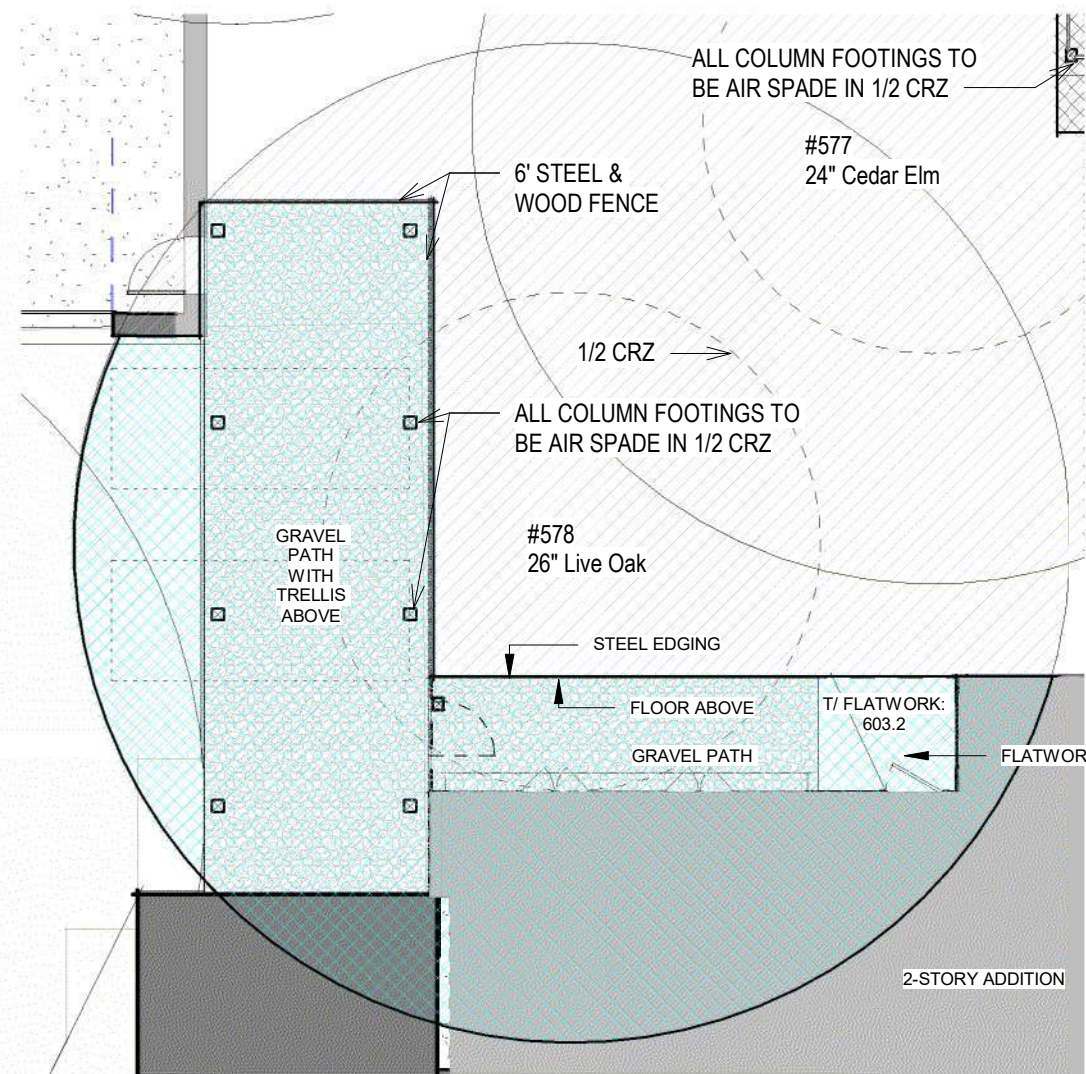
Existing Impervious Coverage % 21.63%
Total Impervious Coverage % 39.97%



4 BUILDING HEIGHT
1/8" = 1'-0"



Tree #577 Impact
TOTAL AREA: 1810 SF
IMPACT AREA: 716 SF
IMPACT PERCENTAGE: 39.5%



LAWSON RESIDENCE

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson

BUILDING PERMIT

ISSUE FOR BLDG PERMIT 03.22.2021



Date 03.22.2021
Checked by Denise Hudock

Any reproductions, alteration, modifications, usage or incorporation into other documents may not occur without the prior written permission of Michael + Wes & Co.

© 2021 Michael + Wes & Co.

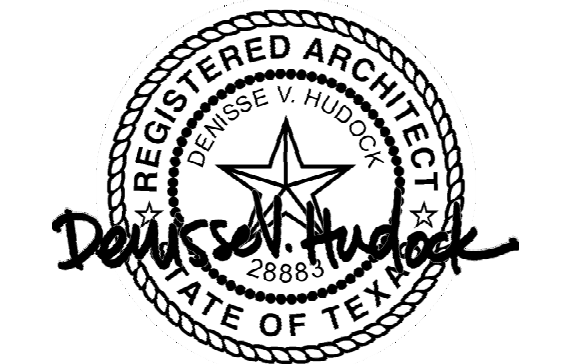
A103
SITE PLAN -
PROPOSED

LAWSON RESIDENCE

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson

BUILDING PERMIT	
ISSUE FOR BLDG PERMIT	03.22.2021



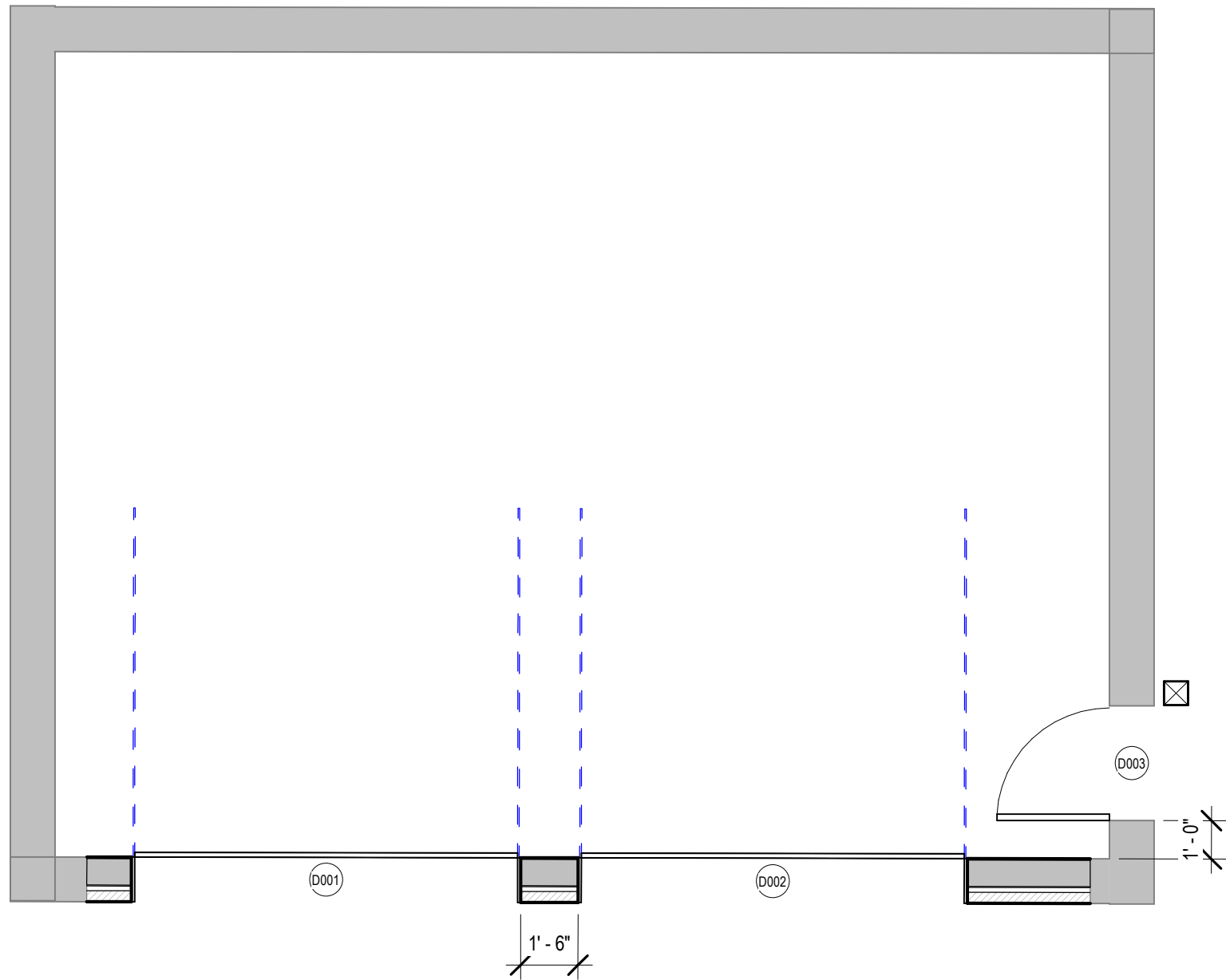
Date	Author
Checked by	Checker

Any reproductions, alteration, modifications, usage or incorporation into other documents may not occur without the prior written permission of Michael + Wes & Co.

© 2021 Michael + Wes & Co.

A115

GARAGE FLOOR &
ROOF PLAN



1 01 - GARAGE PLAN - PROPOSED

1/4" = 1'-0"

LAWSON RESIDENCE

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson

BUILDING PERMIT

ISSUE FOR BLDG PERMIT 03.22.2021

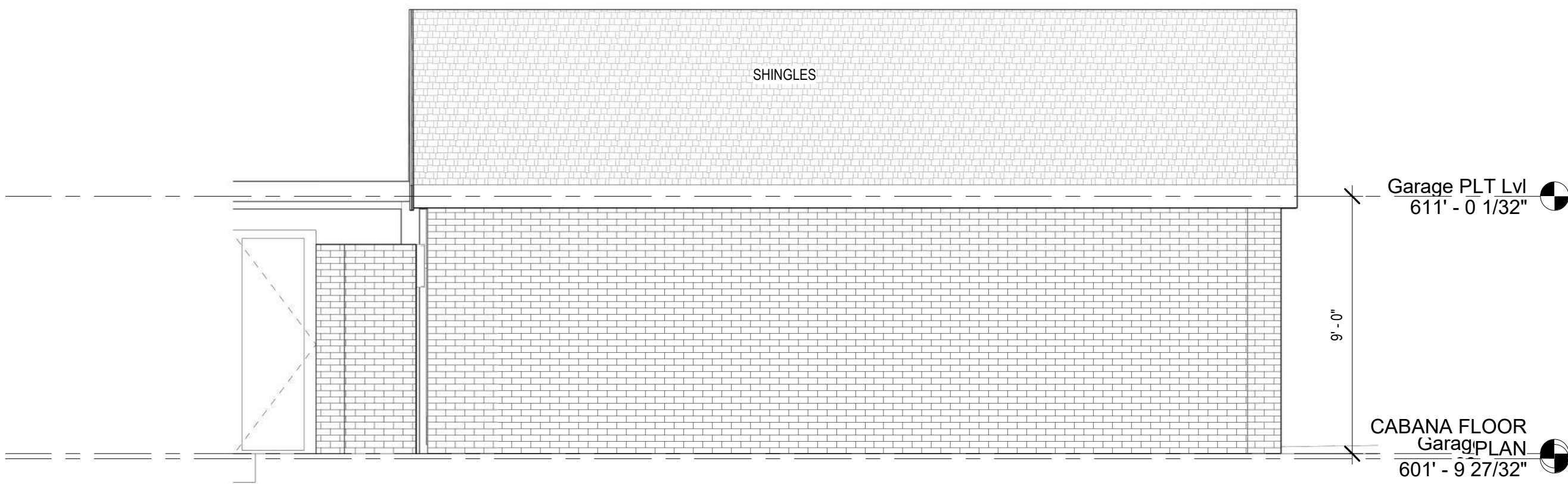


Date 03.22.2021
Checked by Denise Hudock

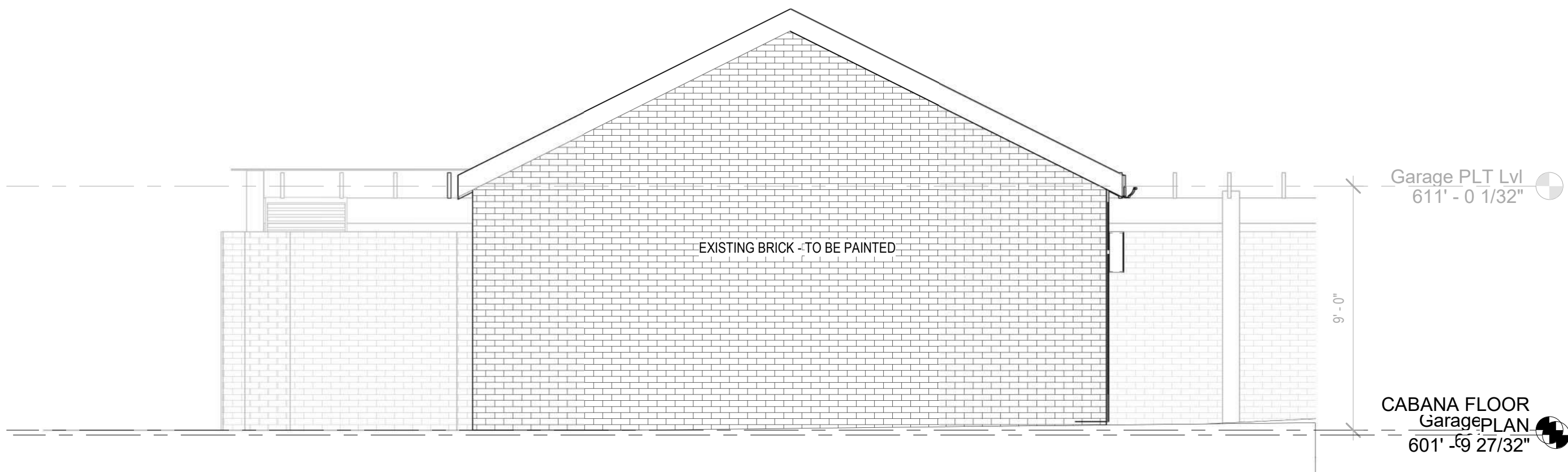
Any reproductions, alteration, modifications, usage or incorporation into other documents may not occur without the prior written permission of Michael + Wes & Co.

© 2021 Michael + Wes & Co.

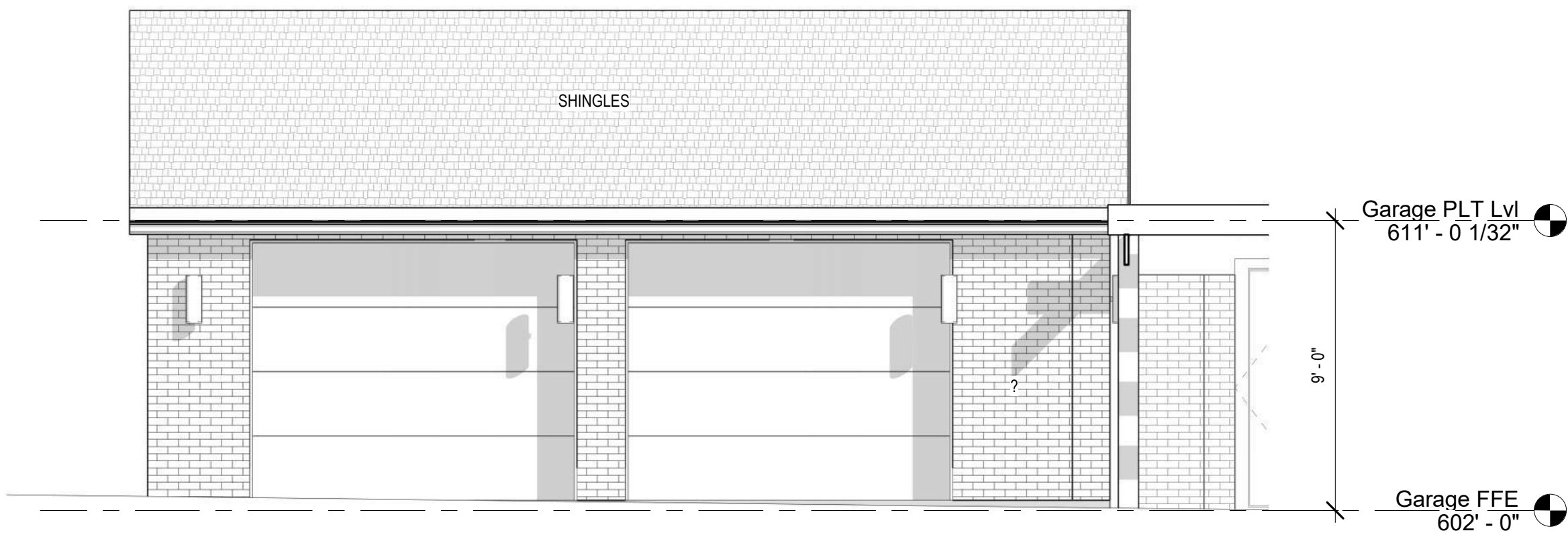
A116
EXTERIOR
ELEVATIONS -
GARAGE



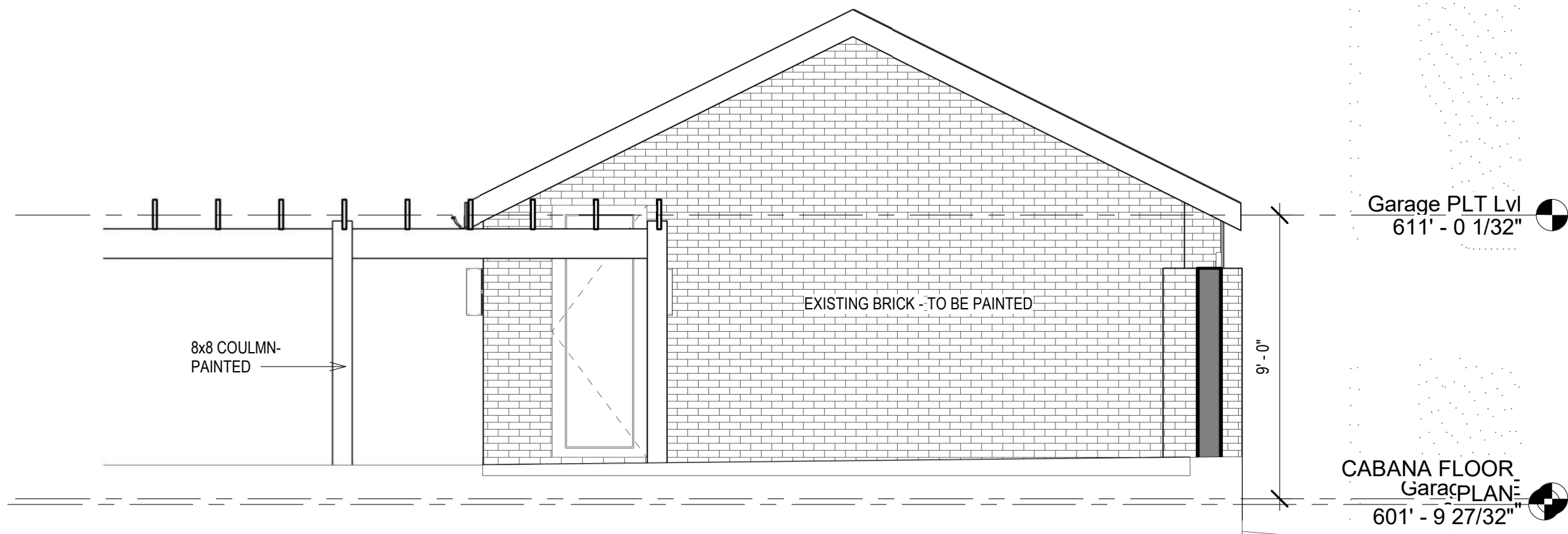
4 WEST GARAGE ELEVATION
1/4" = 1'-0"



3 SOUTH GARAGE ELEVATION
1/4" = 1'-0"



2 EAST GARAGE ELEVATION
1/4" = 1'-0"



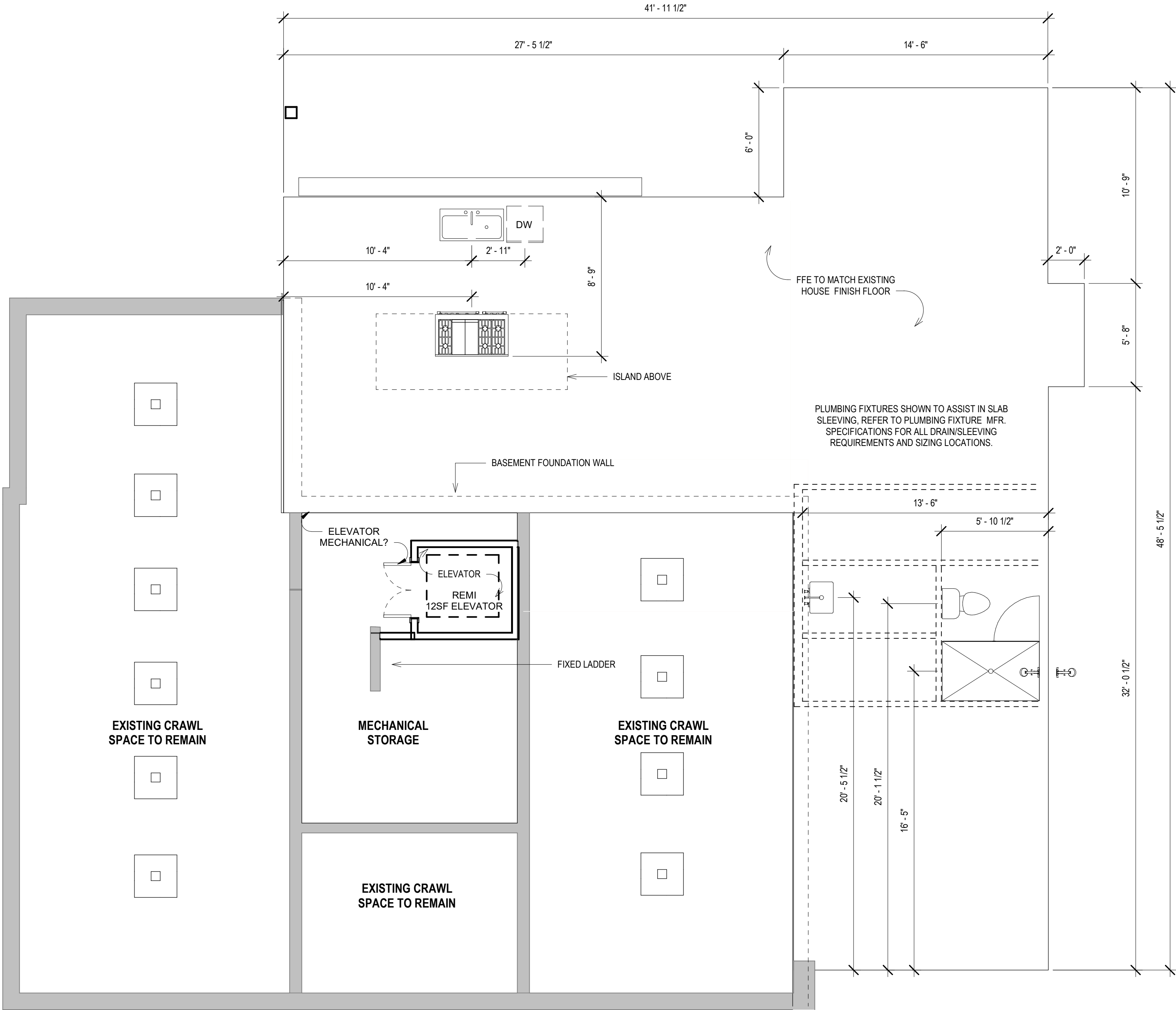
1 NORTH GARAGE ELEVATION
1/4" = 1'-0"

FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FRAME OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE
2. SEE INDICATED CALLOUT, ELEVATION OR DETAILS FOR ADDITIONAL DIMENSIONAL INFORMATION
3. ALL DIMENSIONS WINDOW OPENINGS ARE ROUGH OPENINGS (ALLOWS FOR 1/4" EACH SIDE) UNLESS NOTED OTHERWISE
4. ALL DIMENSIONED DOOR OPENINGS ARE ROUGH OPENING DIMENSIONS (ALLOWS FOR 1" EACH SIDE) UNLESS NOTED OTHERWISE
5. EGRESS WINDOWS ARE DESIGNATED AT THE WINDOW TAG WITH "O"
6. TEMPERED WINDOWS ARE DESIGNATED AT THE WINDOW TAG WITH "T"
7. EGRESS WINDOWS ARE DESIGNATED AT THE WINDOW TAG WITH "EG"
8. ALL EGRESS WINDOWS SHALL BE VERIFIED WITH THE MANUFACTURES.

FLOOR PLAN KEY:

- WALL TO REMAIN
- WINDOW TO REMAIN
- INFILL @ REMOVED EXTERIOR DOOR/WINDOW
*FRAMING DEPTH TO MATCH EXISTING WALL
- INFILL @ REMOVED INTERIOR DOOR/WINDOW
*FRAMING DEPTH TO MATCH EXISTING WALL
- NEW WINDOW @ EXISTING WALL
- 2x6 CONSTRUCTION
- 2x4 CONSTRUCTION



1 00 - BASEMENT FLOOR PLAN - PROPOSED
1/4" = 1'-0"

LAWSON RESIDENCE

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson

BUILDING PERMIT	
ISSUE FOR BLDG PERMIT	03.22.2021



Date	03.22.2021
Checked by	Denisse Hudock

Any reproductions, alteration, modifications, usage or incorporation into other documents may not occur without the prior written permission of Michael + Wes & Co.

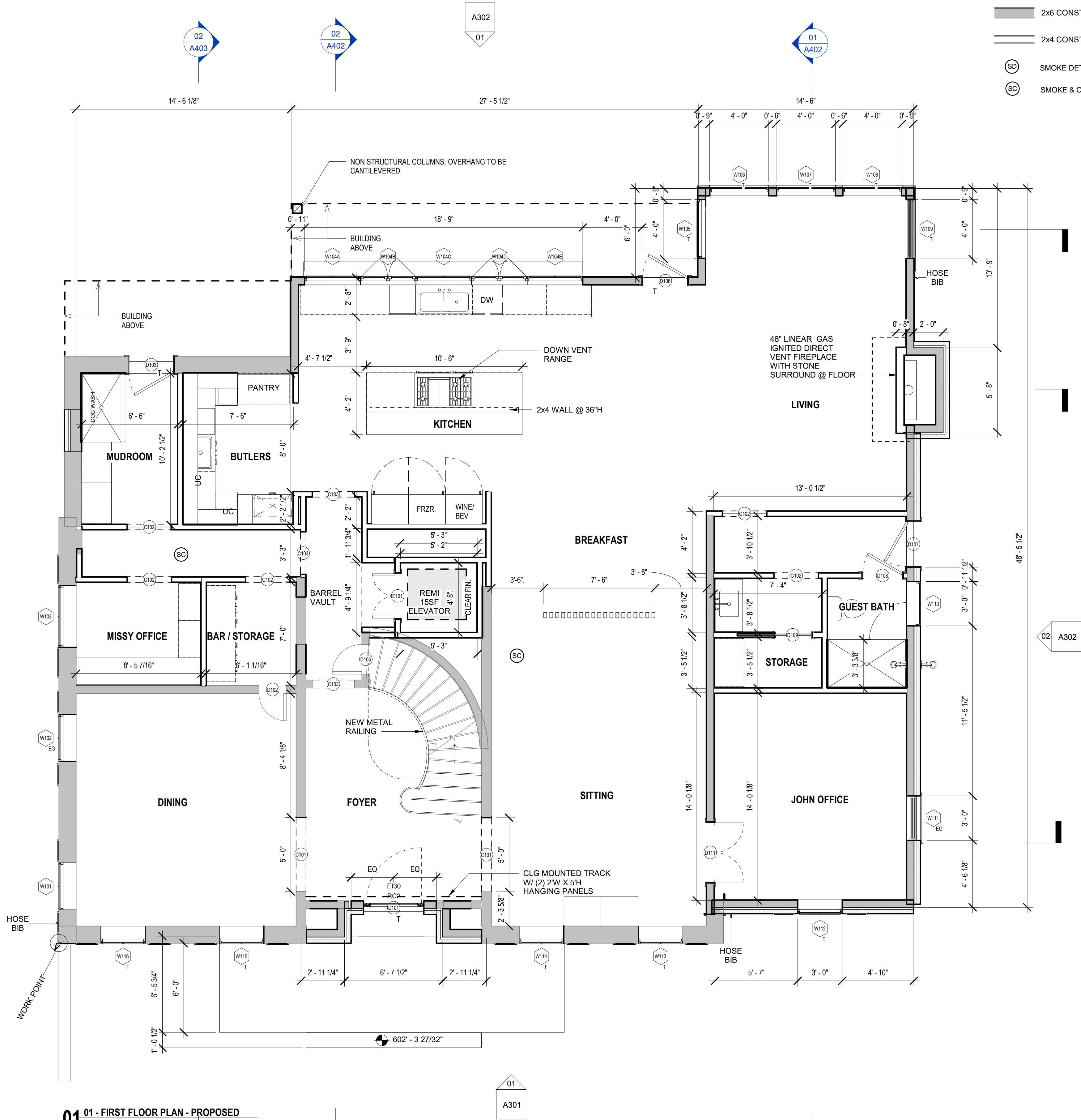
© 2021 Michael + Wes & Co.

FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FRAME OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE
2. SEE INDICATED CALLOUT, ELEVATION OR DETAILS FOR ADDITIONAL DIMENSIONAL INFORMATION
3. ALL DIMENSIONS WINDOW OPENINGS ARE ROUGH OPENINGS (ALLOWS FOR 1/4" EACH SIDE) UNLESS NOTED OTHERWISE
4. ALL DIMENSIONED DOOR OPENINGS ARE ROUGH OPENING DIMENSIONS (ALLOWS FOR 1" EACH SIDE) UNLESS NOTED OTHERWISE
5. EGRESS WINDOWS ARE DESIGNATED AT THE WINDOW TAG WITH "O"
6. TEMPERED WINDOWS ARE DESIGNATED AT THE WINDOW TAG WITH "T"
7. EGRESS WINDOWS ARE DESIGNATED AT THE WINDOW TAG WITH "EG"
8. ALL EGRESS WINDOWS SHALL BE VERIFIED WITH THE MANUFACTURES.

FLOOR PLAN KEY:

- WALL TO REMAIN
- WINDOW TO REMAIN
- INFILL @ REMOVED EXTERIOR DOOR/WINDOW *FRAMING DEPTH TO MATCH EXISTING WALL
- INFILL @ REMOVED INTERIOR DOOR/WINDOW *FRAMING DEPTH TO MATCH EXISTING WALL
- NEW WINDOW @ EXISTING WALL
- 2x6 CONSTRUCTION
- 2x4 CONSTRUCTION
- SMOKE DETECTOR
- SMOKE & CARBON MONOXIDE DETECTOR



01 01 - FIRST FLOOR PLAN - PROPOSED
1/4" = 1'-0"

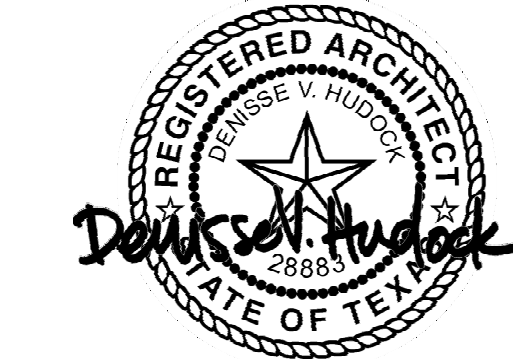
LAWSON RESIDENCE

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson

BUILDING PERMIT

ISSUE FOR BLDG PERMIT 03.22.2021



Date 03.22.2021
Checked by Denise Hudock

Any reproductions, alteration, modifications, usage or incorporation into other documents may not occur without the prior written permission of Michael + Wes & Co.

© 2021 Michael + Wes & Co.

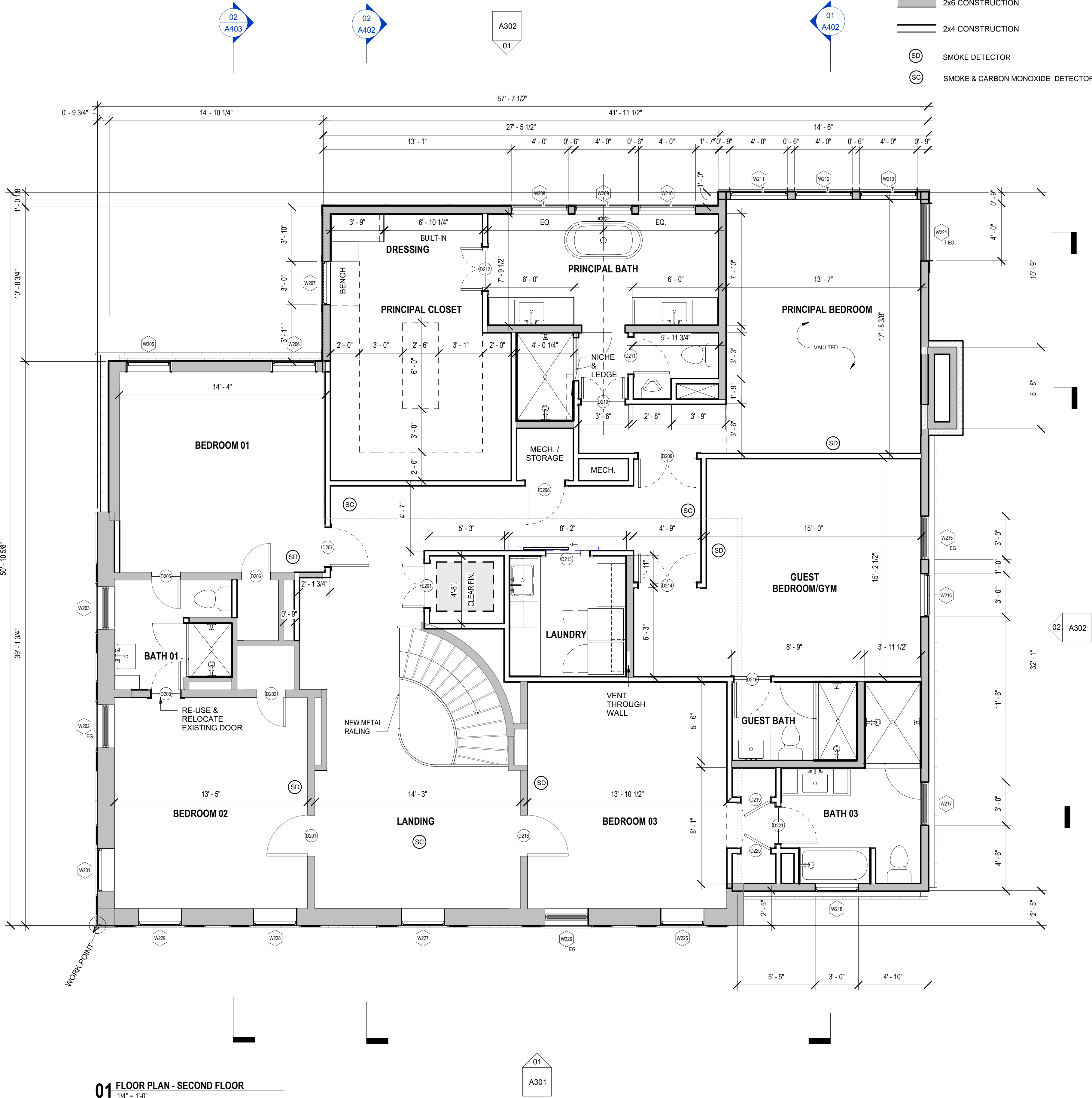
A202
FIRST FLOOR PLAN

FLOOR PLAN NOTES:

- ALL DIMENSIONS ARE TO FACE OF FRAME OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE
- SEE INDICATED CALLOUT, ELEVATION OR DETAILS FOR ADDITIONAL DIMENSIONAL INFORMATION
- ALL DIMENSIONS WINDOW OPENINGS ARE ROUGH OPENINGS (ALLOWS FOR 1/4" EACH SIDE) UNLESS NOTED OTHERWISE
- ALL DIMENSIONED DOOR OPENINGS ARE ROUGH OPENING DIMENSIONS (ALLOWS FOR 1" EACH SIDE) UNLESS NOTED OTHERWISE
- EGRESS WINDOWS ARE DESIGNATED AT THE WINDOW TAG WITH "O"
- TEMPERED WINDOWS ARE DESIGNATED AT THE WINDOW TAG WITH "T"
- EGRESS WINDOWS ARE DESIGNATED AT THE WINDOW TAG WITH "EG"
- ALL EGRESS WINDOWS SHALL BE VERIFIED WITH THE MANUFACTURES.

FLOOR PLAN KEY:

- WALL TO REMAIN
- WINDOW TO REMAIN
- INFILL @ REMOVED EXTERIOR DOOR/WINDOW
*FRAMING DEPTH TO MATCH EXISTING WALL
- INFILL @ REMOVED INTERIOR DOOR/WINDOW
*FRAMING DEPTH TO MATCH EXISTING WALL
- NEW WINDOW @ EXISTING WALL
- 2x6 CONSTRUCTION
- 2x4 CONSTRUCTION
- SMOKE DETECTOR
- SMOKE & CARBON MONOXIDE DETECTOR



01 FLOOR PLAN - SECOND FLOOR
1/4" = 1'-0"

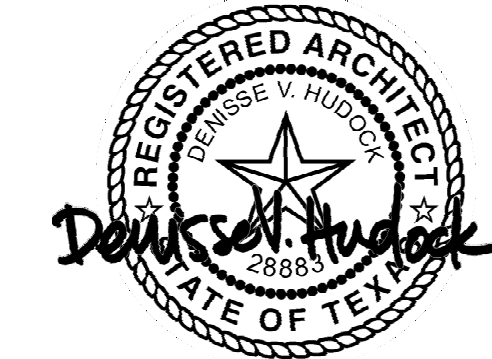
LAWSON RESIDENCE

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson

BUILDING PERMIT

ISSUE FOR BLDG PERMIT 03.22.2021



Date 03.22.2021

Checked by Denise Hudock

Any reproductions, alteration, modifications, usage or incorporation into other documents may not occur without the prior written permission of Michael + Wes & Co.

© 2021 Michael + Wes & Co.

A203
SECOND FLOOR
PLAN

FLOOR PLAN KEY:

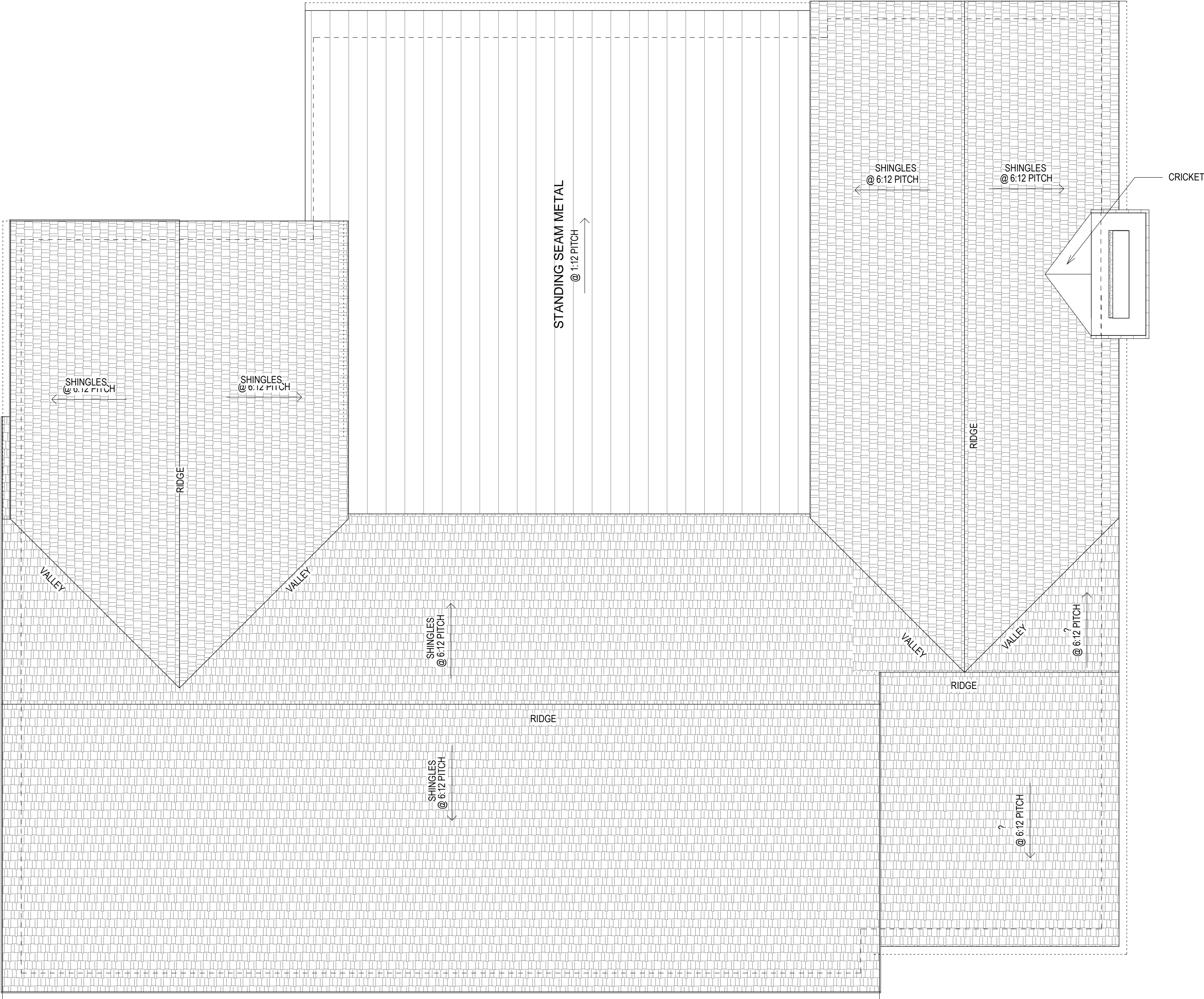
----- GUTTER

FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FRAME OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE
2. SEE INDICATED CALLOUT, ELEVATION OR DETAILS FOR ADDITIONAL DIMENSIONAL INFORMATION
3. ALL DIMENSIONS WINDOW OPENINGS ARE ROUGH OPENINGS (ALLOWS FOR 1/4" EACH SIDE) UNLESS NOTED OTHERWISE
4. ALL DIMENSIONED DOOR OPENINGS ARE ROUGH OPENING DIMENSIONS (ALLOWS FOR 1" EACH SIDE) UNLESS NOTED OTHERWISE
5. EGRESS WINDOWS ARE DESIGNATED AT THE WINDOW TAG WITH "O"
6. TEMPERED WINDOWS ARE DESIGNATED AT THE WINDOW TAG WITH "T"
7. EGRESS WINDOWS ARE DESIGNATED AT THE WINDOW TAG WITH "EG"
8. ALL EGRESS WINDOWS SHALL BE VERIFIED WITH THE MANUFACTURES.

FLOOR PLAN KEY:

- WALL TO REMAIN
- WINDOW TO REMAIN
- INFILL @ REMOVED EXTERIOR DOOR/WINDOW
*FRAMING DEPTH TO MATCH EXISTING WALL
- INFILL @ REMOVED INTERIOR DOOR/WINDOW
*FRAMING DEPTH TO MATCH EXISTING WALL
- NEW WINDOW @ EXISTING WALL
- 2x6 CONSTRUCTION
- 2x4 CONSTRUCTION



LAWSON RESIDENCE

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson

BUILDING PERMIT	
ISSUE FOR BLDG PERMIT	03.22.2021



Date	03.22.2021
Checked by	Denisse Hudock

Any reproductions, alteration, modifications, usage or incorporation into other documents may not occur without the prior written permission of Michael + Wes & Co.

© 2021 Michael + Wes & Co.

LAWSON RESIDENCE

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson

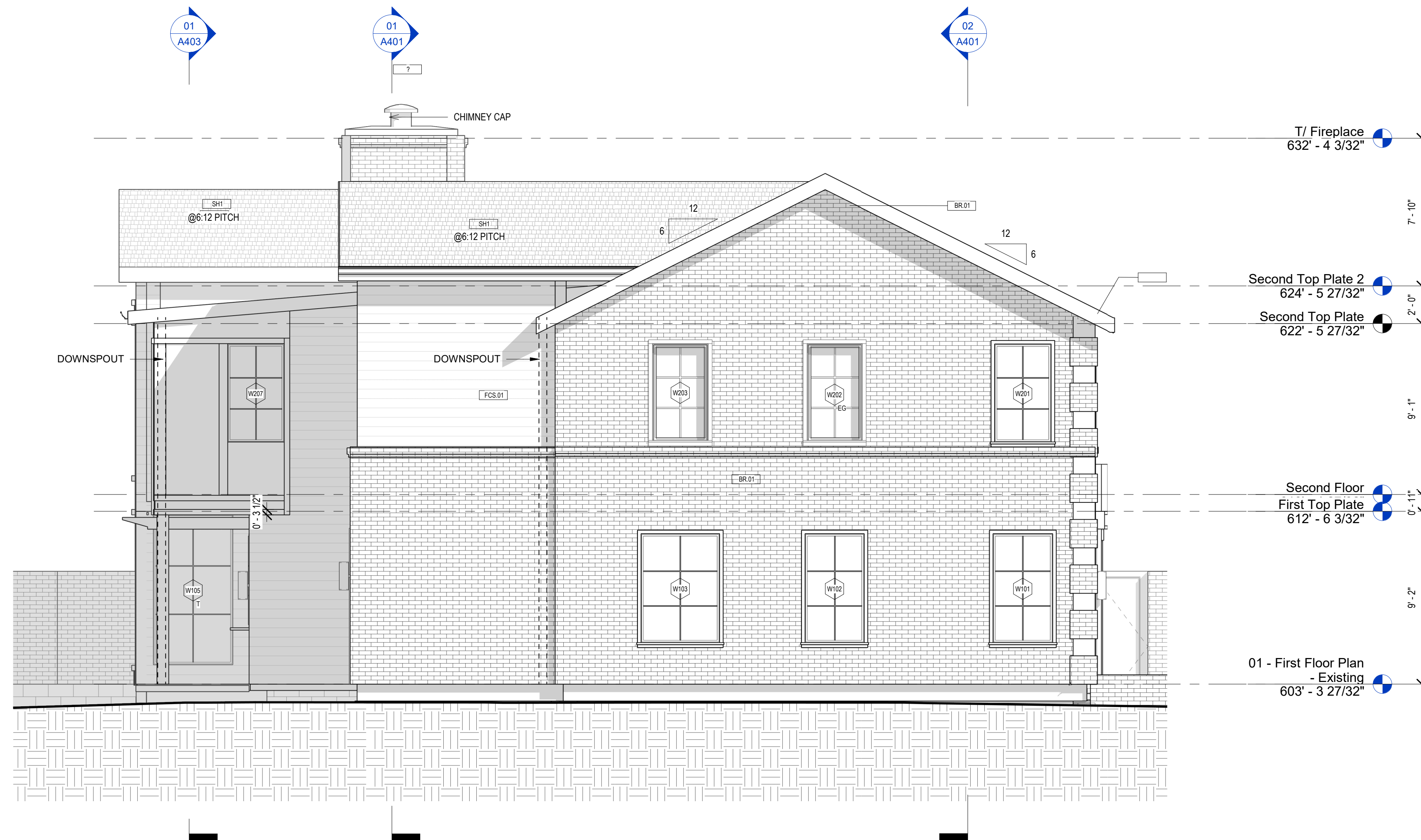
BUILDING PERMIT

ISSUE FOR BLDG PERMIT 03.22.2021

Date 04.07.2021
Checked by Denise Hudock

Any reproductions, alteration, modifications, usage or incorporation into other documents may not occur without the prior written permission of Michael + Wes & Co.

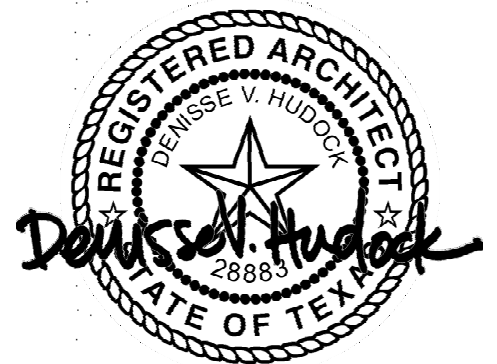
© 2021 Michael + Wes & Co.

A301
EXTERIOR
ELEVATIONS02 EXTERIOR LEFT ELEVATIONS
1/4" = 1'-0"01 EXTERIOR FRONT ELEVATIONS
1/4" = 1'-0"

2314 Woodlawn Blvd Austin, Texas 78702

Client: John & Missy Lawson

ISSUE FOR BLDG PERMIT 03.22.2021



Date	03.22.2021
Checked by	Denisse Hudock

Any reproductions, alteration, modifications,
usage or incorporation into other documents
may not occur without the prior written
permission of Michael + Wes + Co.

© 2021 Michael + Wes & Co.

A302

EXTERIOR ELEVATIONS



02 EXTERIOR ELEVATIONS



01 EXTERIOR ELEVATIONS OVERALL