

LOT 16 BLOCK A

S 30°08'20" W 56.86' AC
 S 30°08'20" W 116.72'

ASPHALT

STONE RET. WALL

CONC. RET. WALL

18.2' 4.0'

LOT 15

DETAIL NOT TO SCALE

FROM A MAG NAIL SET AT THE PROPERTY CORNER A MAG NAIL FOUND BEARS: S 65°45'58" E 0.60'

STONE RET. WALL

LOT 17

	1/2" REBAR FOUND		1/2" CAPPED REBAR SET		1/2" IRON PIPE FOUND		MAG NAIL FOUND		MAG NAIL SET		CAPPED REBAR FOUND		"X" SET IN CONCRETE		"X" FOUND IN CONCRETE		SPINDLE FOUND		BOLT FOUND		CHAIN LINK FENCE		WOOD FENCE		WIRE FENCE		BUILDING LINE		PUBLIC UTILITY EASEMENT		DRAINAGE EASEMENT		PER PLAT		CONTROL MONUMENT		RIGHT OF WAY		PLACE OF BEGINNING		OVERHEAD UTILITY LINE		POWER POLE		AIR CONDITIONER		BREAK IN SCALE		FINISHED FLOOR ELEVATION	
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TAG NO.	TREE DESCRIPTION
	17" PECAN
	9" PECAN
	21" PECAN
	21" ELM
	27" OAK

OAKLAND AVENUE
(40' R.O.W.)

N 30°00'00" E 57.25' (57.00')
(BEARING BASIS)

This Survey was prepared without the benefit of a title commitment. There may be additional setback lines, easements and interests which are relevant to this property and unknown to B & B SURVEYING, LLC. Building dimensions are approximate.

TO THE LIENHOLDER AND / OR PRESENT OWNERS OF THE PREMISES SURVEYED



FIRM REGISTRATION NO. 100363-00

WWW.BALDERSVIEW.CO.UK

1404 West North Loop Blvd.

Austin, Texas 78756 -- Office 512*458-6969

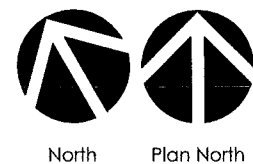
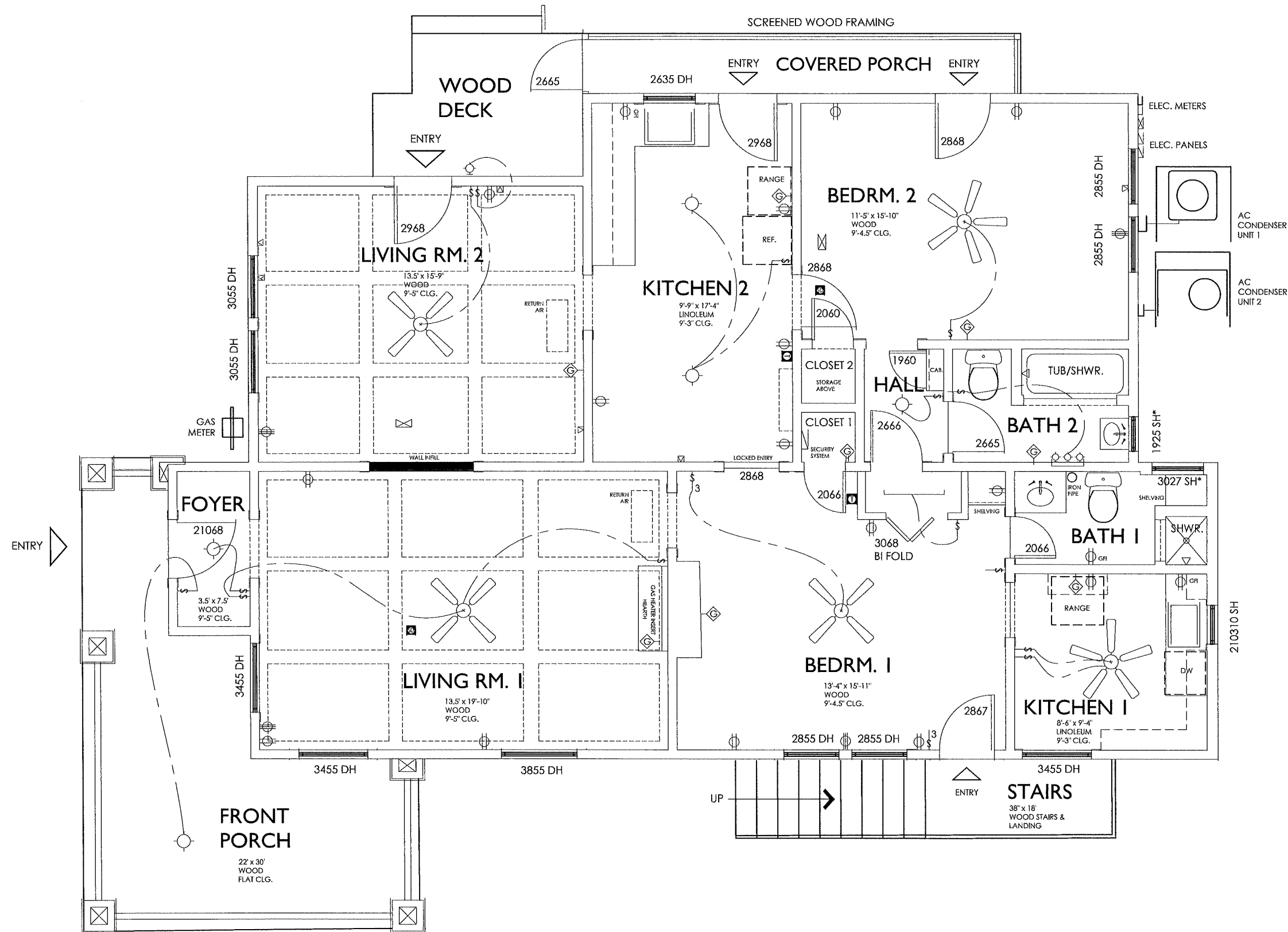
Austin, Texas 78756 -- Office 512*458-6969

JOB #:	2010221	TA
DATE:	02/03/21	
SCALE	1" = 20'	
FIELD WORK BY	RESE	02/02/21
DRAWN BY	JOSE	02/03/21
CHECKED BY	PR/GF	02/03/21
	VG/ML	02/03/21

FILED WITH BY	REESE	02/02/21
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CALL OF BY	JOSE	02/03/21
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DRAWN BY	PR/GF	02/03/21
DRAWN BY	VC /MI	02/03/21



EXISTING FLOOR PLAN

Scale: 11 x 17" = 3/16" or 24 x 36" = 3/8"

1,419 SQ. FT. HVAC

**FOR PRELIMINARY REVIEW ONLY.
NOT FOR REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION.**

JAMES A. RECEK
ARCHITECT EMERITUS
3838 WILLIAMSBURG CIRCLE
AUSTIN, TEXAS 78731

A PROJECT FOR:
KRISTI & BLAKE STANFORD
605 OAKLAND AVE
Austin, Texas 78703

ALL DIMENSIONS & CONDITIONS SHALL BE VERIFIED ON JOB SITE. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR ERRORS BEFORE BEGINNING WORK.

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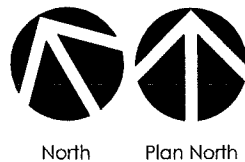
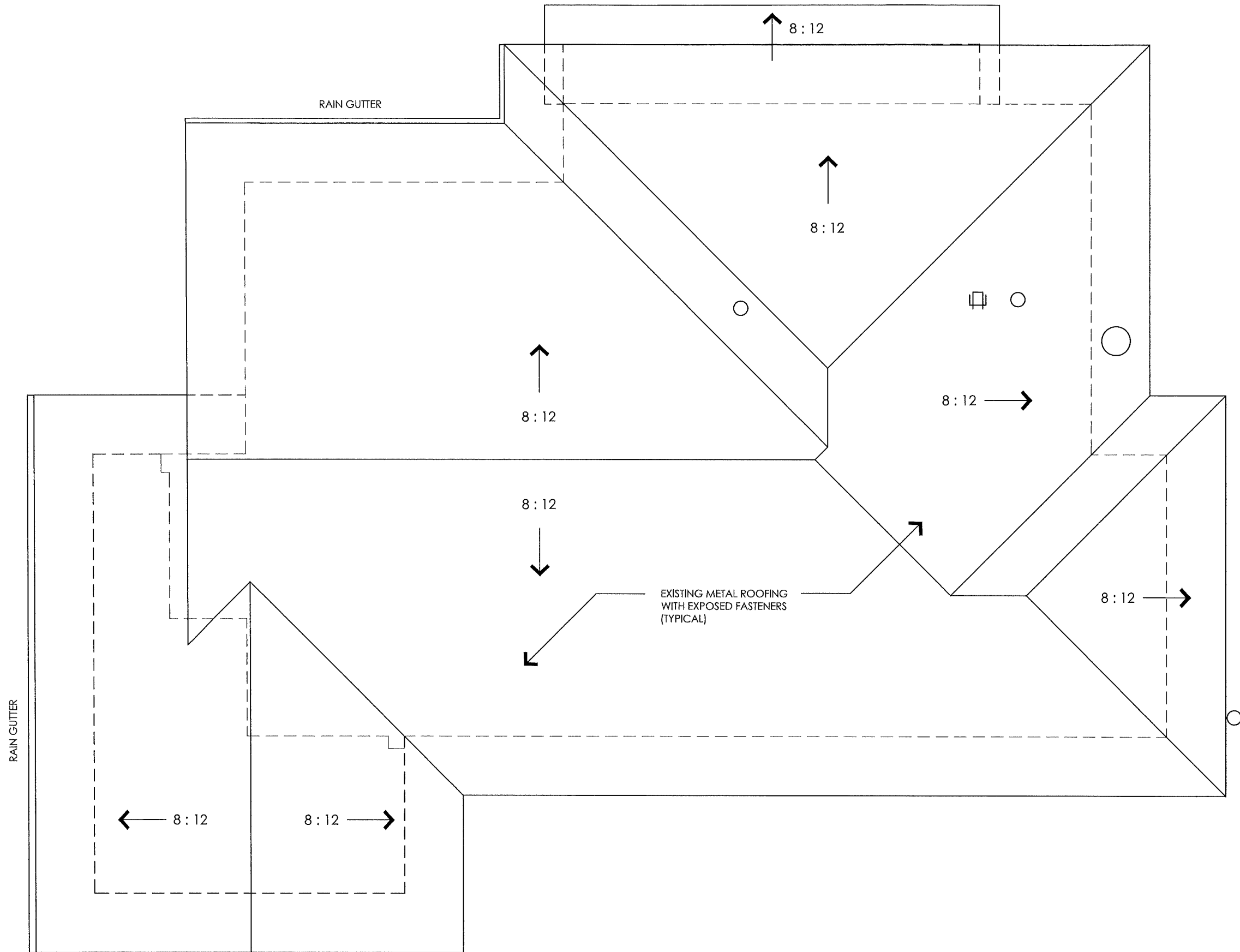
Job :

Date : 03/10/21

Rev :

A-1A

Pg. of



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605 OAKLAND AVE.

04/13/2021

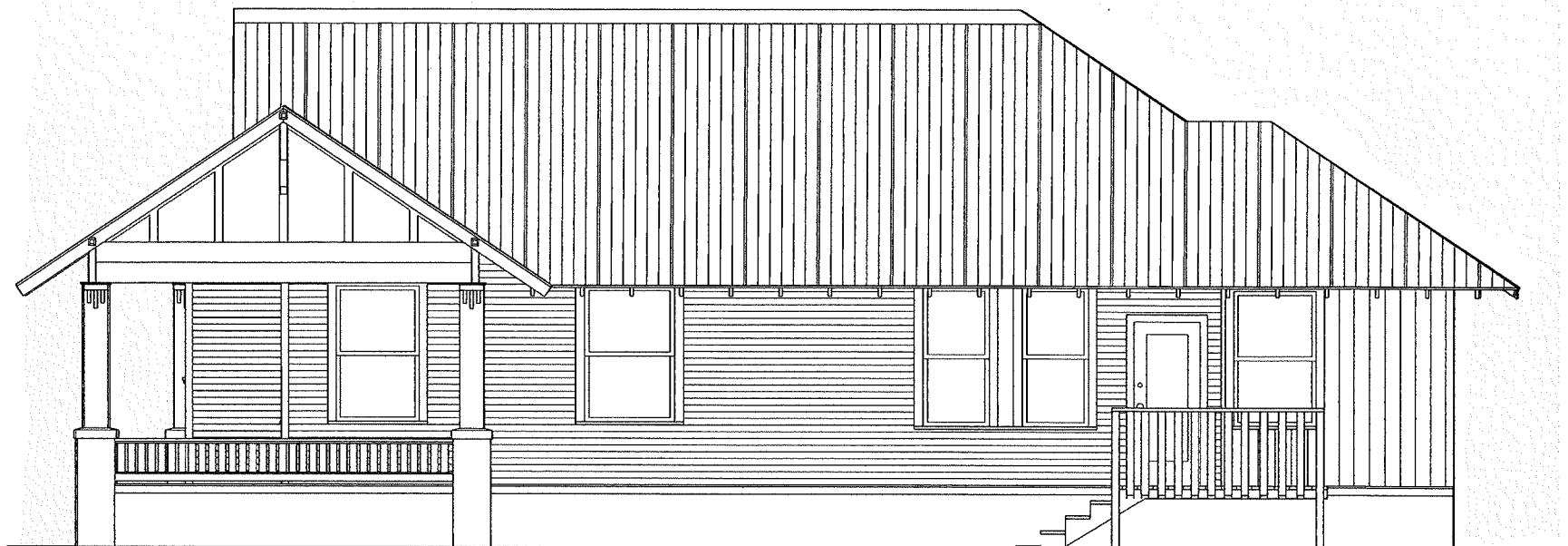
JAMES A. RECEK, ARCHITECT

EXISTING PERSPECTIVE VIEW

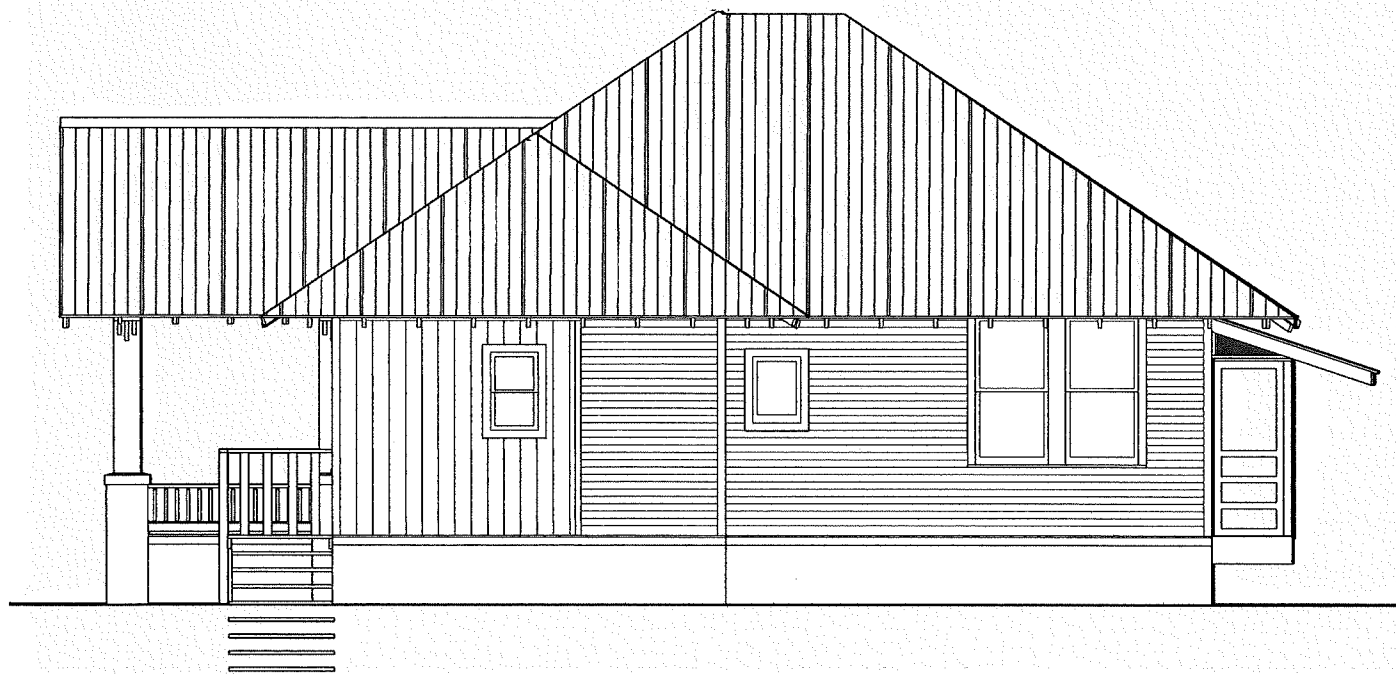
BWFA



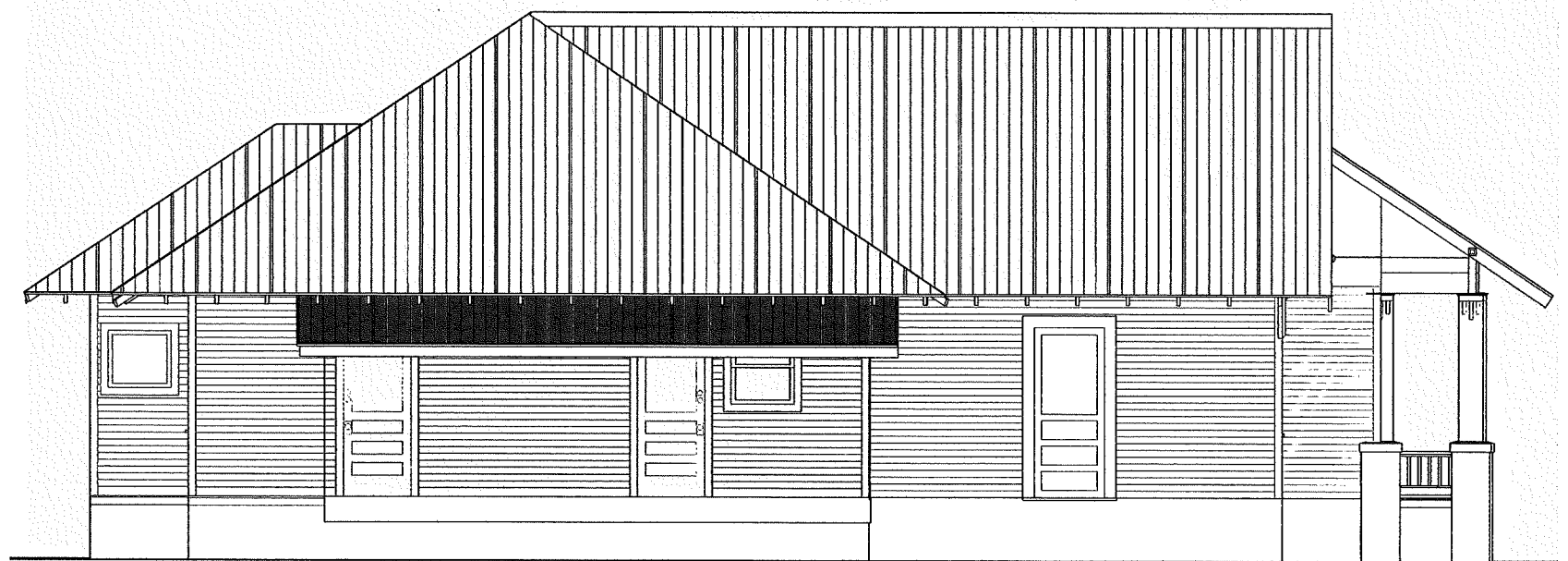
WEST



SOUTH



EAST



NORTH

605 OAKLAND AVE.

04/13/2021

JAMES A. RECEK, ARCHITECT

EXISTING ELEVATIONS

BWFA