

Thomas Land Surveying
a Pacheco Koch company
Surveying • Planning • Project Management

June 26, 2020

28.028 Acres

Fieldnotes for 28.028 acres of land in the Lucas Munos Survey No. 55, Abstract No. 513 in Travis County, Texas, being out of and a part of that certain 57 acre tract of land conveyed to Amanda Fowler and described in partition deed recorded in Volume 3076, Page 760 of the Deed Records of Travis County, and being comprised of that certain (called) 14.02 acre tract of land conveyed to Kim M. Nguyen and Njoan Nguyen, that certain (called) 2.696 acre tract of lands conveyed to Esther P. Schroeder and Vicki Lynn Schroeder Miertschin, Trustees of the Trustees of the Schroeder Family Trust, and that certain (called) 8.587 acre tract of land "Tract 1" and that certain called 0.018 acre tract of land "Tract 2" conveyed to DADMK, Inc., and that certain (called) 2.696 acre tract of land conveyed to Esther P. Schroeder, all being described in deeds recorded under County Clerk's File No(s). 5438841, 2015185436 and 2018048840, and Volume 12227, Page 493 respectively, of the Official Public Records of Travis County, said 28.028 acres of land being more particularly described by metes and bounds, based on the Texas State Plane Coordinate System, Central Zone, as follows:

BEGINNING at a 3/8 inch iron rod found in the Northwest line of Cameron Road marking the most Easterly or Northeast corner of the said 57 acre tract (residue), the said 8.587 acre tract and the herein described tract, said point also being the most Southerly or Southeast corner of that certain 5.39 acre tract of land conveyed to Stephen A. Madison, as Trustee of T.H.E. Madison Living Trust, as described in deed recorded under County Clerk's File No. 2016206925 of the said Official Public Records;

Thence, South 42°29'46" West with the Northwest line of said Cameron Road and the Southeast line of the said 8.587 acre tract, at 259.74 feet (called) passing the most Southerly or Southeast corner of the said 8.587 acre tract and the most Easterly or Northeast corner of the said 14.02 acre tract, at 389.85 feet (called) passing the most Easterly Southeast corner of the said 14.02 acre tract and the most Easterly or Northeast corner of the said Esther P. Schroeder 2.696 acre tract, at 589.85 feet (called) passing the most Southerly or Southeast corner of the said Esther P. Schroeder 2.696 acre tract and the most Easterly or Northeast corner of the said Esther P. Schroeder, et al 2.696 acre tract, and continuing in all, a total distance of 789.28 feet to a 1/2 inch iron rod found marking the most Southerly or Southeast corner of the said Esther P. Schroeder, et al 2.696 acre tract and the most Easterly Southeast corner of the herein described tract, said point also being the most Easterly or Northeast corner of that certain 1.44 acre tract of land conveyed to Lewis Eugene Roland, as described in deed recorded under County Clerk's File No. 2011189371 of the said Official Public Records;

Thence, North 73°11'52" West with the Northerly line of that certain 1.44 acre tract of land conveyed to Lewis Eugene Roland, as described in deed recorded under County Clerk's File No. 2011189371 of the said Official Public Records and the Southerly line of the said Esther P. Schroeder, et al 2.696 acre tract, a distance of 581.78 feet to a 1/2 inch iron rod found marking the most Northerly or Northwest corner of the said 1.44 acre tract and an interior ell corner of the herein described tract, said point being an exterior ell corner (in the Southeast line) of the said 14.02 acre tract, from which point, a 1/2 inch iron rod found marking the most Westerly or Southwest corner of the said Esther P. Schroeder, et al 2.696 acre tract bears North 73°11'52" West, 72.17 feet;

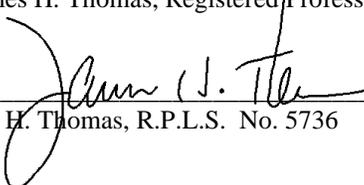
Thence, South 42°46'56" West with the Northwest line of the said 1.44 acre tract and the Southeast line of the said 14.02 acre tract, at 99 feet (called) passing the most Westerly or Southwest corner of the said 1.44 acre tract and the most Northerly or Northwest corner of that certain 0.475 acre tract of land conveyed to Sohrab Kourosh and Elham Kourosh, Trustees of the Kourosh Living Trust, as described in deed recorded under County Clerk's File No. 2009061481 of the said Official Public Records, at 206.05 feet (called) passing the most Westerly or Southwest corner of the said 0.475 acre tract and the most Northerly or Northwest corner of that certain 1.453 acre tract of land conveyed to Sohrab Kourosh and Elham Kourosh, Trustees of the Kourosh Living Trust, as described in deed recorded under County Clerk's File No. 2009055799 of the said Official Public Records, and continuing in all, a total distance of 305.43 feet to a 5/8 inch iron rod found marking an exterior ell corner of the herein described tract, said point being the most Southerly Southeast corner of the said 14.02 acre tract, said point being the most Westerly or Southwest corner of the said 1.453 acre tract, said point also being in the Northerly line of that certain 22.393 acre tract of land conveyed to Yuh Jaan Wey and wife, Yecu Chyn Wey, and described as "Tract 1" in deed recorded under County Clerk's File No. 5974125 of the said Official Public Records;

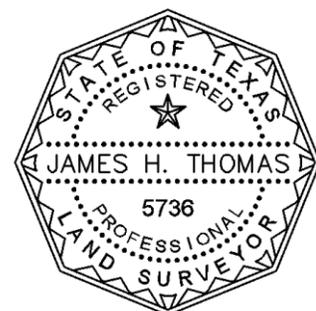
Thence, North 74°55'54" West with the Northerly line of the said 22.393 acre tract and the Southerly line of the said 14.02 acre tract, at 626.31 feet (called) passing the most Westerly or Southwest corner of the said 14.02 acre tract and the most Northerly or Northwest corner of the said 22.393 acre tract, and continuing in all, a total distance of 632.70 feet to a 5/8 inch iron rod with cap set in the Westerly line of the aforesaid 57 acre tract for the most Westerly or Southwest corner of the herein described tract, said point also being in the Easterly line of Lot 79, Block UU of Pioneer Crossing East, Section 38, the map or plat thereof recorded in Document No. 201600273 of the Plat Records of Travis County, from which point, a 1/2 inch iron rod (control monument) found marking the most Westerly or Southwest corner of the said 22.393 acre tract and the common most Southerly or Southeast corner of said Section 38 bears South 22°12'57" West, 1005.24 feet;

Thence, North 22°12'57" East with the Easterly line of said Lot 79 and the Westerly line of the said 57 acre tract, at 95.27 feet passing the Northeast corner of said Lot 79 and the Southeast corner of Reliance Creek Drive, at 185.27 feet passing the Northeast corner of said Reliance Creek Drive and the Southeast corner of Lot 36, Block FFF of said Section 38, at 506.91 feet passing the Northeast corner of said Section 38 and the Southeast corner of Lot 1, Block FFF of Pioneer Crossing East, Section 4, the map or plat thereof recorded in Document No. 200400141 of the said Plat Records, at 746.79 feet passing the Southwest corner of the aforesaid 0.018 acre tract, at 945.37 feet passing the Northeast corner of said Lot 1 and the most Southerly or Southeast corner of Taebaek Drive, and continuing in all, a total distance of 997.19 feet to a 1/2 inch iron rod (control monument) found marking the most Northerly or Northwest corner of the said 57 acre tract, the said 0.018 acre tract and the herein described tract, said point also being the most Westerly or Southwest corner of the aforesaid 5.39 acre tract;

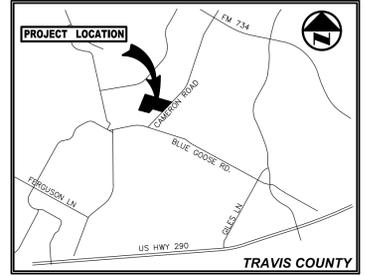
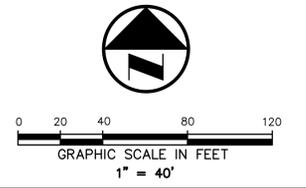
Thence, South 73°73'38"09" East with the Southerly line of the said 5.39 acre tract, and with the Northerly line of the said 57 acre tract and the said 0.018 acre tract, at 3.3 feet (called 4.14 feet) passing a 1/2 inch iron rod found marking the most Easterly or Northeast corner of the said 0.018 acre tract and the most Northerly or Northwest corner of the aforesaid 8.587 acre tract, and continuing in all, a total distance of 1596.16 feet to the PLACE OF BEGINNING and containing 28.028 acres or 1,220,911 square feet of land, more or less.

This description is based on the land title survey and plat (Job No. 4679-20.318) made under the direction of James H. Thomas, Registered Professional Land Surveyor on June 22, 2020.


James H. Thomas, R.P.L.S. No. 5736

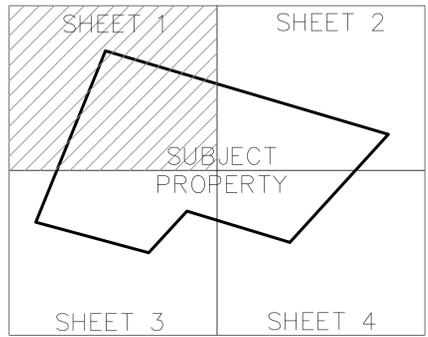
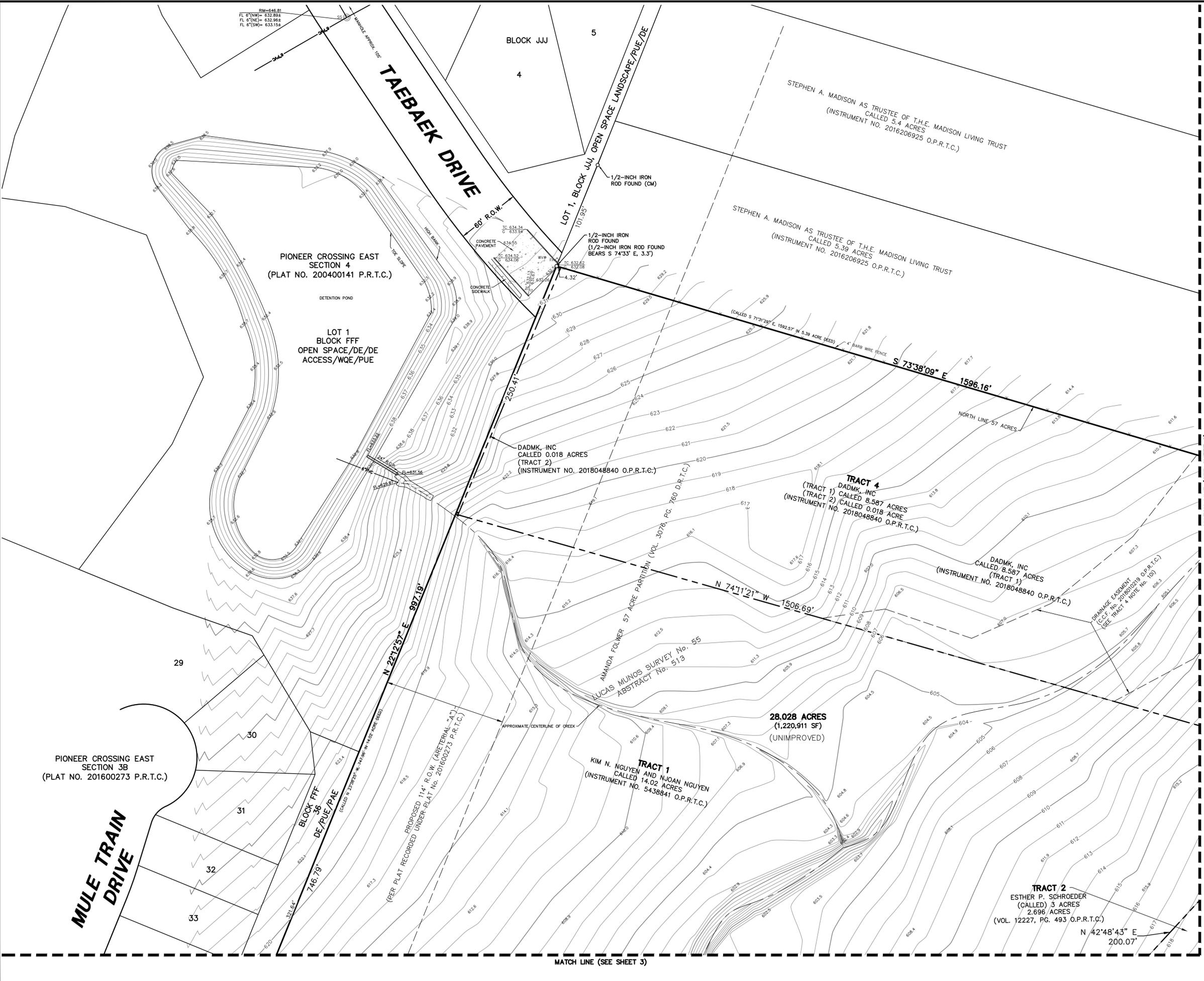


RIM=646.81
 FL 6"(NW)= 632.892
 FL 6"(NE)= 632.964
 FL 6"(SW)= 633.154



LEGEND

- | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> ○ UG CABLE MARKER ⊕ FIRE HYDRANT ⊙ MANHOLE (TYPE UNKNOWN) ⊕ POWER POLE ⊕ METAL UTILITY POLE ⊙ SAN. SEWER MANHOLE ⊕ WATER VALVE P.R.T.C. PLAT RECORDS TRAVIS COUNTY O.P.R.T.C. TRAVIS COUNTY (C.M.) CONTROLLING MONUMENT | <ul style="list-style-type: none"> — PROPERTY LINE — EASEMENT LINE — SETBACK LINE — FENCE — OVERHEAD UTILITY LINE — GUARD RAIL — STORM DRAIN LINE — WATER LINE — 6" W SANITARY SEWER LINE — 6" SS SANITARY SEWER LINE — 613 EXIST SPOT ELEV. — 612.39 EXIST SPOT ELEV. — 611.92 EXIST TOP OF CURB ELEV. — 611.92 EXIST GUTTER ELEV. |
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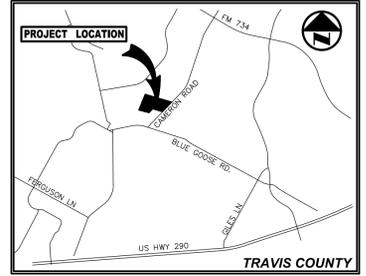
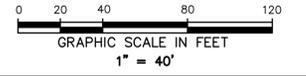
SHEET 1 OF 5
ALTA/NSPS LAND TITLE SURVEY
28.028 ACRE TRACT
 LOCATED IN THE CITY OF AUSTIN, TEXAS
 AND BEING OUT OF THE
 LUCAS MUNOS SURVEY, ABSTRACT NO. 513,
 TRAVIS COUNTY, TEXAS

Thomas Land Surveying
 a Pacheco Koch company
 20329 STATE HWY 249, SUITE 350
 HOUSTON, TX 77070 281.883.0103
 TX REG. SURVEYING FIRM LS-10045800

DRAWN BY DJS/CBW	CHECKED BY JHT/CBW	SCALE 1"=40'	DATE 06/26/2020	JOB NUMBER 4679-20.318
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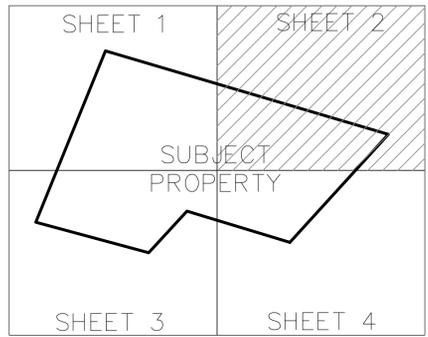
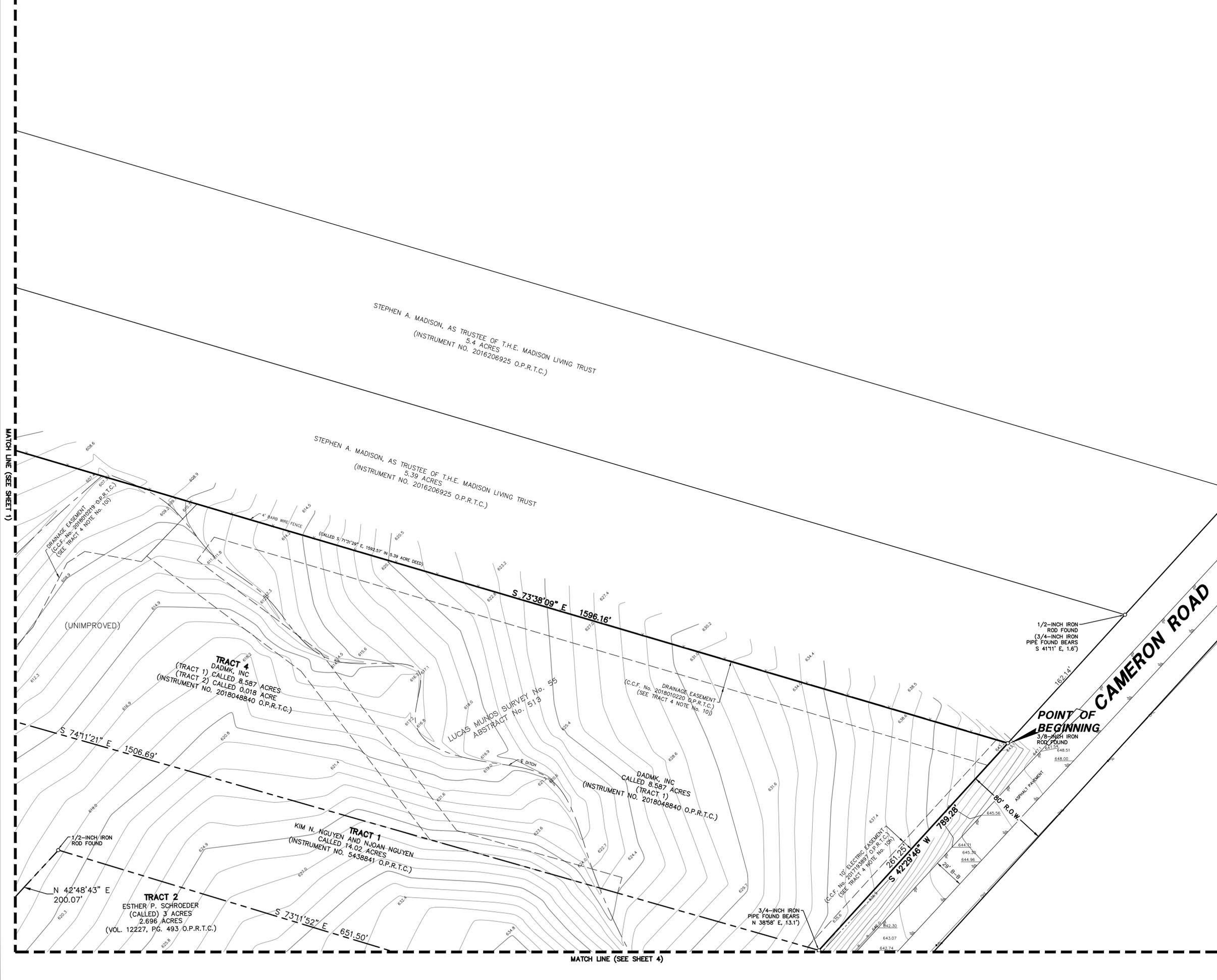
CAMERON ROAD AND BLUE GOOSE ROAD BOUNDARY AND TOPOGRAPHIC SURVEY



VICINITY MAP
(NOT TO SCALE)

LEGEND

UG	UG CABLE MARKER	---	PROPERTY LINE
FH	FIRE HYDRANT	- - -	EASEMENT LINE
MH	MANHOLE (TYPE UNKNOWN)	---	SETBACK LINE
PP	POWER POLE	- - -	FENCE
MP	METAL UTILITY POLE	- - -	OVERHEAD UTILITY LINE
SS	SAN. SEWER MANHOLE	- - -	STORM DRAIN LINE
WV	WATER VALVE	- - -	WATER LINE
P.R.T.C.	PLAT RECORDS	- - -	SANITARY SEWER LINE
TRAVIS COUNTY	TRAVIS COUNTY	- - -	EXIST. CONTOUR
O.P.R.T.C.	OFFICIAL PUBLIC RECORDS	- - -	EXIST. SPOT ELEV.
TRAVIS COUNTY	TRAVIS COUNTY	- - -	EXIST. TOP OF CURB ELEV.
(C.M.)	CONTROLLING MONUMENT	- - -	EXIST. GUTTER ELEV.



SHEET 2 OF 5
ALTA/NSPS LAND TITLE SURVEY
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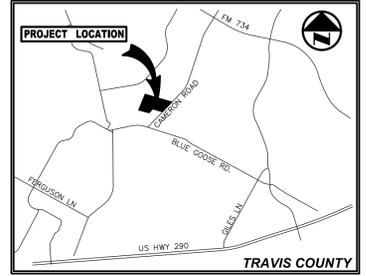
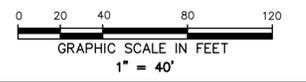
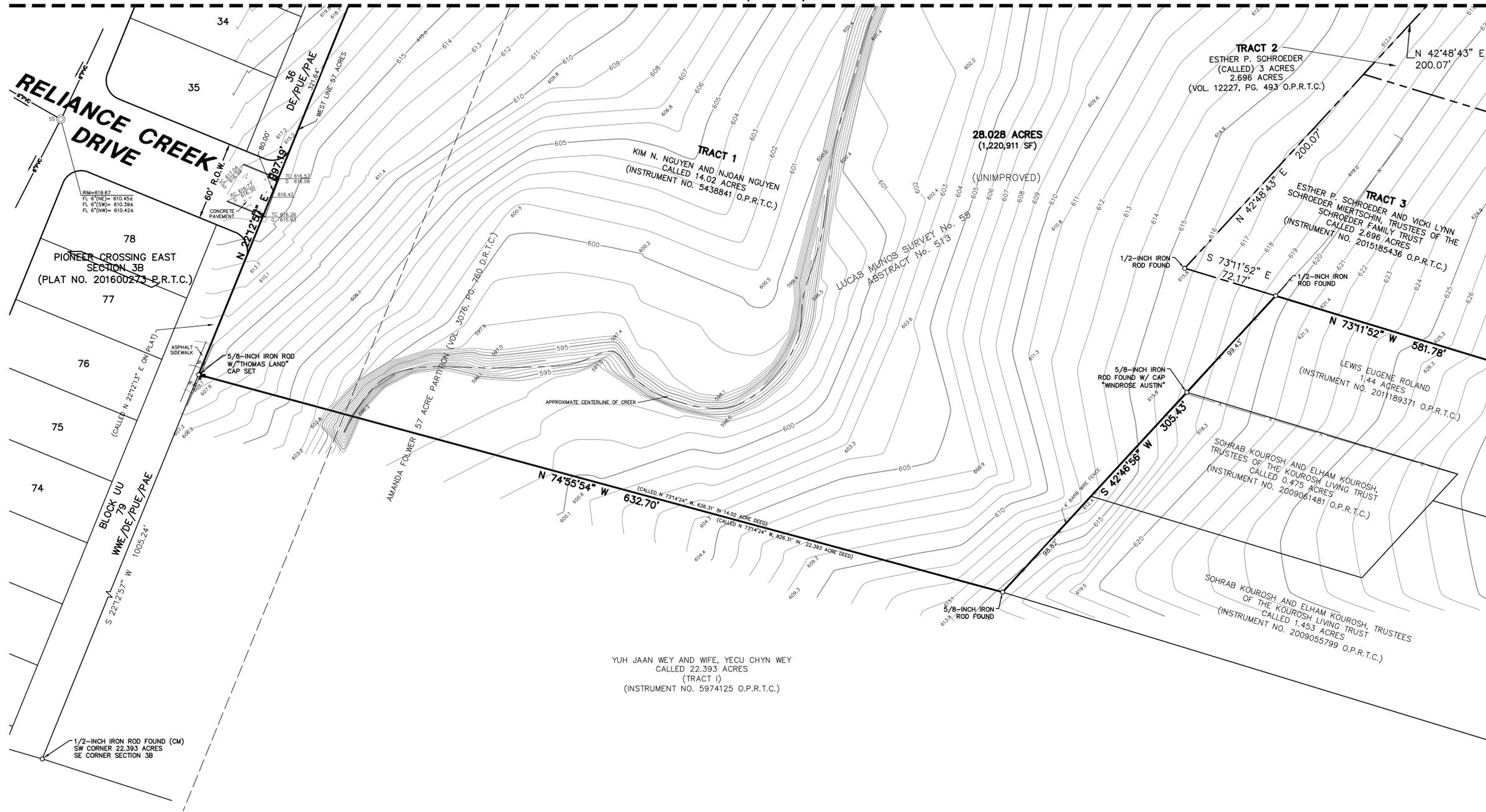
Thomas Land Surveying
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 20329 STATE HWY 249, SUITE 350
 HOUSTON, TX 77070 281.883.0103
 TX REG. SURVEYING FIRM LS-10045800

DRAWN BY DJS/CBW	CHECKED BY JHT/CBW	SCALE 1"=40'	DATE 06/26/2020	JOB NUMBER 4679-20.318
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CAMERON ROAD AND BLUE GOOSE ROAD BOUNDARY AND TOPOGRAPHIC SURVEY

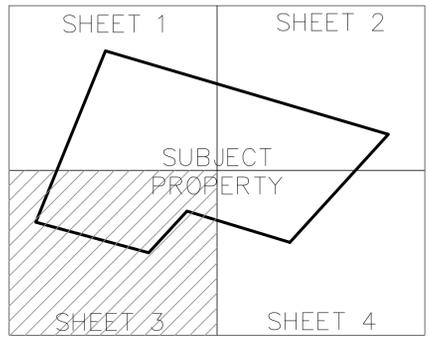
MATCH LINE (SEE SHEET 1)



VICINITY MAP
(NOT TO SCALE)

LEGEND

○ UG CABLE MARKER	— PROPERTY LINE
⊕ FIRE HYDRANT	— EASEMENT LINE
○ MANHOLE (TYPE UNKNOWN)	— SETBACK LINE
— POWER POLE	— FENCE
— METAL UTILITY POLE	— OVERHEAD UTILITY LINE
— SAN SEWER MANHOLE	— GUARD RAIL
— WATER VALVE	— STORM DRAIN LINE
— PLAT RECORDS	— WATER LINE
— TRAVIS COUNTY	— 6" W SANITARY SEWER LINE
— OFFICIAL PUBLIC RECORDS	— 6" S SANITARY SEWER LINE
— TRAVIS COUNTY	— 6" S SANITARY SEWER LINE
— CONTROLLING MONUMENT	— 6" S SANITARY SEWER LINE
	— EXIST SPOT ELEV.
	— EXIST TOP OF CURB ELEV.
	— EXIST GUTTER ELEV.



SHEET 3 OF 5
BOUNDARY AND
TOPOGRAPHIC SURVEY
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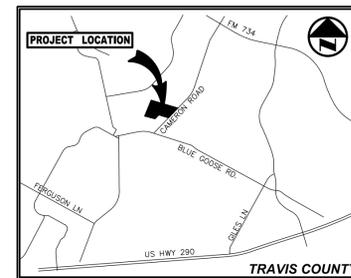
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CAMERON ROAD AND BLUE GOOSE ROAD BOUNDARY AND TOPOGRAPHIC SURVEY

MATCH LINE (SEE SHEET 2)



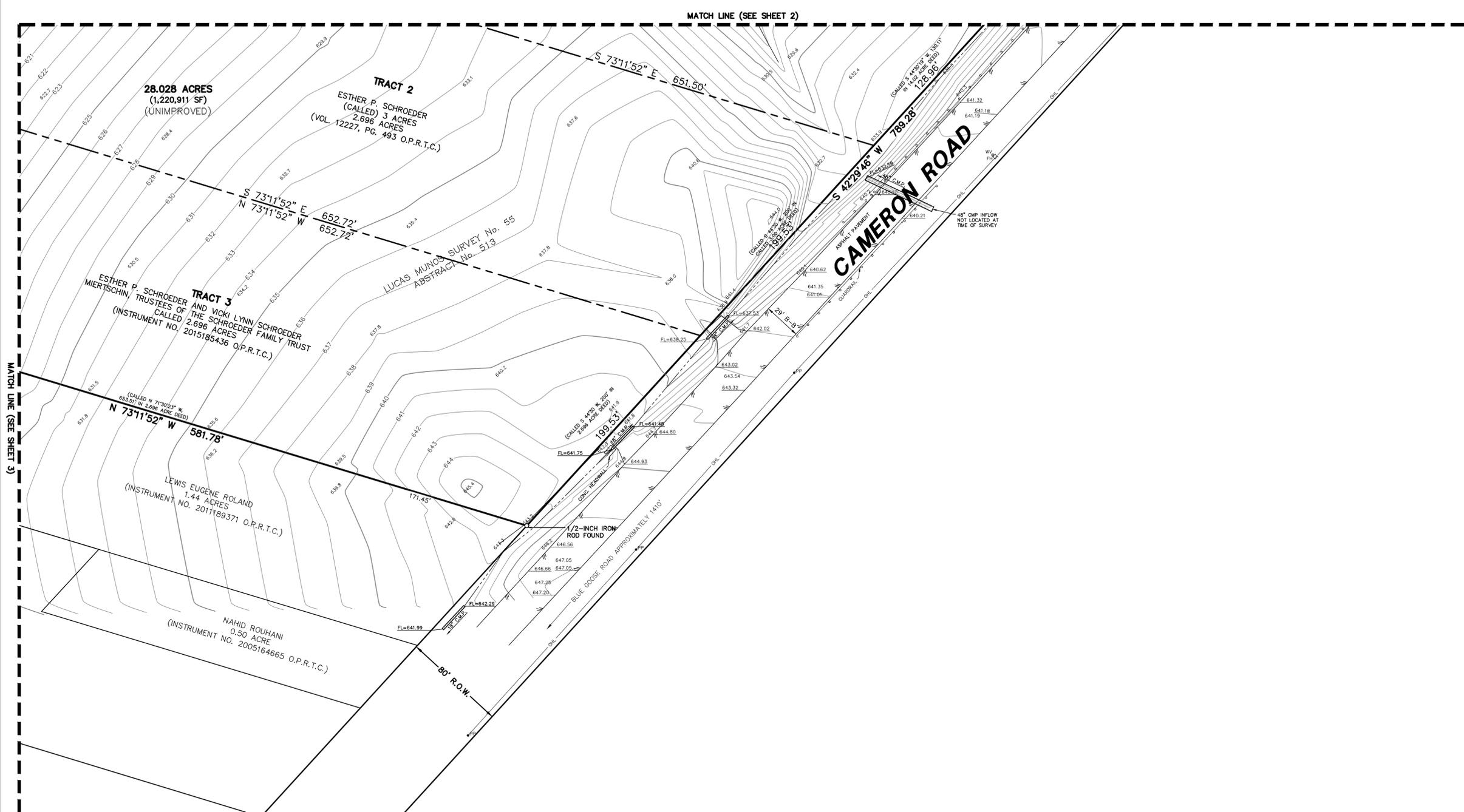
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GRAPHIC SCALE IN FEET
1" = 40'



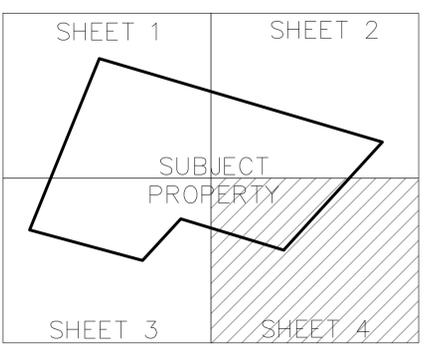
VICINITY MAP
(NOT TO SCALE)

LEGEND

- CBL - UG CABLE MARKER
- FH - FIRE HYDRANT
- MH - MANHOLE (TYPE UNKNOWN)
- PP - POWER POLE
- PMU - METAL UTILITY POLE
- SS - SAN. SEWER MANHOLE
- WV - WATER VALVE
- P.R.T.C. - PLAT RECORDS, TRAVIS COUNTY
- O.P.R.T.C. - OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY
- (C.M.) - CONTROLLING MONUMENT
- PROPERTY LINE
- - - EASEMENT LINE
- - - SE/BACK LINE
- - - FENCE
- - - GUARD RAIL
- - - OVERHEAD UTILITY LINE
- - - STORM DRAIN LINE
- - - WATER LINE
- 6"-W- SANITARY SEWER LINE
- E-1.5- EXIST CONTOUR
- E-1.2.29- EXIST SPOT ELEV.
- E-1.2.29- EXIST TOP OF CURB ELEV.
- E-6.11.92- EXIST GUTTER ELEV.



MATCH LINE (SEE SHEET 3)



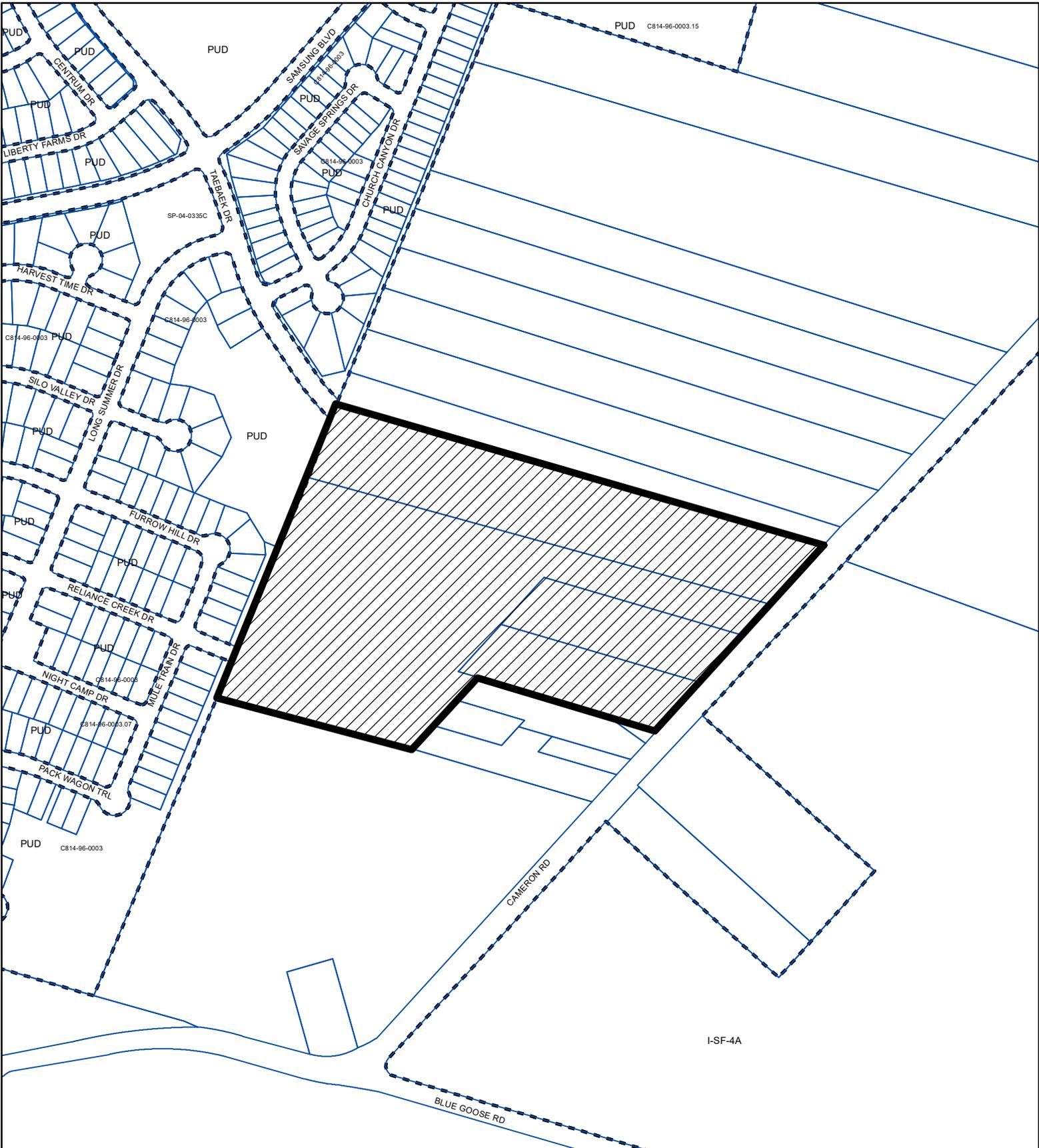
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CAMERON ROAD AND BLUE GOOSE ROAD BOUNDARY AND TOPOGRAPHIC SURVEY



ZONING

ZONING CASE#: C14-2021-0016

Exhibit B



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

1" = 400'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Housing and Planning Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or



Created: 2/12/2021