



Residential New Construction and Addition Permit Application

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Download application before entering information.

Property Information			
Project Address: 1805 E 3rd St 78702		Tax Parcel ID: 191991	
Legal Description: Lot 3 Blk 2 Cypher Subdivision			
Zoning District: SF-3-H-NP (for front portion of property only)		Lot Area (sq ft): 6,358.00	
Neighborhood Plan Area (if applicable): East Cesar Chavez		Historic District (if applicable): N/A	
Required Reviews			
Is project participating in S.M.A.R.T. Housing ? Y ☐ N ☒ (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)		Does project have a Green Building requirement? Y ☐ N ☒ (If yes, attach signed conditional approval letter from Austin Energy Green Building)	
Is this site within an Airport Overlay Zone ? Y ☐ N ☒ (If yes, approval through Aviation is required)		Does this site have a septic system ? Y ☐ N ☒ (If yes, submit a copy of approved septic permit. OSSF review required)	
Does the structure exceed 3,600 square feet total under roof? Y ☐ N ☒ (If yes, Fire review is required)		Is this property within 200 feet of a hazardous pipeline ? Y ☐ N ☒ (If yes, Fire review is required)	
Is this site located within an Erosion Hazard Zone ? Y ☐ N ☒ (If yes, EHZ review is required)		Is this property within 100 feet of the 100-year floodplain ? Y ☐ N ☒ (Proximity to floodplain may require additional review time.)	
Are there trees 19" or greater in diameter on/adjacent to the property? Y ☐ N ☒ If yes, how many? _____ (Provide plans with a tree survey, tree review required.)			
Was there a pre-development consultation for the Tree Review? Y ☐ N ☒		Proposed impacts to trees: (Check all that apply) Root zone ☐ Canopy ☐ Removal ☐ None/Uncertain ☐	
Is this site in the Capital View Corridor ? Y ☐ N ☒ (If yes, a preliminary review through land use is needed to determine if full view corridor review is required.)		Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area ? (LDC 25-2 Subchapter F) ☐ Y ☒ N	
Does this site currently have: water availability? ☐ Y ☒ N wastewater availability? ☐ Y ☒ N		(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)	
Does this site have or will it have an auxiliary water source? Y ☐ N ☒ (If yes, submit approved auxiliary and potable plumbing plans.) (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)			
Does this site require a cut or fill in excess of four (4) feet? Y ☐ N ☒ (If yes, contact the Development Assistance Center for a Site Plan Exemption)			
Is this site within the Waterfront Overlay? Y ☐ N ☒ (LDC 25-2 Subchapter C Article 3)		Is this site within the Lake Austin Overlay? Y ☐ N ☒ (LDC 25-2-180, 25-2-647)	
Does this site front a paved street? ☐ Y ☒ N (If no, contact Development Assistance Center for Site Plan requirements.)		Is this site adjacent to a paved alley? ☐ Y ☒ N (Public Works approval required to take access from a public alley.)	
Does this site have a Board of Adjustment (BOA) variance? Y ☐ N ☒ Case # _____ (if applicable) (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)			
Description of Work			
Is Total New/Added Building Area > 5,000 sq. Ft.? Y ☐ N ☒ (If yes, construction material recycling is required per LDC 25-11-39)			
Existing Use: vacant ☐ single-family residential ☒ duplex residential ☐ two-family residential ☐ other: _____			
Proposed Use: vacant ☐ single-family residential ☒ duplex residential ☐ two-family residential ☐ other: _____			
Project Type: new construction ☐ addition ☒ addition/remodel ☐ other: _____			
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? ☐ Y ☒ N (Notes: Removal of all or part of a structure requires a Demolition Permit Application per LDC 25-11-37. A demo permit is not required for the removal of all or part of an interior wall, floor or ceiling)			
# existing bedrooms: 1	# bedrooms upon completion: 2	# baths existing: 1.0	# baths upon completion: 2.5
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) Remodel + addition to existing primary residence.			
Trade Permits Required (Check as applicable): ☐ electric ☐ plumbing ☐ mechanical (HVAC) ☐ concrete (R.O.W.)			

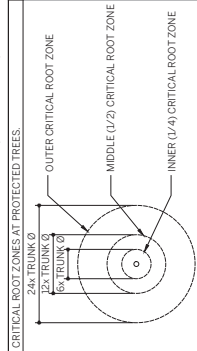
Total Remodeled Floor Area (if applicable)						
_____ sq ft. (work within existing habitable square footage)						
Job Valuation – For Properties in a Floodplain Only						
Total Job Valuation: \$ _____ 0			Amount for Primary Structure: \$ _____ Elec: ☐ Y ☐ N Plmbg: ☐ Y ☐ N Mech: ☐ Y ☐ N			
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.			Amount for Accessory Structure: \$ _____ Elec: ☐ Y ☐ N Plmbg: ☐ Y ☐ N Mech: ☐ Y ☐ N			
Site Development Information						
Area Description Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Existing sq. ft. to Remain		New/Added sq. ft.		Total sq. ft.	
	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2
a) 1 st Floor conditioned area	688.00				688.00	0.00
b) 2 nd Floor conditioned area			265.00		265.00	0.00
c) 3 rd Floor conditioned area					0.00	0.00
d) Basement					0.00	0.00
e) Covered parking (garage or carport)			228.00		228.00	0.00
f) Covered patio, deck, porch, and/or balcony area(s)	120.00				120.00	0.00
g) Other covered or roofed area					0.00	0.00
h) Uncovered wood decks		0.00	0.00	0.00	0.00	0.00
Total Building Area (total a through h)	808.00	0.00	493.00	0.00	1,301.00	0.00
i) Pool					0.00	0.00
j) Spa					0.00	0.00
k) Remodeled Floor Area, excluding Addition / New Construction					0.00	0.00
The Calculation Aid on page 7 is to be used to complete the following calculations and to provide additional information.						
Building Coverage Information						
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)						
Total Building Coverage (sq ft): <u>1,052.00</u> % of lot size: <u>16.55</u>						
Impervious Cover Information						
Note: Impervious cover is the total horizontal area of covered spaces including building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)						
Total Impervious Cover (sq ft): <u>1,702.00</u> % of lot size: <u>26.77</u>						
Setbacks						
Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) Y ☒ N						
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y ☒ N						
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y ☒ N						
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)			Parking (LDC 25-6 Appendix A & 25-6-478)			
Building Height: <u>22</u> ft <u>10</u> in Number of Floors: <u>2</u>			# of spaces required: <u>2</u> # of spaces provided: <u>2</u>			
Right-of-Way Information						
Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y ☒ N *Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.						
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? ☒ Y N						
Width of approach (measured at property line): <u>20.0</u> ft Distance from intersection (for corner lots only): _____ ft						
Are storm sewer inlets located within ten (10) feet of the end of any proposed driveway? Y ☒ N (New driveways within ten(10) feet of an inlet will require additional review)						

TREE PROTECTION NOTES

1. Trees depicted on this sheet have been located, sized, and given species identifications by the Architect. Owner. Regardless of species—and regardless of whether or not a tree is depicted on this sheet or not—all trees 19" in trunk diameter and greater at a grade are protected by municipal ordinance. No protected tree shall be removed, damaged, or impacted in the 1/4 CRZ of any protected tree.
 2. Tree protection measures per the details on sheet G006 are required for all protected trees (on subject property) whose CRZs fall within the subject property, even if said CRZs will not be directly impacted by construction.
 3. Extents of tree protection fencing are shown on this sheet. Fencing shall be installed prior to the commencement of construction.
 4. 2x4 or greater size stakes @ 6' minimum length shall be strapped securely around protected trees' trunks and shall be installed to incorporate entire 1/2 CRZ.
 5. All pruning shall be concluded under the strict oversight of a licensed professional arborist. PRUNING FOR SUBJECT PROPERTIES SHALL EXCEED 25% OF TREE CANOPY.
 6. Trenching for all utilities in CRZs (indicated by notes 13, 14, and 15) shall be minimized to the least extent feasible and shall occur by means of air-spading by a licensed professional arborist.
 7. Care shall be taken during construction that activities (e.g., falling trees, shoring, etc.) do not disturb existing tree canopies.
 8. The placement and storage of equipment on CRZs is strictly prohibited without exception.
- Applicable to all projects where CRZs of ANY protected trees (on subject property) and/or on adjacent properties fall within the subject property, REGARDLESS OF PROJECT SCALE, SCOPE, OR TYPE**

REFER TO SHEET G001 FOR PROJECT INFORMATION AND AREA CALCULATIONS. REFER TO SHEET G004 FOR DETAILS OF 2-HR-RATED DEMISING WALLS (UL U373).

REVISED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)	
01	Revised to:
02	08 New sanitary sewer line, indicated thus: ———
03	09 New concrete driveway (or ribbon), indicated thus: ———
04	10 New Type I approach per City, indicated thus: ———
05	11 New concrete sidewalk on private property, indicated thus: ———
06	12 Existing conc. sidewalk in right-of-way, indicated thus: ———
07	13 New water supply line, indicated thus: ———
08	14 New uncovered concrete patio, indicated thus: ———



TREE PROTECTION LEGEND	
12' x 12' Tree Protection Area	12' TRUNK Ø - SPECIES
12' x 12' Tree Protection Area	12' TRUNK Ø - SPECIES

DISCLAIMERS	
DISCLAIMERS	DISCLAIMERS

SEAL OF ARCHITECT	
SEAL OF ARCHITECT	SEAL OF ARCHITECT

SEAL OF MUNICIPAL APPROVAL	
SEAL OF MUNICIPAL APPROVAL	SEAL OF MUNICIPAL APPROVAL

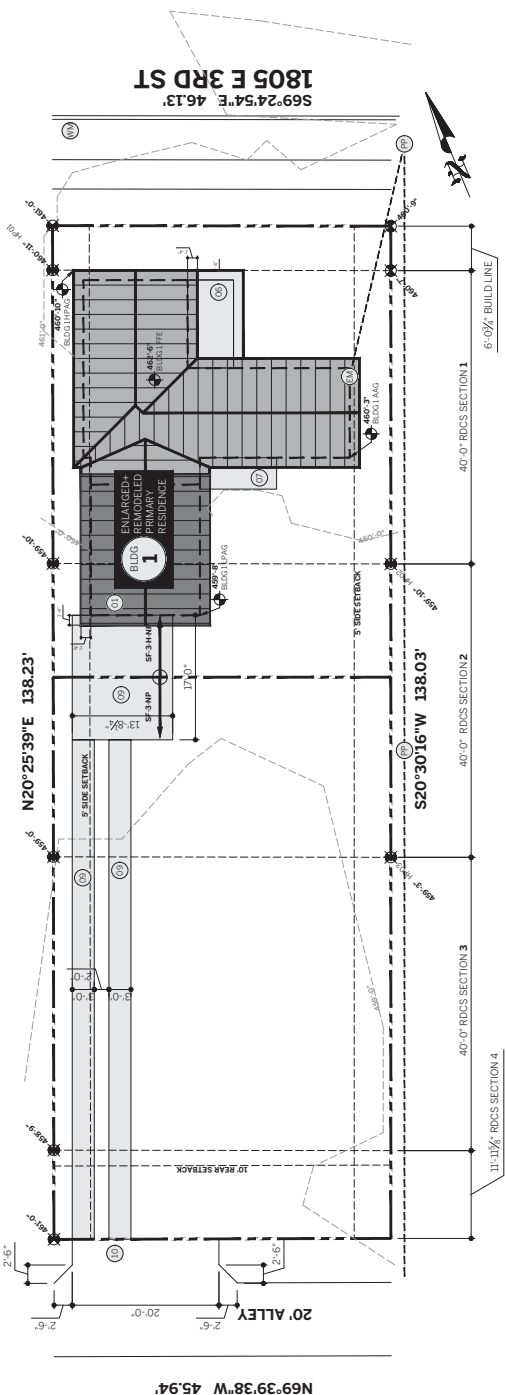
WILLIAM L. LAWRENCE ARCHITECT	
WILLIAM L. LAWRENCE ARCHITECT	WILLIAM L. LAWRENCE ARCHITECT

REFER TO SHEET G006 FOR TREE-PROTECTION AND ENVIRONMENTAL DETAILS. STRUCTURES SHALL BE PLACED ON SITE BY LICENSED PROFESSIONAL SURVEYOR.

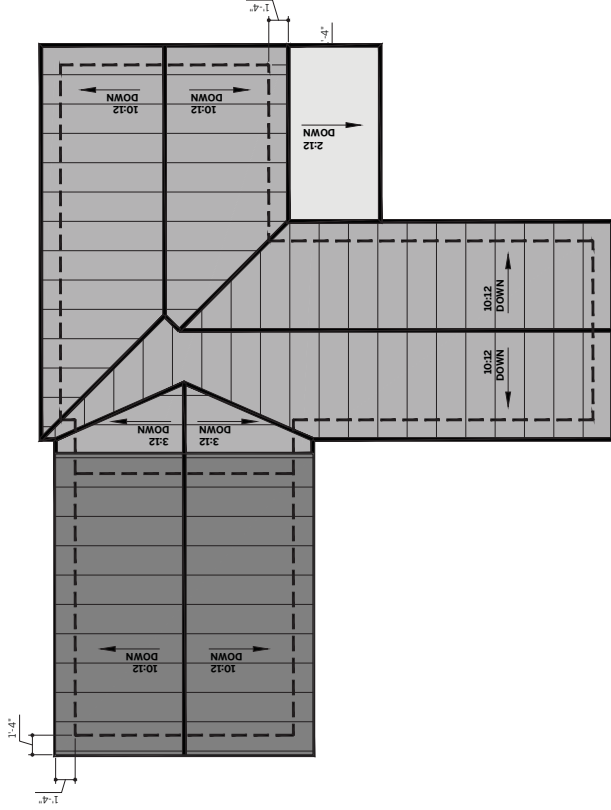
1 Site Plan

Scale 1/8" = 1'-0" @ 11x17
Scale 1/8" = 1'-0" @ 24x36

APPROVED
By diag at 1:08 pm, Mar 09, 2021



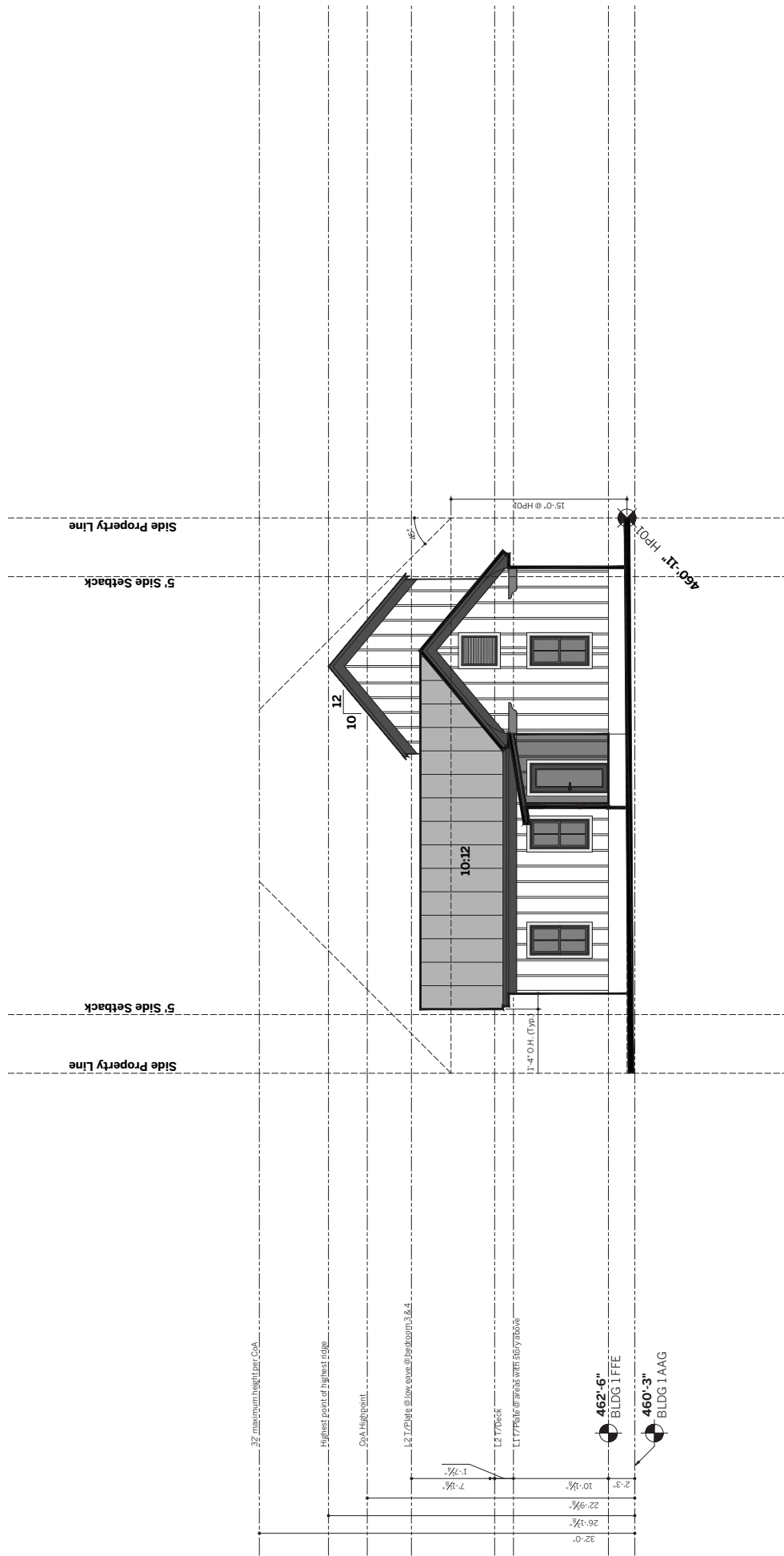
ALL DIMENSIONS MUST PRELIMINARY 1/4" SCALE. THESE ARE NOT TO BE USED FOR CONSTRUCTION. THIS MEANS DIMENSIONS MUST INCLUDE 1/4" SCALE. THESE ARE NOT TO BE USED FOR CONSTRUCTION.



1 Roof Plan, Bldg 1

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

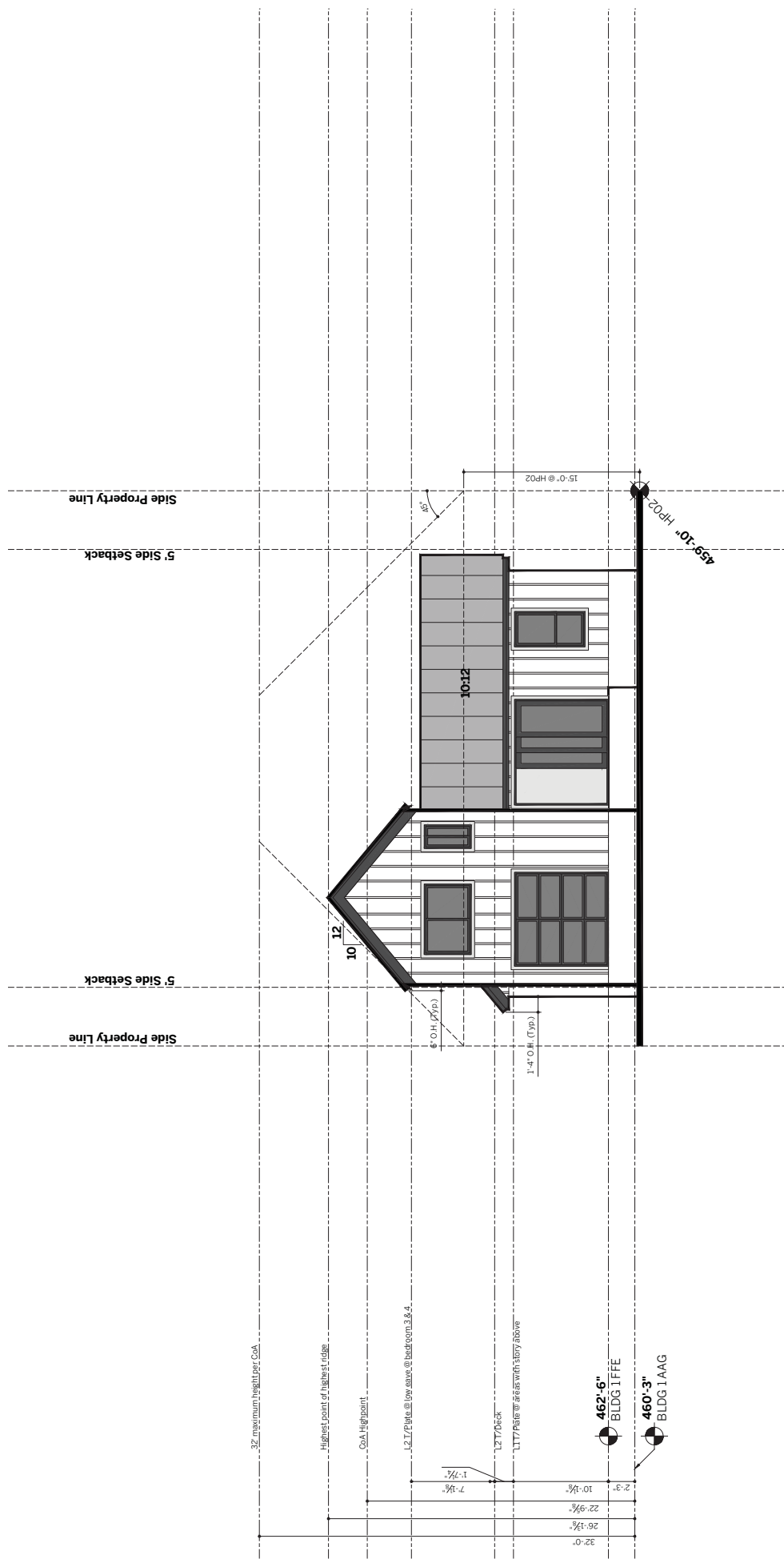
REVIEW NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)	REFER TO SHEET	NOTES ON FRAMING	FRAMING AND ROOFING LEGEND	DISCLAIMERS	SEAL OF ARCHITECT	SEAL OF MUNICIPAL APPROVAL
01 New exterior wall between duplex units. Construction to comply with UL 1273. 02 Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Max height 3'-5". 03 Railing or partial-height wall at interior. Minimum height 36" above finish floor or nosing of stair. Maximum openness 25%.	REFER TO SHEET A300 FOR SECTIONS INDICATED THUS: REFER TO SHEETS A401 THROUGH A403 FOR SECTIONS INDICATED THUS:	1. Overall building dimensions are given from EXTERIOR FACE OF CLADDING, not exterior face of framing. 2. Bathroom(s) on the first floor shall receive an entry door with minimum 30' clear opening. 3. Blocking shall be installed such that the centerline of blocking is 34" above finish floor level.	Standing-seam metal roof/wall Composition-shingle roofing 2x4 wood framing 2x6 wood framing 2-hour rated firewall (per G004) UL ASSEMBLY I373	DISCLAIMERS William Lawrence Dodge, Texas Architect, is not responsible for the design, construction, or performance of the project. The Architect's responsibility is limited to the design and construction of the project as shown on the drawings. The Architect does not warrant the accuracy or completeness of the information contained herein. The Architect's services are limited to the design and construction of the project as shown on the drawings. The Architect does not warrant the accuracy or completeness of the information contained herein. The Architect's services are limited to the design and construction of the project as shown on the drawings.	24 February 2021	24 February 2021



① Elevation, Bldg 1, Front

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

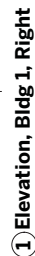
REMARKS:	CODE REFERENCES (City of Austin Rods section)	CORRECT / INCORRECT LEAVE SLOTT DETAILS @ SLOPED ROOF'S	MATERIALS LEGEND:	DISCLAIMERS:	SEAL OF ARCHITECT:	SEAL OF MUNICIPAL APPROVAL:
01 New metal coping. Exposure 6"	DLC TITLE 25: E. 4. X. (i) Structure may not extend beyond a setback plane, except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.		Standing-seam metal roof/wall Cement board or Realfirm fascia Cement-board trim or Real Trim	All work shall be performed under the seal of WILLIAM LAWRENCE HOODE, Texas architect No. 9752, State of Texas, and shall conform to regulatory approval, printing or construction requirements of the City of Austin, Texas, and its various departments. This document is not approved for other states. The document is not approved for other projects. No set of construction documents can contain all information required to construct a project. It is the responsibility of the contractor to obtain all information needed to complete a project. That which is shown is not one sheet, but a series of sheets. All drawings are preliminary unless otherwise indicated. Information in 2001 through 2008 (inclusive) was obtained from public records, and may contain information and/or subcontractor that may conflict with the owner's record and all levels listed herein. The owner and all levels listed herein warrant that they are complete and valid for CONSTRUCTION.		
02 New metal flashing. Exposure 6"			Composition-shingle roofing Cement-board trim or Real Trim			
03 6" minimum finish floor height at exterior porch or deck. Minimum height 36" above finish floor.	ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. ROOF MAY NOT RUDE, INCLUDING SPACE USED FOR CIRCULATION.		6" horizontal 6" horizontal 12" horizontal 24" vertical Stone veneer cement board cement board (shilar bond) cement board stained wood			
04 New parapet wall or porch or deck. Minimum 36" above finish floor. Wall w/cupper. Minimum 24" above finish floor. Steel column (if structural).	DLC TITLE 25: CHAPTER 25-2. SUCH CHAPTER F. ARTICLE 3.4.1 lowest grade's adjacent to the building to, for a pitched or hip roof, the galled roof or dormer with the highest average height.					
05 New metal downspout.						
07						



1 Elevation, Bldg 1, Rear

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

[illegible]



Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES:	CODE REFERENCES (City of Austin PDOS and/or any):	CORRECT / INCORRECT LEAVE SOFFIT DETAILS @ SLOPED ROOFS:	MATERIALS LEGEND:	DISCLAIMERS:	SEAL OF ARCHITECT:	SEAL OF MUNICIPAL APPROVAL:
01 New metal coping. Exposure 6".	LDG TITLE 25.2, E. 4.1. (01)			ALL INFORMATION CONTAINED UNDER THE SEAL OF WILLIAM LAWRENCE HODGE, Firms architect, engineer, interior designer, landscape architect, geographer, planning or construction consultant, is the property of WILLIAM LAWRENCE HODGE ARCHITECTS, P.C. This document is not approved for construction unless issued by municipal approval. The City of Austin is not responsible for any errors or omissions. The City of Austin is not responsible for any information required to construct a project. The City of Austin is not responsible for any information required to construct a project. The City of Austin is not responsible for any information required to construct a project.		
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07 New metal coping. Exposure 6" minimum.	LDG TITLE 25.2, E. 4.1. (07)			ALL INFORMATION CONTAINED UNDER THE SEAL OF WILLIAM LAWRENCE HODGE, Firms architect, engineer, interior designer, landscape architect, geographer, planning or construction consultant, is the property of WILLIAM LAWRENCE HODGE ARCHITECTS, P.C. This document is not approved for construction unless issued by municipal approval. The City of Austin is not responsible for any errors or omissions. The City of Austin is not responsible for any information required to construct a project. The City of Austin is not responsible for any information required to construct a project. The City of Austin is not responsible for any information required to construct a project.		