



Residential New Construction and Addition Permit Application

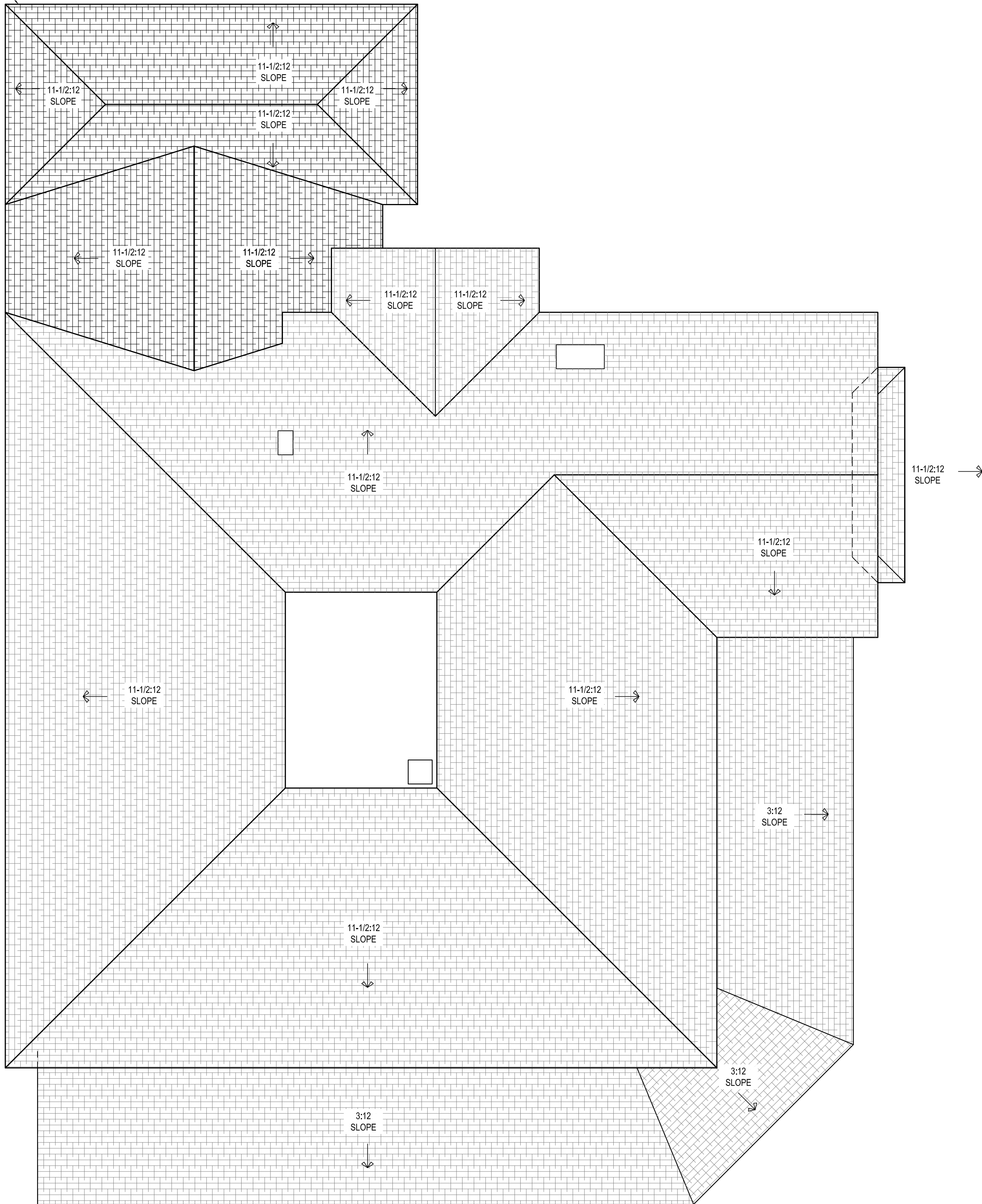
DevelopmentATX.com | Phone: 311 (or 512-974-2000 outside Austin)
For submittal and fee information, see austintexas.gov/digitaldevelopment

Download application before entering information.

Property Information				
Project Address:		Tax Parcel ID:		
Legal Description:				
Zoning District:		Lot Area (sq ft):		
Neighborhood Plan Area (if applicable):		Historic District (if applicable):		
Required Reviews				
Is project participating in S.M.A.R.T. Housing ? Y N (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)		Does project have a Green Building requirement? Y N (If yes, attach signed conditional approval letter from Austin Energy Green Building)		
Is this site within an Airport Overlay Zone ? Y N (If yes, approval through Aviation is required)		Does this site have a septic system ? Y N (If yes, submit a copy of approved septic permit. OSSF review required)		
Does the structure exceed 3,600 square feet total under roof? Y N (If yes, Fire review is required)		Is this property within 200 feet of a hazardous pipeline ? Y N (If yes, Fire review is required)		
Is this site located within an Erosion Hazard Zone ? Y N (If yes, EHZ review is required)		Is this property within 100 feet of the 100-year floodplain ? Y N (Proximity to floodplain may require additional review time.)		
Are there trees 19" or greater in diameter on/adjacent to the property? Y N If yes , how many? _____ (Provide plans with a tree survey, tree review required.)		Was there a pre-development consultation for the Tree Review? Y N Proposed impacts to trees: (Check all that apply) Root zone Canopy Removal None/Uncertain		
Is this site in the Capital View Corridor ? Y N (If yes, a preliminary review through land use is needed to determine if full view corridor review is required.)		Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area ? (LDC 25-2 Subchapter F) Y N		
Does this site currently have: water availability? Y N wastewater availability? Y N		(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)		
Does this site have or will it have an auxiliary water source? Y N (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)		(If yes, submit approved auxiliary and potable plumbing plans.)		
Does this site require a cut or fill in excess of four (4) feet? Y N		(If yes, contact the Development Assistance Center for a Site Plan Exemption)		
Is this site within the Waterfront Overlay? Y N (LDC 25-2 Subchapter C Article 3)		Is this site within the Lake Austin Overlay? Y N (LDC 25-2-180, 25-2-647)		
Does this site front a paved street? Y N (If no, contact Development Assistance Center for Site Plan requirements.)		Is this site adjacent to a paved alley? Y N (Public Works approval required to take access from a public alley.)		
Does this site have a Board of Adjustment (BOA) variance? Y N (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)		Case # _____ (if applicable)		
Description of Work				
Is Total New/Added Building Area > 5,000 sq. Ft.? Y N		(If yes, construction material recycling is required per LDC 25-11-39)		
Existing Use:	vacant	single-family residential	duplex residential	two-family residential other: _____
Proposed Use:	vacant	single-family residential	duplex residential	two-family residential other: _____
Project Type:	new construction	addition	addition/remodel	other: _____
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y N (Notes: Removal of all or part of a structure requires a Demolition Permit Application per LDC 25-11-37. A demo permit is not required for the removal of all or part of an interior wall, floor or ceiling)				
# existing bedrooms:	# bedrooms upon completion:		# baths existing:	# baths upon completion:
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) _____ _____				
Trade Permits Required (Check as applicable): electric plumbing mechanical (HVAC) concrete (R.O.W.)				

Total Remodeled Floor Area (if applicable)						
_____ sq ft. (work within existing habitable square footage)						
Job Valuation – For Properties in a Floodplain Only						
Total Job Valuation: \$ <u>150,000.00</u>			Amount for Primary Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N			
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.			Amount for Accessory Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N			
Site Development Information						
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing sq. ft. to Remain		New/Added sq. ft.		Total sq. ft.	
	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2
a) 1 st Floor conditioned area					2031	
b) 2 nd Floor conditioned area					_____	0 _____
c) 3 rd Floor conditioned area						
d) Basement						
e) Covered parking (garage or carport)						
f) Covered patio, deck, porch, and/or balcony area(s)					489 _____	_____
g) Other covered or roofed area						
h) Uncovered wood decks						
Total Building Area (total a through h)					2189 _____	0 _____
i) Pool						
j) Spa						
k) Remodeled Floor Area, excluding Addition / New Construction						
The Calculation Aid on page 7 is to be used to complete the following calculations and to provide additional information.						
Building Coverage Information						
<small>Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)</small>						
Total Building Coverage (sq ft): _____ % of lot size: _____						
Impervious Cover Information						
<small>Note: Impervious cover is the total horizontal area of covered spaces including building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)</small>						
Total Impervious Cover (sq ft): _____ % of lot size: _____						
Setbacks						
Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) Y N						
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y N						
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y N						
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)			Parking (LDC 25-6 Appendix A & 25-6-478)			
Building Height: _____ ft _____ in Number of Floors: _____			# of spaces required: _____ # of spaces provided: _____			
Right-of-Way Information						
Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y N						
<small>*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</small>						
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y N						
Width of approach (measured at property line): _____ ft Distance from intersection (for corner lots only): _____ ft						
Are storm sewer inlets located within ten (10) feet of the end of any proposed driveway? Y N						
<small>(New driveways within ten(10) feet of an inlet will require additional review)</small>						

NEW ADDITION



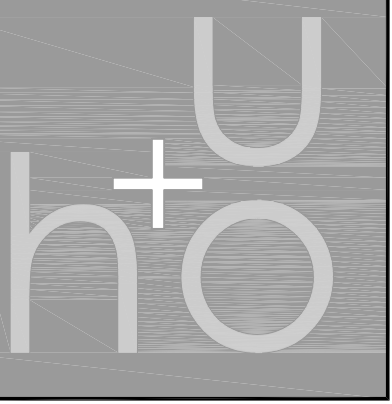
01 ROOF PLAN

SCALE: 1/4" = 1'-0"

Note:
Drawing scale is 1/8" = 1'-0" when printed at 11x17



- GENERAL NOTES:
1. DIMENSIONS ARE TO THE FACE OF STUD AND THE FACE OF MASONRY, TYP.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION



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Structural Engineer:

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512.289.8086

Mechanical, Electrical,
and Plumbing Engineer:

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NOTE: By act of submitting a bid for the proposed contract, the bidder warrants that the bidder, and all subcontractors and material suppliers he intends to use have carefully and thoroughly reviewed the drawings and specifications and other construction documents and have found them complete and free from any ambiguities and sufficient for the purpose intended. The bidder further warrants that to the best of their or their subcontractors and material supplier's knowledge all materials and products specified or indicated herein are acceptable for all applicable codes and authorities.



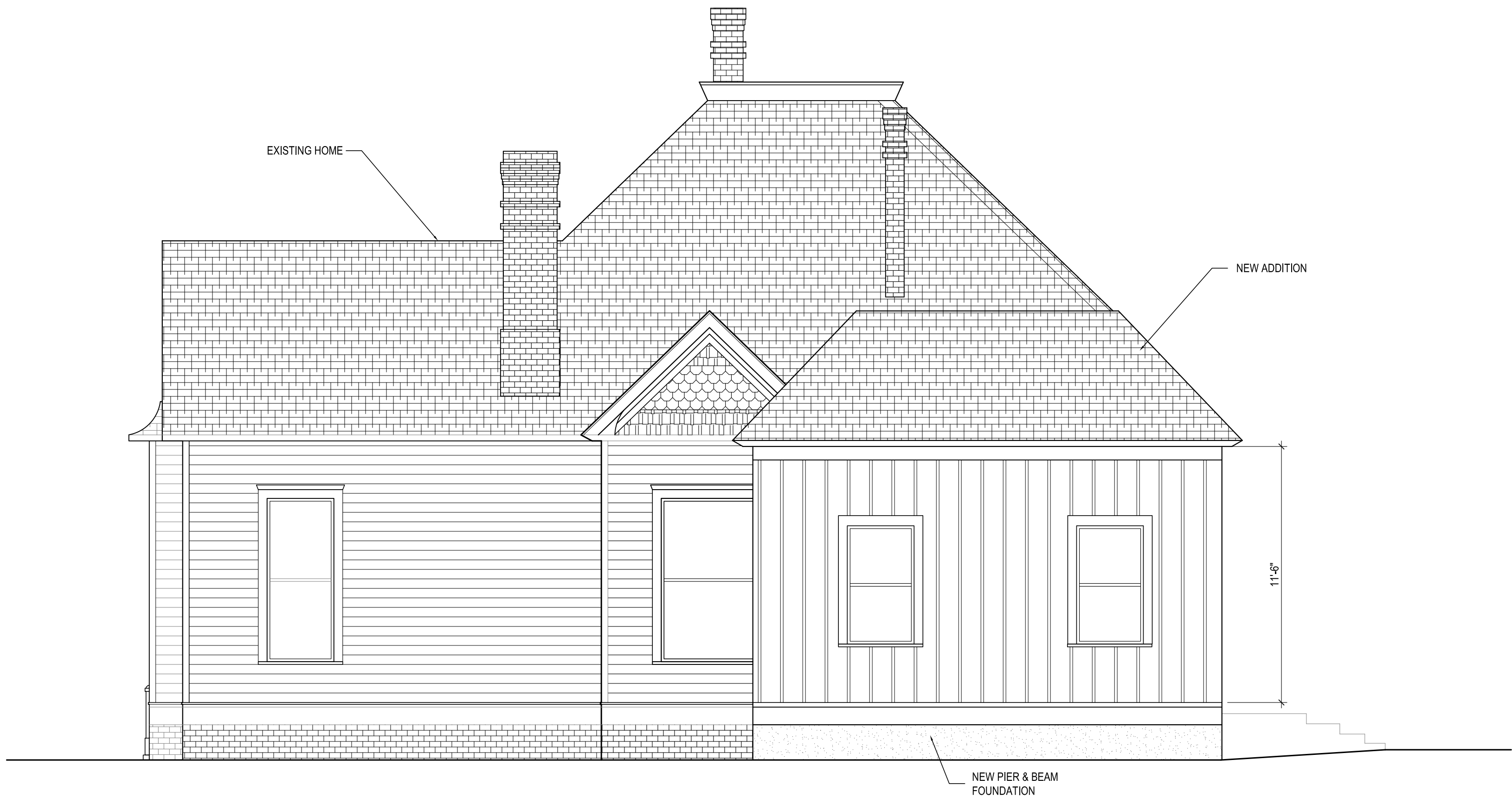
△ ISSUE DATES:

09/17/19	ISSUE FOR PERMIT
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FOR CITY OF AUSTIN USE

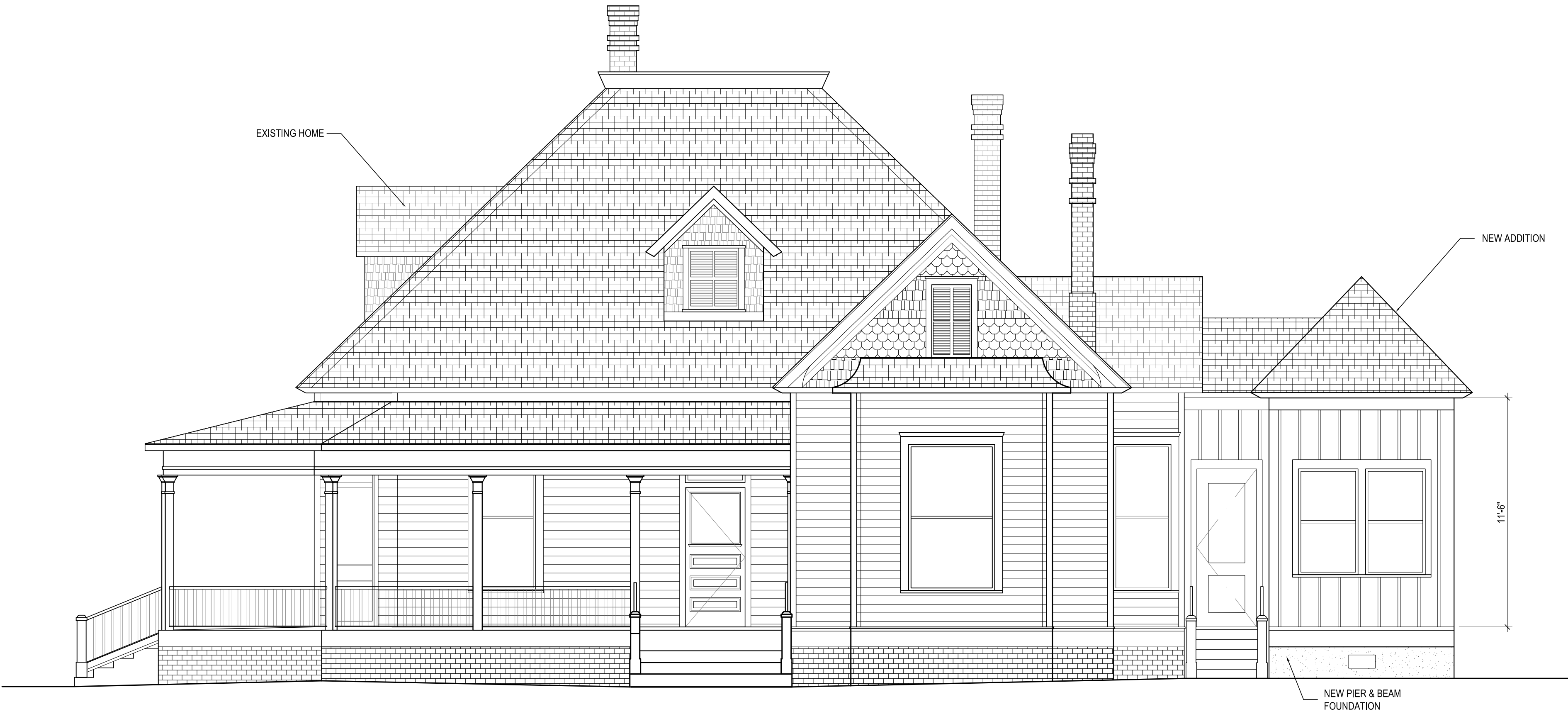
ROOF PLAN

A-111



02 | RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

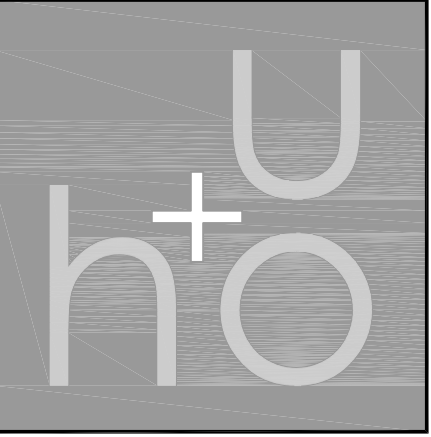
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01 | FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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Civil Engineer:
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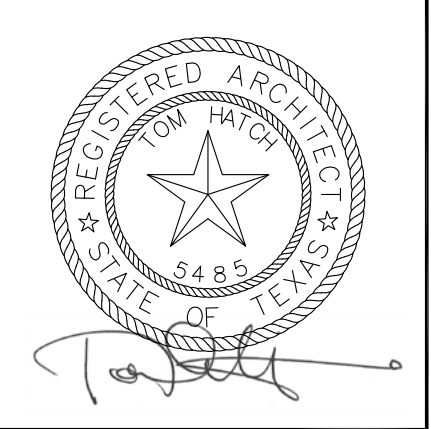
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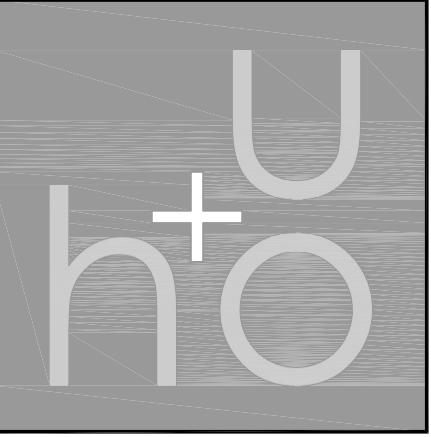
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EXTERIOR
ELEVATIONS

A-201



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ISSUE DATES:	
09/17/19	ISSUE FOR PERMIT
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EXTERIOR
ELEVATIONS

A-202



02 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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01 BACK ELEVATION
SCALE: 1/4" = 1'-0"

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FOR CITY OF AUSTIN USE