



## Historic Review Application

For Office Use Only

Date of Submission: \_\_\_\_\_

Case #: \_\_\_\_\_

Historic Preservation Office approval

Date of Approval: \_\_\_\_\_

Property Address: 902 Willow Street, Austin, TX 78702Historic Landmark ☐Historic District (Local) ☒National Register Historic District ☐

Historic Landmark or

Historic District Name: Willow SpenceApplicant Name: Lorenzo Hernandez Phone #: 512.787.9727 Email: lorenzo@recreateaustin.comApplicant Address: 104 Loon Drive City: Bastrop State: TX Zip: 78602

Please describe all proposed exterior work with location and materials. If you need more space, attach an additional sheet.

PROPOSED WORK	LOCATION OF PROPOSED WORK	PROPOSED MATERIAL(S)
1) <u>Partial Demo/Remodel - project proposes to remove 7'x20.4' portion of addition located at rear right of existing home approximately 142sf and 15'3/4" section of exterior wall located at rear of home</u>	<u>Rear right and rear of existing home</u>	<u>See attached architectural plans for material details</u>
2) <u>New ADU - project proposes complete demo of existing outbuildings and new construction of a 2 story ADU</u>	<u>Rear section of lot</u>	<u>See attached architectural plans for material details</u>
3) _____	_____	_____

### Submittal Requirements

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing *and* proposed conditions for alterations and additions.

Site Plan ☒Elevations ☒Floor Plan ☒Roof Plan ☒

2. Color photographs of building and site:

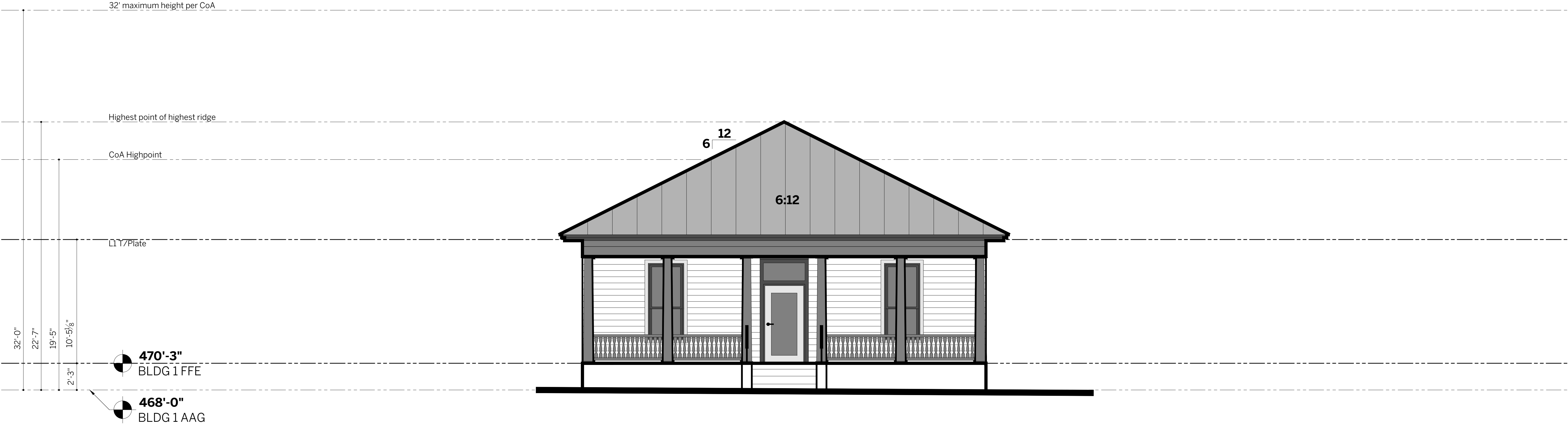
Elevation(s) proposed to be modified ☒Detailed view of each area proposed to be modified ☒

*Any changes to these plans must be reviewed and approved by the Historic Preservation Office and/or Historic Landmark Commission.*







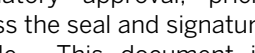
Applicant Signature: Lorenzo Hernandez  
DocuSigned by: 3BF54382CE874E8...

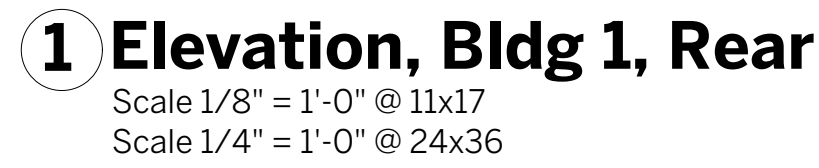
Date: 4/16/2021



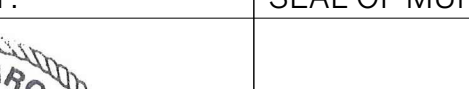





Submit complete application, drawings, and photos to [preservation@austintexas.gov](mailto:preservation@austintexas.gov). Call (512) 974-3393 with questions.



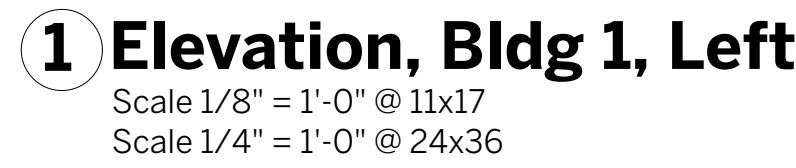
**1 Elevation, Bldg 1, Front**  
Scale 1/8" = 1'-0" @ 11x17  
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES.		CODE REFERENCES (City of Austin RDOS area only).		MATERIALS LEGEND.		DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.	<div><div><div>WILLIAM HODGE AIA ARCHITECT</div><div>4801 S CONGRESS AVE #N3 AUSTIN, TX 78745 512.786.9298 HODGEARCHITECT.COM</div></div><div>REMODELED/ENLARGED PRIMARY UNIT + NEW ADU @ 902 WILLOW ST, AUSTIN, TX 78702</div><div>ISSUE DATE02 Feb. 2021</div><div>SHEET TYPEElevations.</div><div>A201</div></div>	
01	New metal coping. Exposure 6".	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.	ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.			<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G008 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p>		<p>ISSUE DATE                      02 Feb. 2021</p>		
02	New metal flashing. Exposure 6" minimum.			Standing-seam metal roofing	Composition-shingle roofing					
03	New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5".			Cement-board or RealTrim fascia	Cement-board trim or RealTrim					
04	New parapet at exterior porch or deck. Minimum 36" above finish floor.									
05	New through-wall scupper.	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.	6" horizontal cement board	6" horizontal stained wood	24" vertical cement board					Stone veneer (ashlar bond)
06	New metal downspout.									
07	Steel column (ref: structural).									



KEYED NOTES.		CODE REFERENCES (City of Austin RDCS area only).	MATERIALS LEGEND.		DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.
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REMODELED/ENLARGED PRIMARY UNIT + NEW ADU @ 902 WILLOW ST., AUSTIN, TX 78702
ISSUE DATE02 Feb. 2021
SHEET TYPEElevations.
A202





**WILLIAM  
HODGE AIA  
ARCHITECT**

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AUSTIN, TX 78745  
512.786.9298

[HODGEARCHITECT.COM](http://HODGEARCHITECT.COM)

REMODELED/ENLARGED PRIMARY UNIT + NEW  
ADU @ 902 WILLOW ST., AUSTIN, TX 78702

**ISSUE DATE** **02 Feb. 2021**

**SHEET TYPE** **Elevations, Bldg 1.**

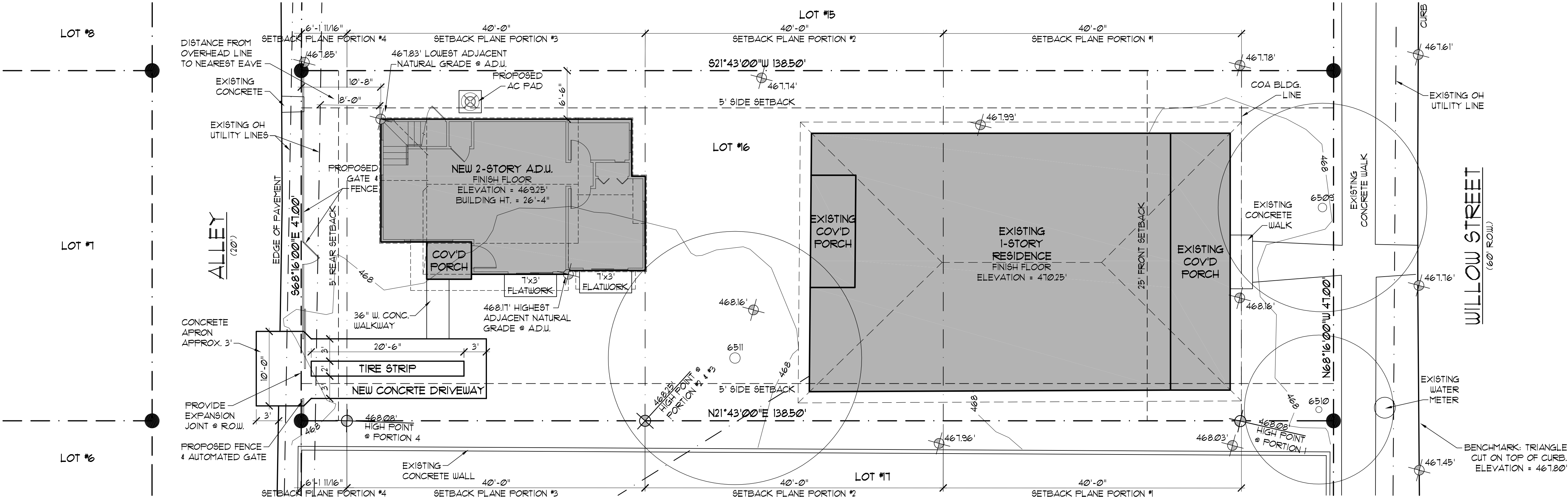
**A203**





GENERAL SITE NOTES

- BUILDER TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AND ROOF RUN-OFF AWAY FROM ALL SIDES OF BUILDING. REWORK SURROUNDING GRADE AS REQUIRED. NEW DRAINAGE PATTERNS SHALL NOT ADVERSELY AFFECT SURROUNDING PROPERTIES.
- FINAL BUILDING LOCATION AND ELEVATION OF FINISH FLOOR TO BE VERIFIED BY BUILDER AND OWNER AND BE IN COMPLIANCE WITH ALL LOCAL ORDINANCES AND REQUIREMENTS.
- AT STAKE-OUT CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MEASUREMENTS, LOCATION OF ALL LOT LINES, EASEMENTS, BUILDING SETBACKS AND SIDE AND REAR YARD REQUIREMENTS (WHETHER INDICATED ON DRAWINGS OR NOT) AND SHALL BE RESPONSIBLE FOR COMPLIANCE.
- SCREEN ALL EXTERIOR HVAC EQUIPMENT IN ACCORDANCE WITH MUNICIPAL CODE, SUBDIVISION, NEIGHBORHOOD ASSOCIATION, OR DEED RESTRICTION REQUIREMENTS.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY LINES, LOCATIONS, AND METERS. SUCH INFORMATION ON DRAWINGS IS FOR GRAPHICAL REPRESENTATION AND LOCATIONS ARE APPROXIMATE.
- CONTRACTOR SHALL INSTALL EROSION/ SEDIMENTATION CONTROLS AND TREE/ NATURAL AREA PROTECTIVE FENCING PRIOR TO ANY SITE PREPARATION WORK INCLUDING CLEARING, GRUBBING, OR EXCAVATION.
- ALL WALKWAYS, DRIVEWAYS, AND PVC LOCATIONS/ LAYOUT TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- ALL CONCRETE DRIVES, WALKS, AND PATIOS TO HAVE EXPANSION AND CONTROL JOINTS AS REQUIRED.
- UNLESS SUBDIVISION OR LOCAL ORDINANCES DICTATE OTHERWISE, CONTRACTOR OR SHALL LEAVE A MINIMUM OF 8" AND A MAXIMUM OF 3/4" OF EXPOSED FOUNDATION AND SHALL PROVIDE UNDERPINNING FOR ALL EXPOSED FOUNDATIONS.
- VERIFY EXTERIOR DRIVEWAY LIGHTING AND MAILBOX LOCATION WITH OWNER PRIOR TO INSTALLATION.
- CONTRACTOR TO STORE ALL MATERIALS AND WASTE ON SITE DURING CONSTRUCTION.
- ANY REQUIRED LANDSCAPE PLANS OR PERMITS TO BE ACQUIRED SEPARATELY FROM THESE PLANS.
- ALL TREES TO BE PROTECTED DURING CONSTRUCTION. VERIFY REMOVAL OR ALTERATION OF ANY TREES WITH OWNER. TREE PROTECTION AND REMOVAL TO BE CONDUCTED PER LOCAL ORDINANCES AND BEST PRACTICES.
- CONTRACTOR TO MAINTAIN A CLEAN AND ORDERLY JOB SITE DURING CONSTRUCTION BY CLEANING AREAS AFFECTED BY DAILY WORK. AT COMPLETION OF CONSTRUCTION ALL DEBRIS AND MATERIALS SHALL BE REMOVED FROM SITE AND PROPERLY DISPOSED.
- BASED ON PROVIDED SURVEY THERE ARE NO STORY WATER METERS ALONG LOT FRONTAGE OR ON ADJACENT PROPERTIES WITHIN 10' OF SIDE PROPERTY LINES.



SITE PLAN

FULL SIZE SCALE: 1/8" = 1'-0"  
PRINT SCALE: 1/16" = 1'-0"

SITE DEVELOPMENT INFORMATION

AREA DESCRIPTION	EXISTING SQ. FT.	NEW/ ADDED SQ. FT.	TOTAL SQ. FT.
A.) 1st FLOOR CONDITIONED AREA	1543	668	2211
B.) 2nd FLOOR CONDITIONED AREA		307	307
C.) 3rd FLOOR CONDITIONED AREA			
D.) BASEMENT			
E.) COVD PARKING (GARAGE OR CARPORT)			
F.) COVD PATIO, DECK, PORCH AND/ OR BALCONY AREA(S)	362	30	392
G.) OTHER COVD OR ROOFED AREA			
H.) UNCOVD WOOD DECKS			
I.) POOL			
J.) SPA			
K.) REMODELED FLOOR AREA, EXCLUDING ADDITION/ NEW CONSTRUCTION	-	-	-
TOTAL BUILDING COVERAGE (SQ. FT.):	1,905	1,005	2,910
L.) DRIVEWAY		159	159
M.) SIDEWALKS	81	24	105
N.) UNCOVD PATIO		42	42
O.) UNCOVD WOOD DECKS (COUNTED AT 50%)			
P.) AC PADs AND OTHER CONCRETE FLATWORK	9	9	18
Q.) OTHER			
TOTAL IMPERVIOUS COVERAGE (SQ. FT.):	2,921	44.91%	REMAINING I.C. = 2%
TOTAL LOT AREA (SQ. FT.):	6,509	MAXIMUM I.C. @ 45%:	2,929

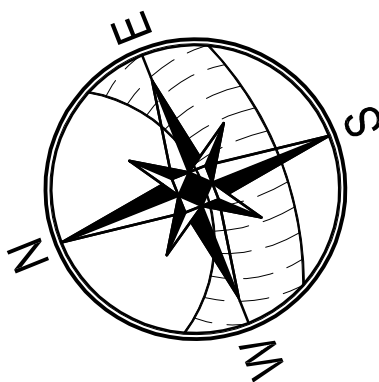
SUBCHAPTER F - GROSS FLOOR AREA

	EXISTING TO REMAIN	NEW/ ADDED	PROPOSED EXEMPTION	APPLIED EXEMPT	TOTAL SQ. FT.
1st FLOOR	1543	668			2211
2nd FLOOR		307			307
3rd FLOOR					
AREA W/ CEILINGS TALLER THAN 15'					
GROUND FLOOR PORCH (CHECK ARTICLE IF UTILIZED)	362	30	FULL PORCH	392	
BASEMENT			200 SQ. FT.		
ATTIC					
GARAGE: CHECK ARTICLE UTILIZED	ATTACHED				
	DETACHED				
CARPORT: CHECK ARTICLE UTILIZED	ATTACHED				
	DETACHED				
DETACHED ACCESSORY BUILDING(S)					
TOTALS	1,905	1,005		392	2,918
TOTAL GROSS FLOOR AREA (ADD TOTAL SQ. FT. COLUMNS):	2,518				REMAINING F.A.R. = 85%
(TOTAL GROSS FLOOR AREA / LOT AREA) X 100 =	38.68%				FLOOR-TO-AREA RATIO (FAR)

TAG	TREE DESCRIPTION
6503	14" PINE
6510	4" & 8" CITRUS (10" TOTAL)
6511	11" MULBERRY

LEGAL DESCRIPTION:

902 WILLOW STREET  
LOT #6, BLOCK #1  
MAGUIRE'S SUBDIVISION OF OUTLOT 31 & 32,  
DIVISION "D" SUBDIVISION  
AUSTIN, TX 78702  
TRAVIS COUNTY



PERMIT APPLICATION INFORMATION

SETBACKS	Y	N
ARE ANY EXISTING STRUCTURES ON THIS SITE A NON-COMPLIANT STRUCTURE BASED ON YARD SETBACK REQUIREMENT (LDC 25-2-432)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
DOES ANY STRUCTURE (OR AN ELEMENT OF A STRUCTURE) EXTEND OVER OR BEYOND A REQUIRED YARD? (LDC 25-2-513)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
IS FRONT YARD SETBACK AVERAGING BEING UTILIZED ON THIS PROPERTY? (LDC 25-2 SUBCHAPTER F, SEC. 2.3 OR 25-2-118)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
HEIGHT INFORMATION (LDC 25-1-21 OR 25-2 SUBCHAPTER F, SEC. 3.4)		
BUILDING HEIGHT: 26 FT. 4 IN. NUMBER OF FLOORS: 2		
PARKING (LDC 25-6 APPENDIX A & 25-6-418)		
* OF SPACES REQUIRED: 1 * OF SPACES PROVIDED: 1		
RIGHT-OF-WAY INFORMATION	Y	N
IS A SIDEWALK REQUIRED FOR THE PROPOSED CONSTRUCTION? (LDC 25-6-353)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
WILL THE OWNER PAY THE FEE-IN-LIEU OF SIDEWALK CONSTRUCTION? (NOT ON PERMIT APPLICATION - FILE "FEE-IN-LIEU" APPLICATION IF YES)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
WILL A TYPE I DRIVEWAY APPROACH BE INSTALLED, RELOCATED, REMOVED OR REPAIRED AS PART OF THE PROJECT?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
WIDTH OF APPROACH (MEASURED AT PROPERTY LINE): 10' (ALLEY)		
DISTANCE FROM INTERSECTION (FOR CORNER LOTS ONLY):		
ARE STORM SEWER INLETS LOCATED ALONG THE PROPERTY OR WITHIN TEN (10) FEET OF THE BOUNDARIES OF THE PROPERTY?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SUB-CHAPTER F INFORMATION	Y	N
IS A SIDEWALL ARTICULATION REQUIRED FOR THIS PROJECT?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
DOES ANY PORTION OF THE STRUCTURE EXTEND BEYOND A SETBACK PLANE. EXEMPTION EXHIBIT (AKA "TENT")?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

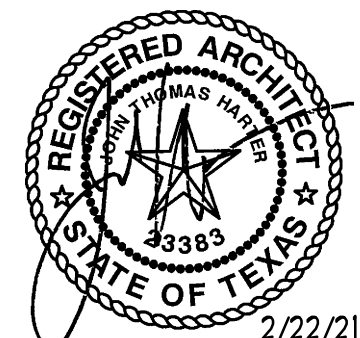
GENERAL PROJECT NOTES

- CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR REVIEWING PLANS AND VERIFYING COMPLIANCE WITH ALL LOCAL BUILDING CODES AND REGULATIONS. IF BUILDER OR THEIR REPRESENTATIVES MODIFY OR DEVIATE FROM PLANS WITHOUT CONTACTING ARCHITECT, BUILDER ASSUMES FULL LIABILITY FOR ALTERED PLANS.
- ANY ERRORS, OMISSIONS, NON-COMPLIANCE OR INCONSISTENCIES IN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ORDERING OF ANY MATERIALS OR COMMENCEMENT OF WORK.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ALL ASPECTS OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, ALL WATERPROOFING, DAMP-PROOFING, STRUCTURAL SYSTEMS AND CONNECTIONS, AS WELL AS MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS. ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION NOT SHOWN IN THESE DRAWINGS.
- ARCHITECT SHALL NOT BE HELD LIABLE FOR CONTRACTOR'S FAILURE TO EXECUTE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND/ OR IN COMPLIANCE WITH ANY AND ALL APPLICABLE CODES, LAWS, STATUTES, DEED RESTRICTIONS, OR REGULATIONS. CONTRACTOR SHALL REQUIRE ALL SUB-CONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- ARCHITECT SHALL USE DUE DILIGENCE IN RESEARCHING APPLICABLE MUNICIPAL BUILDING CODES FOR THE PROJECT. ARCHITECT SHALL NOT BE RESPONSIBLE OR BE HELD ACCOUNTABLE FOR ADDITIONS OR REVISIONS TO CODES THAT ARE NOT READILY AVAILABLE THROUGH REASONABLE MEANS OR MISREPRESENTATIONS OR CONFLICTING INTERPRETATIONS OF CODES BY CITY OFFICIALS, OR ADDITIONS OR REVISIONS TO CODES THAT OCCUR AFTER THE COMMENCEMENT OF THE PROJECT.
- THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. ARCHITECT SHALL RETAIN ALL COPYRIGHT, LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT, IN THE DESIGNS, DRAWINGS, CONCEPTS, AND PLANS. CLIENTS RIGHT TO USE SAME IS CONDITIONAL AND LIMITED TO A ONE-TIME USE TO CONSTRUCT THE AGREED UPON PROJECT.
- THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS (TBAE) HAS JURISDICTION OVER THE PRACTICE OF ARCHITECTURE AND MAY BE REACHED AT (512) 498-1363.
- CONTRACTOR SHALL FILE FOR AND OBTAIN ALL NECESSARY PERMITS, APPROVALS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE. CONTRACTOR ASSUMES FULL RESPONSIBILITY THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION.
- WATERPROOFING & TYPICAL DETAILING ARE NOT SHOWN IN THESE DRAWINGS.
- DRAWINGS DO NOT SPECIFY MATERIAL SELECTIONS OR ACTUAL PRODUCTS. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROPER DETAILING AND ASSEMBLIES BETWEEN ALL SELECTED AND INSTALLED PRODUCTS AND MATERIALS.
- CONTRACTOR TO VERIFY EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- LISTED PLAN DIMENSIONS ARE TO STRUCTURAL FACE OF WALL AND DO NOT INCLUDE Furring OR WALL FINISHES.
- DO NOT SCALE DIMENSIONS FROM THESE DRAWINGS. IN THE EVENT OF A DIMENSIONAL ERROR OR OMISSION CONTACT THE ARCHITECT FOR ANY CRUCIAL DIMENSION.
- CONTRACTOR AND SUBCONTRACTORS TO VERIFY ALL DIMENSIONS IN THE FIELD. ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ORDERING MATERIALS OR COMMENCING WORK. MINOR DEVIATIONS DUE TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS CAN BE EXPECTED.
- CONTRACTOR AND ALL SUB-CONTRACTORS TO MEET ALL OSHA REQUIREMENTS. THESE DRAWINGS DO NOT SHOW NECESSARY SAFETY COMPONENTS. CONTRACTOR ASSUMES RESPONSIBILITY TO MAINTAIN A SAFE WORKING ENVIRONMENT FOR ALL PERSONNEL AND OCCUPANTS THROUGHOUT THE PROJECT.
- IN ADDITION TO ALL STANDARD INDUSTRY WARRANTIES CONTRACTOR AND ALL SUB-CONTRACTORS TO GUARANTEE ALL MATERIALS AND LABOR FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. CONTRACTOR TO SUPPLY AND INSTALL ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY FOR THE PROPER, COMPLETE, AND APPROVED INSTALLATION OF ALL COMPONENTS, SYSTEMS, AND ASSEMBLIES CALLED FOR, IMPLIED, AND REQUIRED.
- CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY JOB-SITE AT ALL TIMES. REMOVED MATERIALS, TRASH, AND DEBRIS SHALL BE TAKEN TO APPROVED DUMP SITES ONLY.
- CONTRACTOR SHALL ENSURE ALL MATERIALS, ASSEMBLIES, FINISHES, AND COMPONENTS ARE CONSTRUCTED AND INSTALLED PER CODE REQUIREMENTS, MANUFACTURER RECOMMENDATIONS AND STANDARD BUILDING PRACTICES.
- CONTRACTOR SHALL GIVE APPROPRIATE NOTICE TO ALL SUPER-INTENDENTS, INSPECTORS, OR PERSONS RESPONSIBLE FOR UTILITIES AFFECTED BY PROJECT PRIOR TO CONSTRUCTION.
- THESE DRAWINGS SHALL NOT BE MODIFIED OR ALTERED IN ANY WAY WITHOUT ARCHITECT'S PRIOR WRITTEN EXPRESS APPROVAL.

JH Architecture

A CUSTOM DESIGNED:  
NEW ACCESSORY DWELLING UNIT  
902 WILLOW STREET  
AUSTIN, TX 78702  
TRAVIS COUNTY

REVISION:



902 WILLOW STREET  
NEW-BUILD ADU

SHEET

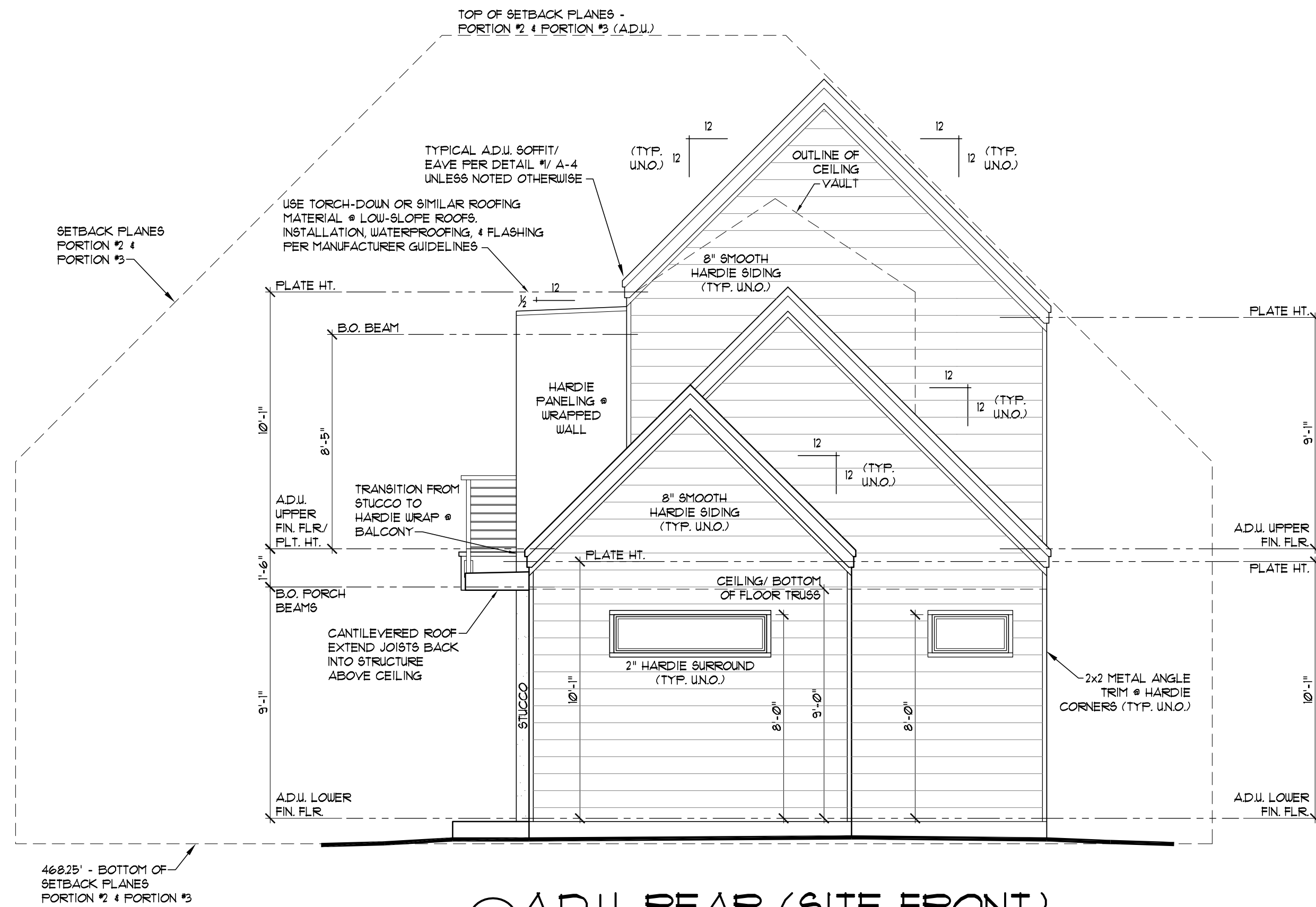
A-1

PROJECT NO: 20045  
DATE: 2/22/21  
CHECKED: JH

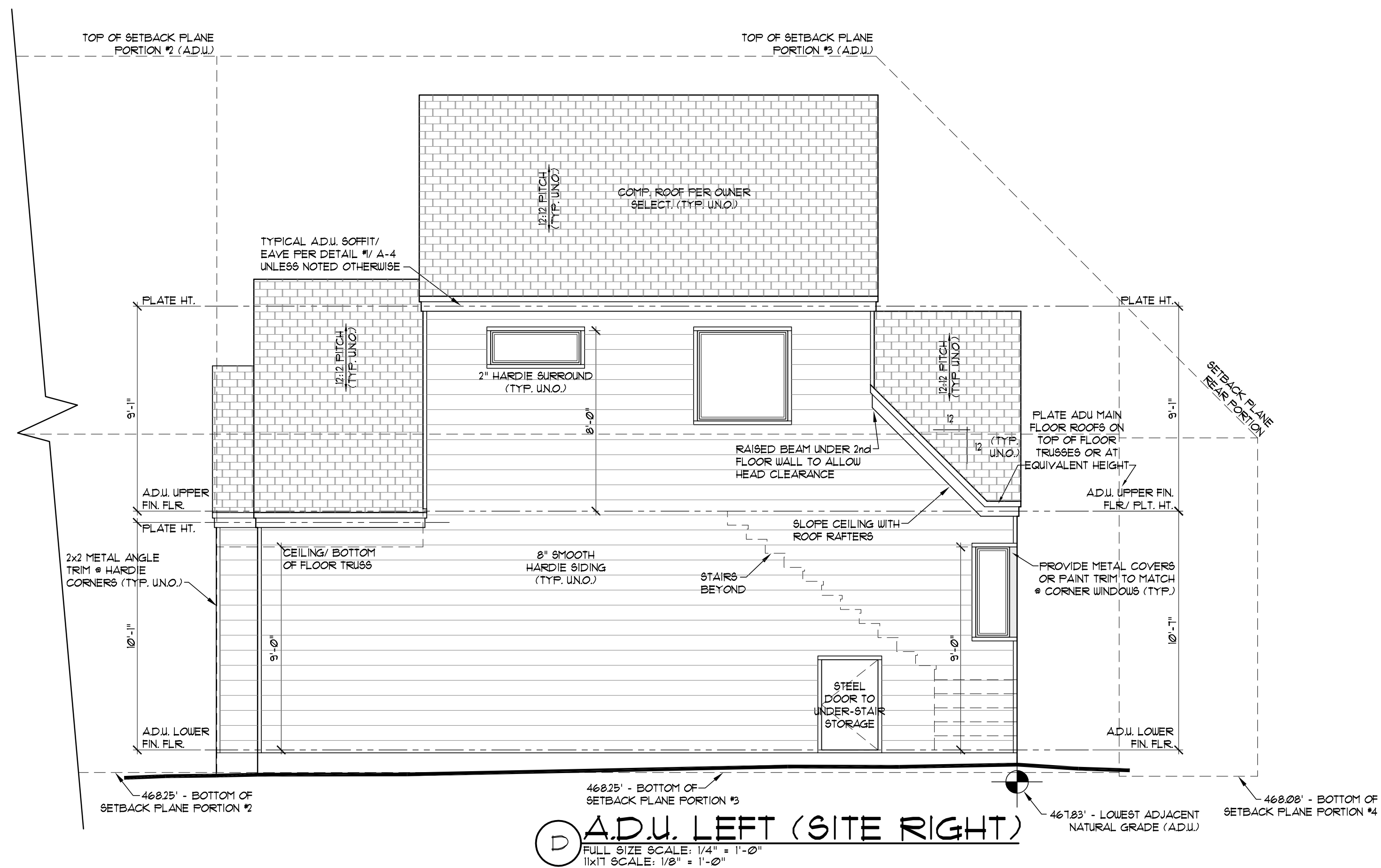
PH: (512) 779-2748  
WWW.JHARCHITECTURE.NET  
1003 JUSTIN LANE #2128 AUSTIN, TX 78757







**ADU. REAR (SITE FRONT)**  
 FULL SIZE SCALE: 1/4" = 1'-0"  
 1X1 SCALE: 1/8" = 1'-0"

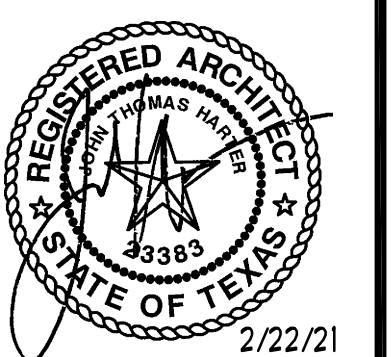


**ADU. LEFT (SITE RIGHT)**  
 FULL SIZE SCALE: 1/4" = 1'-0"  
 1X1 SCALE: 1/8" = 1'-0"

**JH Architecture**

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REVISION:



902 WILLOW STREET  
 NEW-BUILD ADU

SHEET

**A-5**

PROJECT NO: 20045  
 DATE: 2/22/21  
 CHECKED: JH



Frame Shed



Carport



Frame Storage



Cement Slab/Steps



Metal Shed



