







4006 1/2

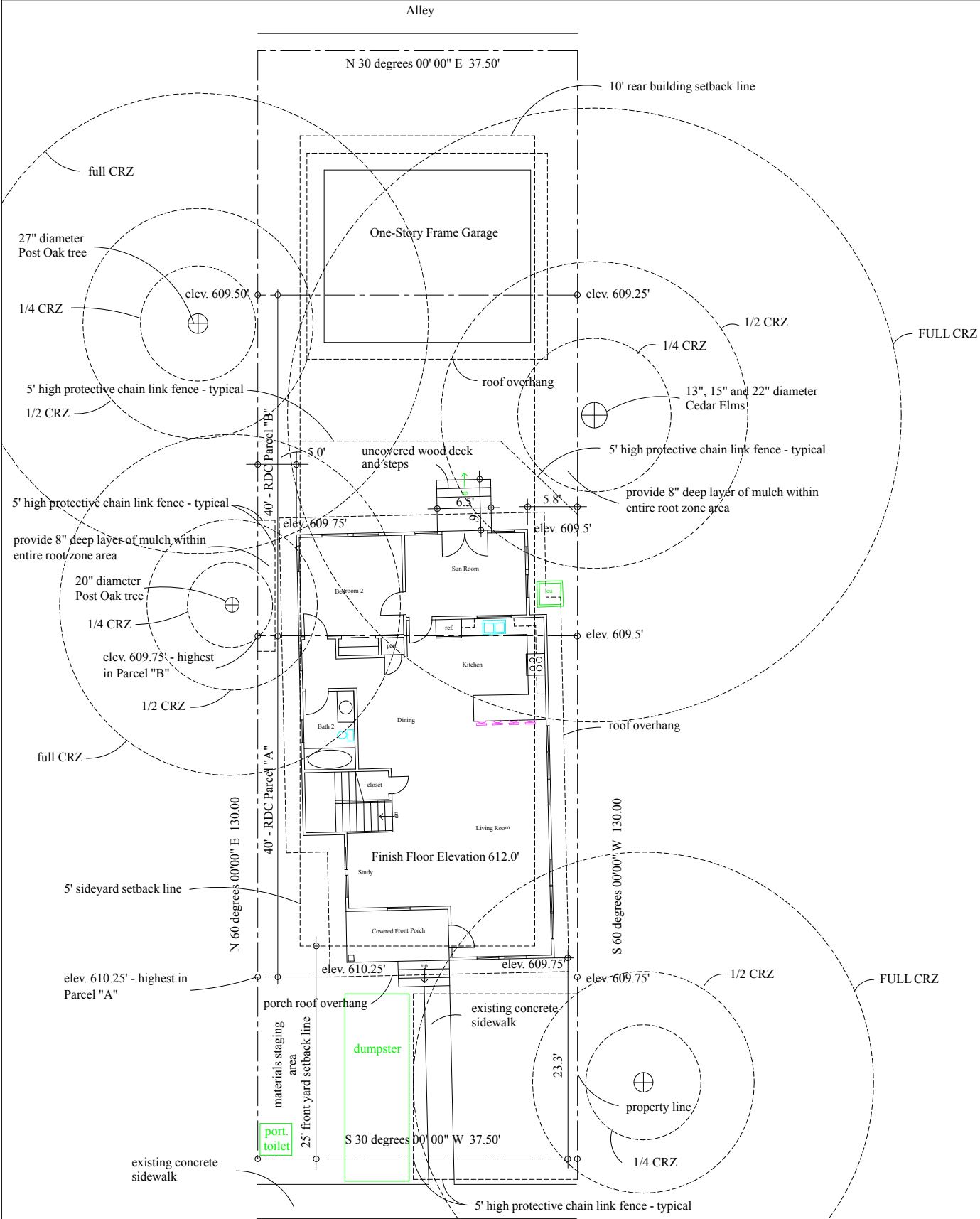












REVISED SITE PLAN  
Scale if printed on 11x17 sheet: 1/16" = 1' - 0"  
Scale if printed on 24x36 sheet: 1/8" = 1' - 0"



03/15/2021



Legal Description:  
Lot 26 and the south 12.5' of Lot 27, Block 7, Hyde Park Addition, A Subdivision in Travis County, Texas, according to the map or plat thereof recorded in Volume 1, Page 75 of the plat records of Travis County, Texas.

Local Address: 4006 1/2 Avenue B, Austin, Texas 78751

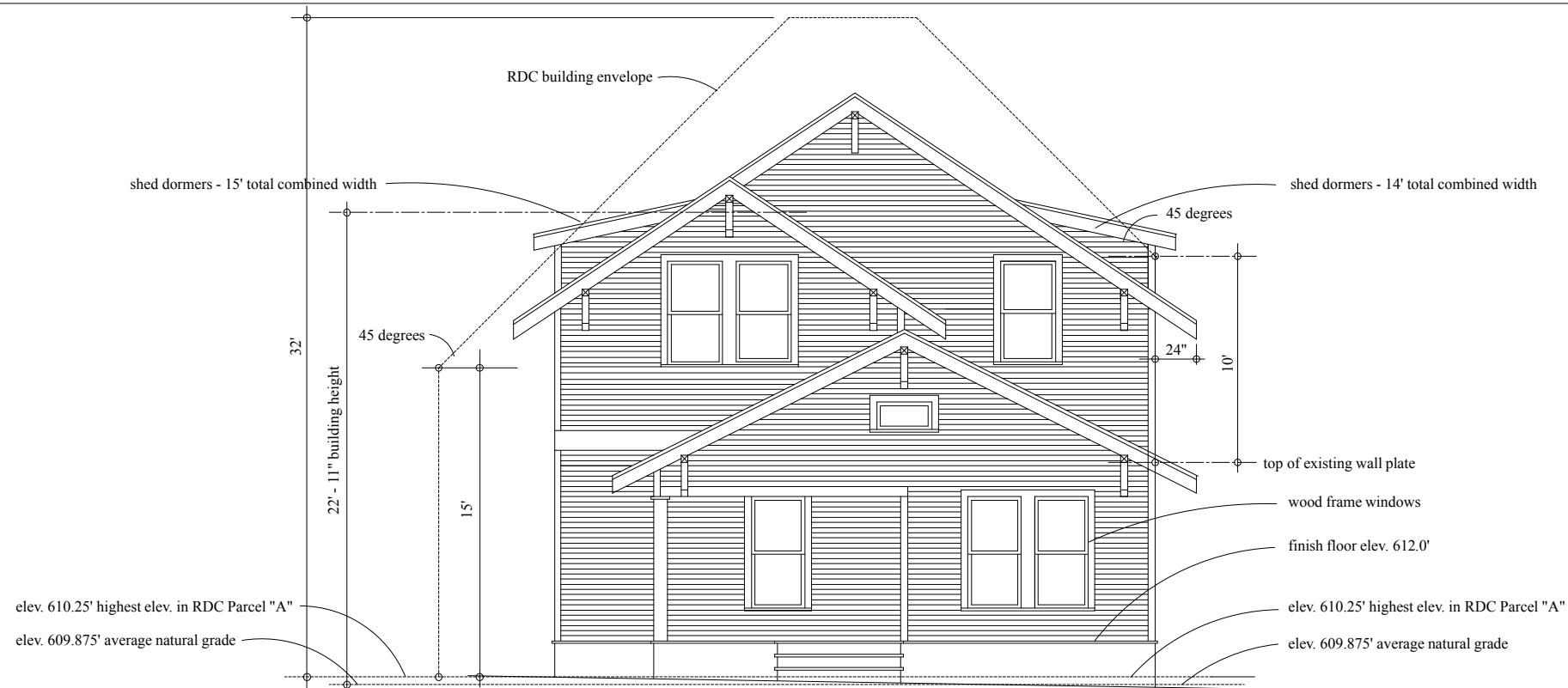
Notes:  
Note 1: There will be no changes to the existing utility routes.  
Note 2: Prior to construction, protective fencing is required around all trees within the LOC. Fencing should be indicated to protect the entire critical root zone area or as much of the CRZ as is practical. When the protective fencing cannot incorporate the entire 1/2 critical root zone, an 8" layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the critical root zone. Provide a 3" layer of protected mulch inside the fence if natural ground cover (grass) is not present.  
Note 3: If using a concrete line pump, wrap connections of line pump with plastic to prevent concrete slurry from leaching into the ground and near roots of trees.  
Note 4: If heavy equipment will be rolling over any area of the CRZ of the trees, provide 3/4" plywood over 2x4 lumber of 12" layer of mulch to bridge over the roots and prevent soil/root compaction. After construction is completed, spread mulch around site to leave a max. layer of 3" within the root zone.  
Note 5: If any pruning will be needed for site access, new structures or the health of the protected trees, a Certified Arborist shall perform the pruning prior to construction to avoid damage to the trees during construction. Pruning of protected tree's canopy must not exceed more than 25% per season. If more than 25% of the canopy is desired to be removed, the Certified Arborist shall provide a written report detailing what is needed. A paid receipt for any pruning work will be required from the Certified Arborist to the Tree Inspector at Final Inspection.

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TITLE: REVISED SITE PLAN  
COMMISSION: THE LARSON RESIDENCE  
DATE: APRIL 22, 2020

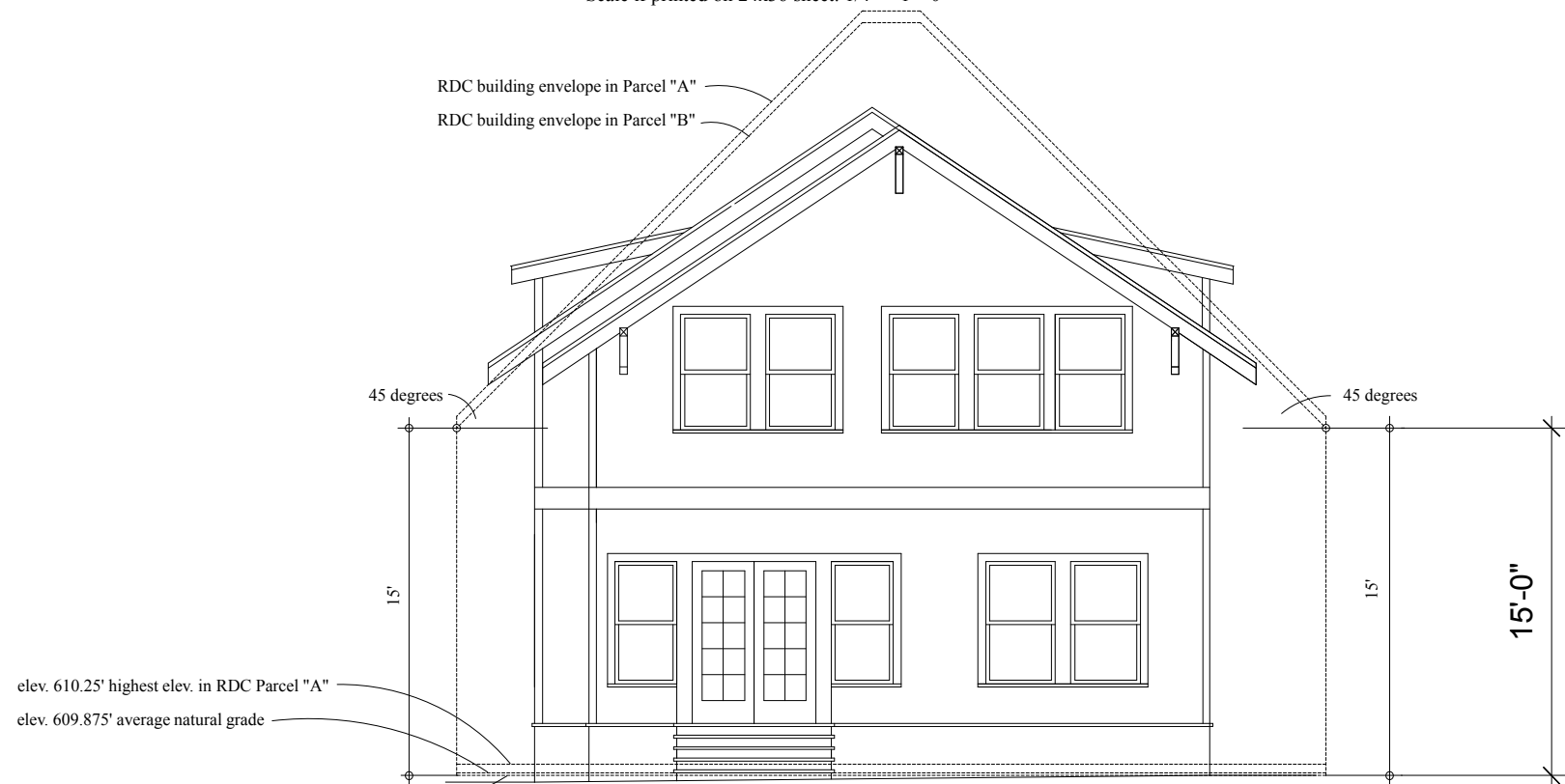
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A100



### REVISED FRONT ELEVATION

Scale if printed on 11x17 sheet: 1/8" = 1' - 0"  
Scale if printed on 24x36 sheet: 1/4" = 1' - 0"



### REVISED REAR ELEVATION

Scale if printed on 11x17 sheet: 1/8" = 1' - 0"  
Scale if printed on 24x36 sheet: 1/4" = 1' - 0"



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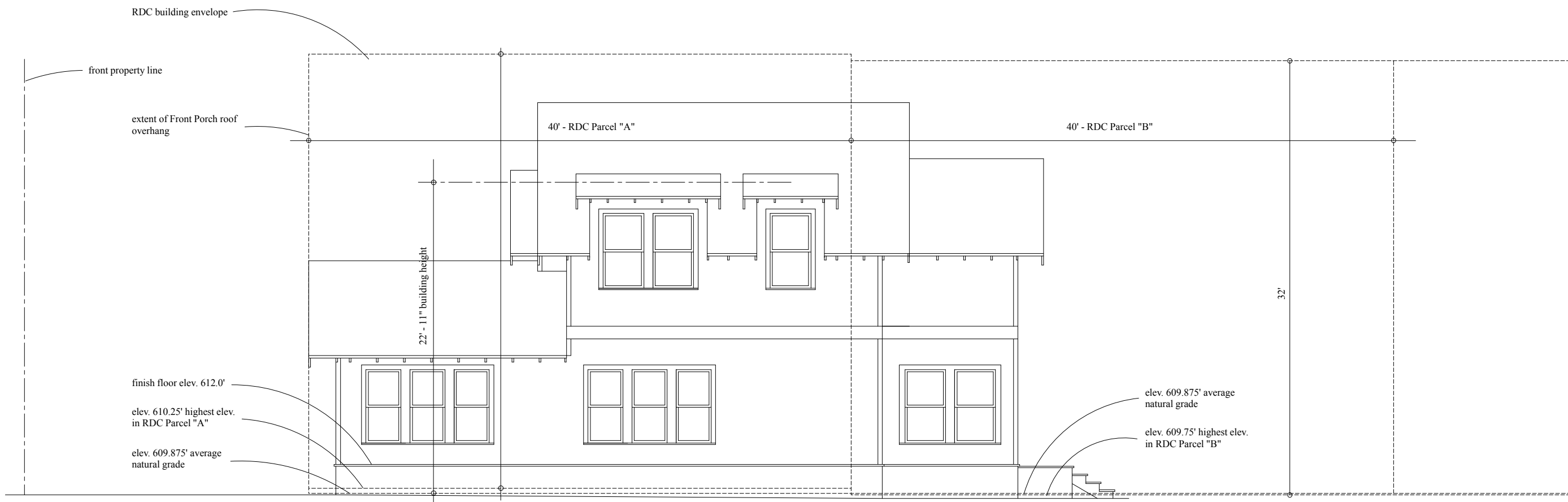
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The Texas Board of Architectural Examiners, P.O. Box 12337, Austin, Texas 78711-2337 or 333  
Guadalupe, Suite 2-350, Austin, Texas 78701-3942, (512)305-9000 has jurisdiction over individuals  
licensed under the Architects' Registration Law, Texas Civil Statutes Article 249a.

TITLE: REVISED EXTERIOR ELEVATIONS  
COMMISSION: THE LARSON RESIDENCE  
DATE: APRIL 22, 2020

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AUSTIN, TEXAS

A300



# REVISED RIGHT SIDE ELEVATION

Scale if printed on 11x17 sheet: 1/8" = 1' - 0"  
Scale if printed on 24x36 sheet: 1/4" = 1' - 0"



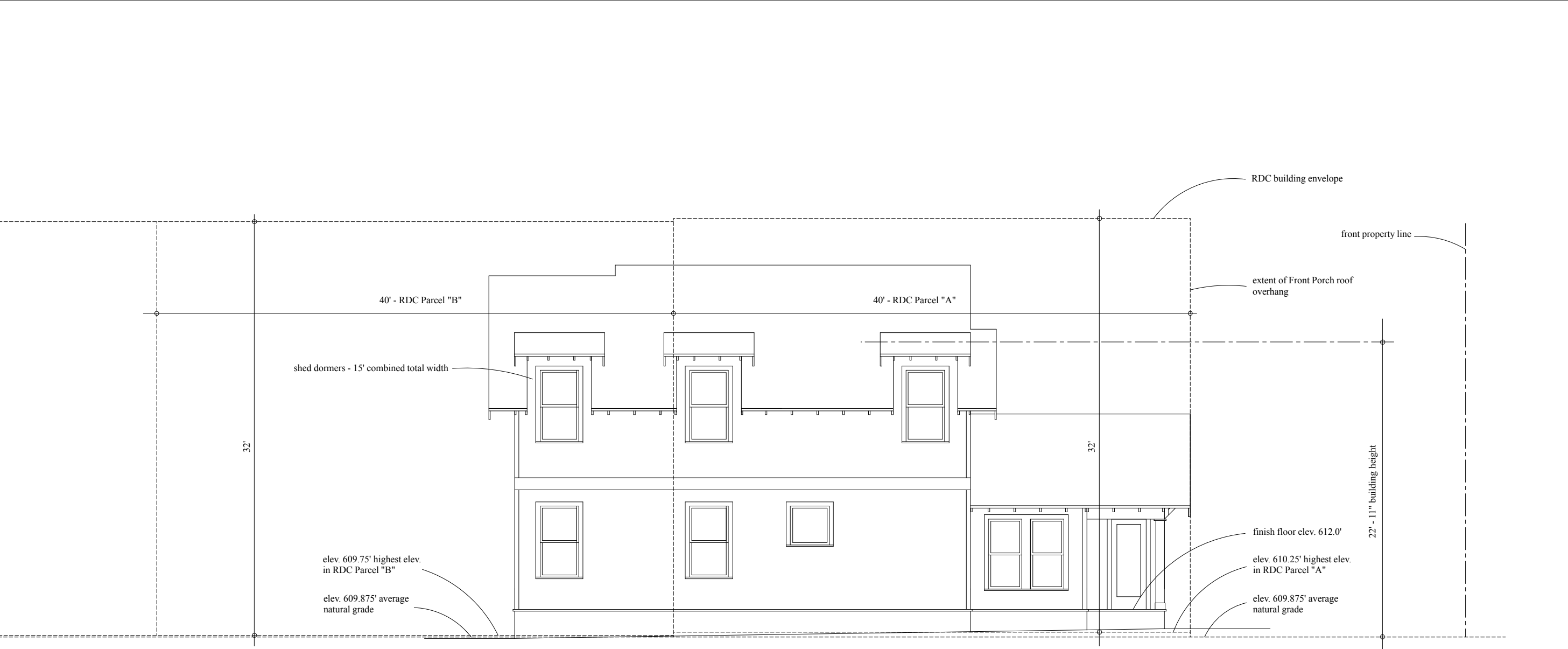
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TITLE: REVISED EXTERIOR ELEVATIONS  
COMMISSION: THE LARSON RESIDENCE  
DATE: APRIL 22, 2020

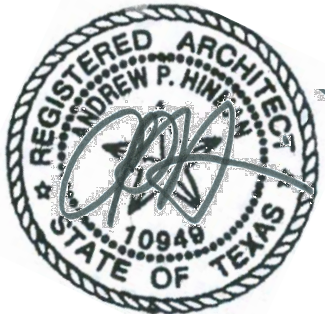
A301

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REVISED LEFT SIDE ELEVATION

Scale if printed on 11x17 sheet: 1/8" = 1' - 0"  
Scale if printed on 24x36 sheet: 1/4" = 1' - 0"



03/15/2021

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COMMISSION: THE LARSON RESIDENCE  
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