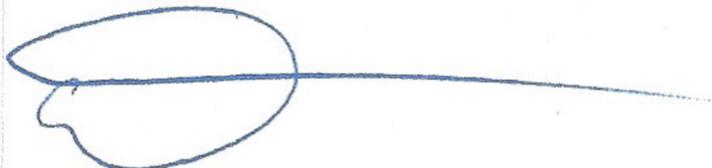


OWNER'S PETITION OPPOSING ZONING CHANGE

I, Dusty Waldrop/Waldrop Builders, OWNER, do hereby object to any change in the zoning of my property at 2100 Chicon, Austin, Texas 78722. Specifically, I oppose the rezoning of my property by an "H" Historic Overlay as proposed by Case HDP- _____ and listed as item _____ on the agenda of the Historic Landmark Commission.



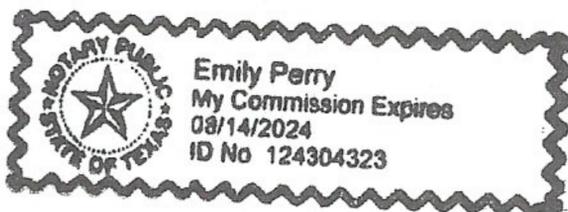
Waldrop Builders, Dusty Waldrop

THE STATE OF TEXAS

THE COUNTY OF TRAVIS

I, the undersigned authority, on this the 29th day of April, 2021, did personally appear Dusty Waldrop/Waldrop Builders, known to me to be the person(s) whose name is subscribed to the foregoing instrument of writing, and they acknowledge before me that they executed the same for the purposes and considerations therein expressed.

NOTARY PUBLIC



Printed Name

Emily Perry

Commission expires

08/14/2024



05/07/2021

C/O Dusty Waldrop
Waldrop Const.
512.342.9500
Austin, Texas

Dear Mr. Waldrop,

On 05 May 2021, R. Derek Hammond of RDH C&E performed a site observation to view the existing residence located at 2100 Chicon Street in Austin, Texas. Multiple structural issues were encountered during the site visit, the largest issue being the foundations as they are not code compliant. This report details what was encountered during the site visit, conclusions, and recommendations.

Thank you for the opportunity to provide these services to you. If we have erred in our understanding of the work or if you have a questions, feel free to contact me and we will be happy to adjust and resend,

Respectfully,

A circular professional engineer seal for the State of Texas. The seal contains the text "STATE OF TEXAS" at the top, a five-pointed star in the center, "R. DEREK HAMMOND" below the star, "114302" below the name, and "PROFESSIONAL ENGINEER" at the bottom. A handwritten signature in black ink is written over the seal.

R. Derek Hammond, PE
Owner RDH C&E LLC



Existing Site Conditions

The existing structure was located in East Austin, three blocks East of Interstate 35 and three blocks south of Manor road. The home was approximately 24' x 36' in size, and located on a corner lot. The single family, single story homes construction was estimated to be in the 1930's. Construction of the home was composed of a pier and beam foundation, with 2x wall framing, attic framing, and roof framing with sheathing that was obstructed from view by aluminum paneling.



1: Cracking, typical at all exterior openings.

Foundations for the residence were a combination of stacked CMU blocks at the exterior edges, cedar posts at the

interior piers, and a wood stem wall, that partially carried the roof and attic framing

on the north and south walls. Settlement was noted on all exterior walls, and appeared to be bulging in the center, or settling along the perimeter of the residence. The front porch stoop, a concrete slab on grade, had stair step cracking in most areas where it intersected the pier and beam foundation.

Some windows and doors were operable, but there were signs of racking, and door repair in most areas. Cracking was noted in the gyp board above most doors along the interior and exterior walls, with the most extreme being at the exterior walls. Some staining was noted on the ceiling, and around attic penetrations.

Clearances around the fixtures were noted as less than 24" from the water

closet to the sink, and less than 15" between the water



2: Girder beam at exterior resting on blocking



closet centerline and the edge of the bath-tub. The bathroom appeared to have been renovated at some point in the last 20 years. The floor tile, toilet, sink, and bath tub were not original to the home.

Conclusions & Recommendations

Foundations were noted as deficient in multiple areas for current standards/codes and required floor, attic, and roof loading.

The exterior walls were resting on a foundation that is undersized for the loading, and the skirting is resting on grade allowing rot and corrosion into the cripple wall. Bulging on the interior is not likely as the piers are cedar posts and not masses of concrete which more susceptible to having heaving issues. Rather, the exterior walls are sinking/settling and is the reason for the sloping in



3: Cedar piers

all corners, and exterior walls in the home. The cedar posts should be replaced as well as the exterior stem wall. They are likely past their intended life span & are susceptible to corrosion and infestation.

Floor framing attached to exterior walls will likely need to be replaced due to warping created by the settling in order to achieve a level floor. The removal also being necessary to ensure rotted and damaged framing members are eliminated, and to allow the demolition and installation of the new stem wall. The floor framing below the restroom is likely also undersized for the weight of the tile, bathtub, toilet, and sink. However, the issue could be corrected when the restroom is remodeled. It will be required to meet current IRC minimum clearances.

Exterior sheathing and 2x wall framing will need to be evaluated as it was unable to be confirmed compliant. There are likely multiple areas that will need to be removed and replaced due to rot, damage caused during renovations over time, and/or damage created by rodents and insects.



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OWNER'S AUTHORIZATION LETTER

I/we hereby certify that I/we am/are the owner(s) of the property referenced below. I/we am/are respectfully requesting processing and approval of the below referenced permit(s) review. I/we hereby authorize the Applicant listed on this application to act on my/our behalf during the processing and presentation of this request. They shall be the principal contact with the City in processing this application.

AUTHORIZE: MIKE McHANE REAL ESTATE

Property Address: 2100 CAICON

PR#:



Owner's Signature

4-29-21

Date

Owner's Signature

Date

Susy Waldrop

1st Owner's Printed Name

2nd Owner's Printed Name

2021-055821 PR

R-645

DEMOLISH ONE FAMILY HOME