

From: Nick Deaver nick@nickdeaver.com
Subject: Re: 612 Highland Ave. Austin, Tx 78703
Date: August 24, 2020 at 1:46 PM
To: Cara Bertron Cara.Bertron@austintexas.gov
Cc: Jessica Deaver jessica@nickdeaver.com



From: Bertron, Cara Cara.Bertron@austintexas.gov
Subject: Re: 612 Highland Ave. Austin, Tx 78703
Date: September 15, 2020 at 1:25 PM
To: Nick Deaver nick@nickdeaver.com
Cc: Jessica Deaver jessica@nickdeaver.com



Hello Cara,

We are still in the process of designing a new house for the 612 Highland Ave property. We are hoping to meet with the Historic Subcommittee as soon as we have satisfied our clients.

I have been trying to identify the appropriate front yard setback for our New Construction on the site where the original house burned.

Article 2.3.B Average Front Yard Setback (of Subchapter F: Residential Design and Compatibility Standards) allows us to average the 4 structures that are closest to our property on the same side of the road, (some of which are not contributing structures to the Smoot/Terrace Park Local Historic District); while the Design Guidelines for New Construction in the Smoot/Terrace Park HD Design Standards/Preservation Plan allows: '2. Setbacks for new construction of a new principal building shall be consistent with setbacks the district's contributing houses by taking the average of the existing setbacks of contributing houses on the same block face, or by aligning with the setback of one adjacent contributing house. This may allow setbacks that are shallower than the base zoning.'

Would you please advise me as to which Front Yard setback would take precedent?

Thanks for your help,
Nick

Nick Deaver

Nick Deaver Architect
nickdeaver.com

- o. 512.494.9808
- c. 512.801.1764

On Aug 5, 2020, at 11:42 AM, Bertron, Cara <Cara.Bertron@austintexas.gov> wrote:

Got it, thanks. I'll wait to hear from you. As I wrote last month, I'd strongly recommend that you get early feedback on the project—but the timing for that is your call.

Cara Bertron
Senior Planner / Deputy Historic Preservation Officer
City of Austin Planning and Zoning Department
(512) 974-1446 | cara.bertron@austintexas.gov

From: Jessica Deaver <jessica@nickdeaver.com>
Date: Tuesday, August 4, 2020 at 5:11 PM
To: "Bertron, Cara" <Cara.Bertron@austintexas.gov>
Cc: Nick Deaver <nick@nickdeaver.com>
Subject: Re: 612 Highland Ave. Austin. Tx 78703

Hi y'all, sorry again for the delay. The Smoot/Terrace Park Design Standards control when they conflict with other code provisions. This doesn't come up very often; I'm happy to talk to a coordinating reviewer to avert any confusion, if you're already working with someone in the Development Services Department.

Cara

From: "Bertron, Cara" <Cara.Bertron@austintexas.gov>
Date: Thursday, August 27, 2020 at 9:11 AM
To: Nick Deaver <nick@nickdeaver.com>
Cc: Jessica Deaver <jessica@nickdeaver.com>
Subject: Re: 612 Highland Ave. Austin, Tx 78703

Hi Nick,

I wanted to let you know that I'm checking on this with the Law Department to be sure. Apologies for the delay—I hope to get back with you soon.

Cara

Cara Bertron
Senior Planner / Deputy Historic Preservation Officer
City of Austin Planning and Zoning Department
(512) 974-1446 | cara.bertron@austintexas.gov



Before November 2019



February 2021

REVISIONS

NICK DEAVER
architect

06 Highland Avenue
Austin, Texas 78703
www.nickdeaver.com

PHASE: DESIGN DEVELOPMENT

PROJECT:
BOOK
residence

12 HIGHLAND AVE.
AUSTIN, TX 78703

PROJECT MANAGER:

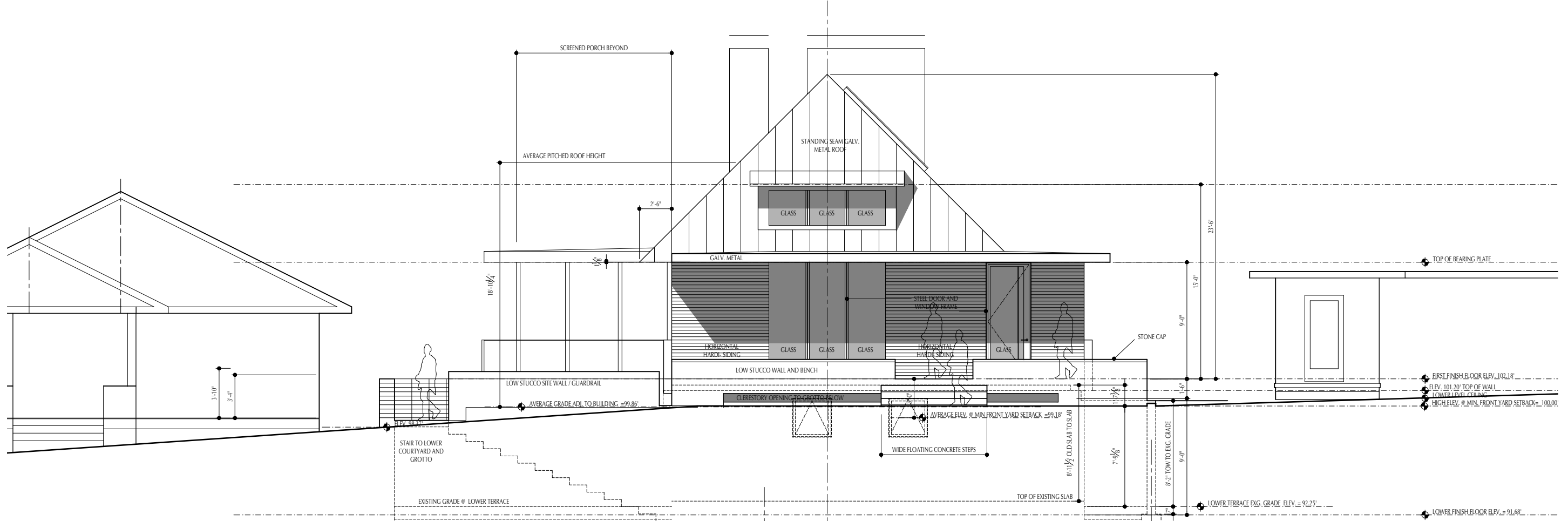
RAWING NAME:

ANTERIOR ELEVATIONS

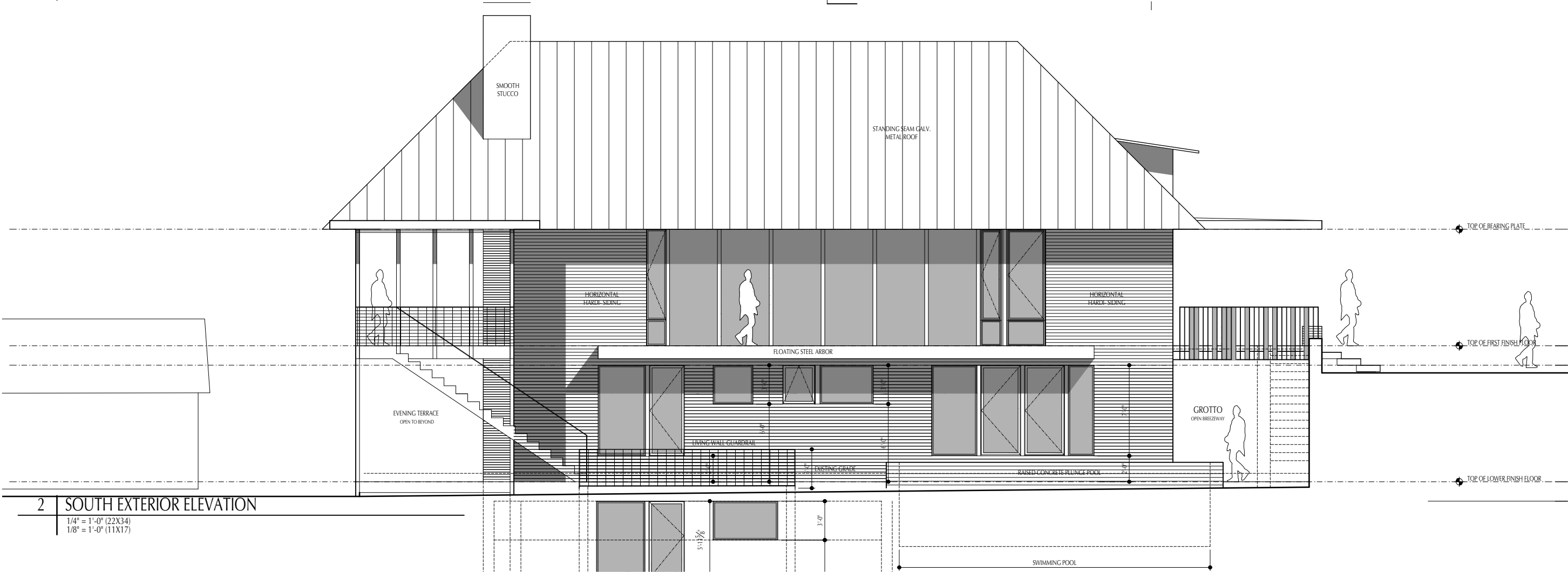
DRAWN BY: JD
 CHECKED BY: ND
 DB #: 280
 FILE: 280 COOK
 2021 nickdeaverarchitect
 DATE: 04.19.21
 SCALE:

SHEET:

A2.0



1 | EAST EXTERIOR ELEVATION

$$\begin{aligned} 1/4'' &= 1'-0'' \text{ (22X34)} \\ 1/8'' &= 1'-0'' \text{ (11X17)} \end{aligned}$$


2 | SOUTH EXTERIOR ELEVATION

$$\begin{aligned} 1/4'' &= 1'-0'' \text{ (22X34)} \\ 1/8'' &= 1'-0'' \text{ (11X17)} \end{aligned}$$

REVISIONS

NICK DEAVER
Architect

606 Highland Avenue
Austin, Texas 78703
www.nickdeaver.com

PHASE:
DESIGN
DEVELOPMENT

PROJECT:
COOK
Residence
612 HIGHLAND AVE.
AUSTIN, TX 78703

PROJECT MANAGER:

DRAWING NAME:

EXTERIOR
ELEVATIONS

DRAWN BY: JD
CHECKED BY: ND
JOB #: 280
FILE: 280 COOK
© 2021 nickdeaverarchitect
DATE: 04.19.21
SCALE:

SHEET:

A2.1

3 WEST EXTERIOR ELEVATION

1/4" = 1'-0" (22X34)
1/8" = 1'-0" (11X17)



4 NORTH EXTERIOR ELEVATION

1/4" = 1'-0" (22X34)
1/8" = 1'-0" (11X17)



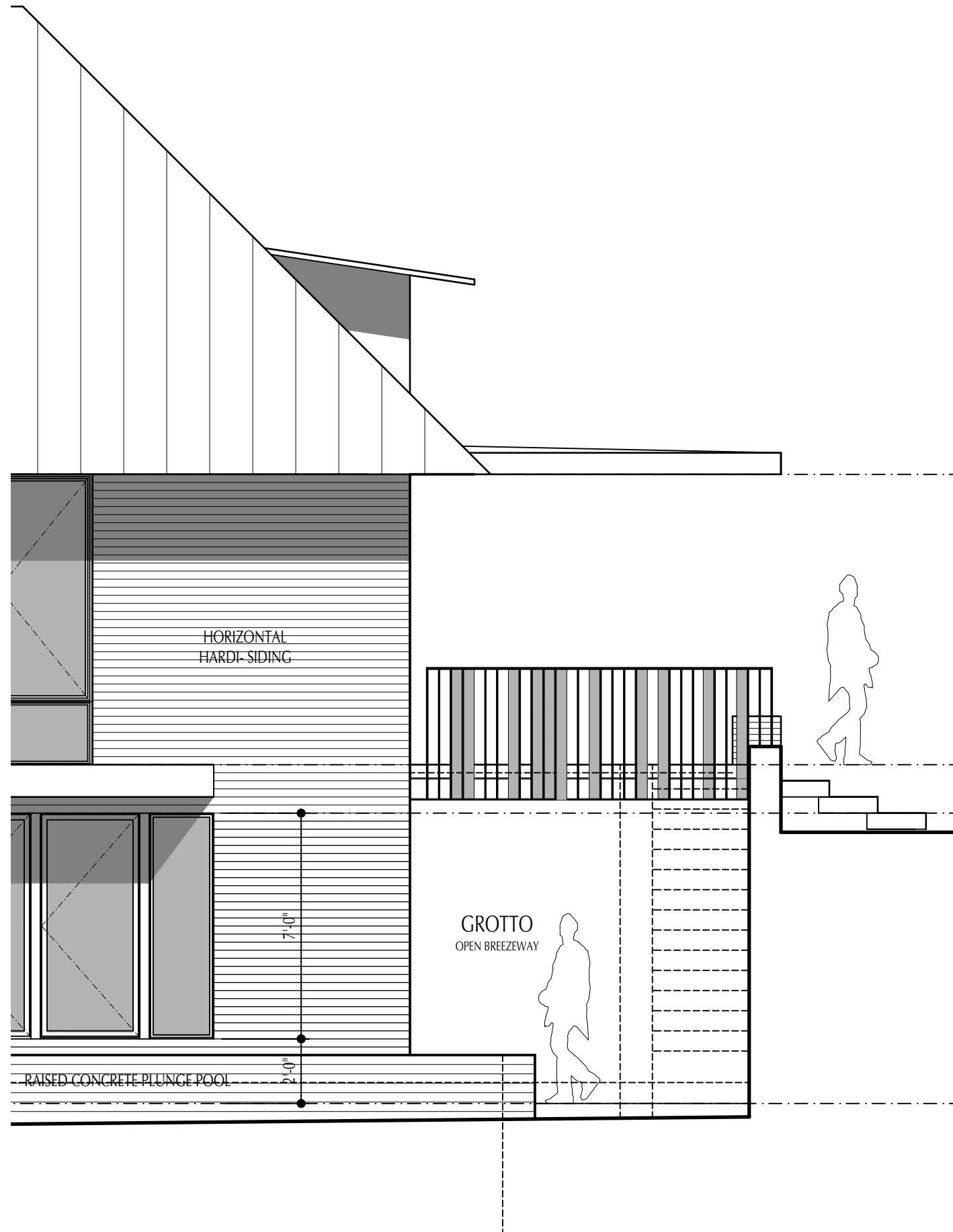
Changes based on ARC Comments 03/08/21

- PORCH AND LANDSCAPE WALL-
SEPARATED BRICK LANDSCAPING WALL BY 8" IN RESPONSE TO ARC COMMENTS

Changes based on Staff and HLC Comments 04/26/21

- CHANGED EXTERIOR STUCCO CLADDING ON WALLS TO HORIZONTAL SIDING
- CHANGED BRICK LANDSCAPE AND PORCH WALL TO STUCCO WITH A STONE CAP
- CHANGED METAL MESH PANEL PORCH END GUARDRAILS TO VERTICAL METAL RAILINGS INSPIRED BY CRAFTSMEN BUNGALOW RAILINGS

Interpreting Bungalow Railing as Art



Donald Judd - Objects 1962

Consists of one single structure or multiple units with a defined spatial relationship that as a whole comprises the work of art.





Italianate, Greek Revival
Notes: Elaborate handrails, Long solid retaining walls

1316 W 6th st.
Contributing - 1877 - 1925



Italianate, Queen Anne
Notes: Elaborate handrails, Long solid retaining walls

1412 6 1/2 st.
Contributing -1877



Queen Anne
Notes: Elaborate handrails

1407 W 9th st.
Contributing - 1877



Craftsman Bungalow
Notes: Wood siding over stucco base

617 Highland Ave.
Contributing - 1920



Greek Revival
Notes: Hipped roof with front facing dormer

1508 W 9th st.
Contributing - 1920



Stick Style, Greek Revival
Notes: Elaborate handrails, wide porch

1500 W 9th st.
Contributing - 1882



Craftsman Bungalow

12:12 Roof pitch at main house and front dormer

609 Oakland Ave.
Contributing - 1915



Prairie

Flat roof with projected flat roof porch

1411 W 9th st.
Contributing - 1915



Craftsman Bungalow

Standout 'Japanese style' roof detailing

707 Highland Ave.
Contributing - 1915



Prairie

Flat roof with projected flat roof porch

701 Highland Ave.
Contributing - 1915



Craftsman Bungalow

Wood siding over brick base, wide porch, dramatic span

606 Highland Ave.
Contributing - 1915



Classical Revival

Classical Columns with flat roof porch

700 Highland Ave.
Contributing - 1915

Neighborhood Context - Varying Styles and Roof Pitches



6:12 Hipped Roof with front dormer

Classical Revival

611 Oakland Ave.
Contributing - 1915



12:12 Roof pitch with front dormer

Craftsman Bungalow

609 Oakland Ave.
Contributing - 1915

OWANA
Old West Austin Neighborhood Association
PO Box 2724
Austin, TX 78768



April 23, 2021

Chair & Commissioners	HR 21-039343
Historic Landmark Commission	612 Highland
City of Austin	

Dear Commissioners,

OWANA's zoning committee met with the owner and architect on this project and we voted to support it for the following reasons:

- An excellent design for a new build in the Terrace/Smoot Local Historic District
- Well thought out and fits in with the historic façade of the street
- Matches the size and height of the existing buildings

We had a most fortunate meeting yesterday with two outstanding projects and we hope you will support this one as well. Thank you for your time and efforts.

Sincerely yours,

Rosemary Merriam
Chair, OWANA Zoning Committee