

## Calculation Aid

Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.			
a) 1 <sup>st</sup> floor conditioned area	970.00	669.00	1,639.00
b) 2 <sup>nd</sup> floor conditioned area	0.00	0.00	0.00
c) 3 <sup>rd</sup> floor conditioned area	0.00	0.00	0.00
d) Basement	0.00	0.00	0.00
e) Attached Covered Parking (garage or carport)			0.00
f) Detached Covered Parking (garage or carport)			0.00
g) Covered Wood Decks (counted at 100%)			0.00
h) Covered Patio			0.00
i) Covered Porch			0.00
j) Balcony			0.00
k) Other – Specify:			0.00
<b>Total Building Area (TBA)</b> (add: a through k)	970.00	669.00	1,639.00
<b>Total Building Coverage (TBC)</b> (from TBA subtract, if applicable: b, c, d, and j)	(A) 970.00	669.00	(B) 1,639.00
l) Driveway			0.00
m) Sidewalks			0.00
n) Uncovered Patio			0.00
o) Uncovered Wood Decks (counted at 50%)	0.00	0.00	0.00
p) AC pads and other concrete flatwork			0.00
q) Other (Pool Coping, Retaining Walls)			0.00
<b>Total Site Impervious Coverage</b> (add: TBC and l through q)	(C) 970.00	669.00	(D) 1,639.00
r) Pool	0.00	0.00	0.00
s) Spa	0.00	0.00	0.00

### Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Lot Area (sq. ft.): 6,495.00

Existing Building Coverage (see above **A**, sq. ft.): 970.00

Existing Coverage % of lot (**A** ÷ Lot Area) x 100 : \_\_\_\_\_ %

Final Building Coverage (see above **B**, sq. ft.): 1,639.00

Final Coverage % of lot (**B** ÷ Lot Area) x 100 : \_\_\_\_\_ %

### Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces including all building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

Existing Impervious Coverage (see above **C**, sq. ft.): 970.00

Existing coverage % of lot (**C** ÷ Lot Area) x 100 : \_\_\_\_\_ %

Final Impervious Coverage (see above **D**, sq. ft.): 1,639.00

Final coverage % of lot (**D** ÷ Lot Area) x 100 : \_\_\_\_\_ %



01/18/2021

THESE PLANS, DRAWINGS, AND SPECIFICATIONS ARE THE PROPERTY OF KEVIN OLSEN AND ANY USE IN WHOLE OR PART WITHOUT WRITTEN PERMISSION IS PROHIBITED.  
COPYRIGHT © 2021 KEVIN OLSEN

REVISION SCHEDULE

NUM	DESCRIPTION	DATE
-----	-------------	------

01/18/2021

COVER SHEET

A0.0

ALL DRAWING SCALES ARE HALF OF NOTED SCALE WHEN PRINTED ON 11"x17" SHEET, U.N.O.

GENERAL PROJECT NOTES

- REMOVE ALL MISCELLANEOUS DEVICES AS REQUIRED TO INSTALL NEW FINISHES, INCLUDING BUT NOT LIMITED TO: PLUMBING FIXTURES, SIGNAGE, SWITCH PLATES, TELEVISION BRACKETS, WALL OUTLET COVERS, TOILET ACCESSORIES, CORNER GUARDS, ETC. SAVE FOR REINSTALLATION AFTER COMPLETION OF FINISH WORK.
- PROTECT ALL EXISTING FINISHES, DOOR FRAMES, EQUIPMENT AND MATERIALS THAT ARE TO REMAIN IN PLACE. DAMAGE TO EXISTING COMPONENTS BY CONTRACTOR SHALL BE REPLACED WITH NEW MATERIAL OF LIKE KIND AND QUALITY THAT MATCH THE EXISTING STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING EXISTING SURFACES TO RECEIVE NEW FINISHES SCHEDULED.
- PROTECT EXISTING VEGETATION, INCLUDING EXISTING TREES DURING CONSTRUCTION. REVEGETATE DAMAGED AREAS ADJACENT TO NEW CONSTRUCTION; CONTRACTOR SHALL MAINTAIN VEGETATED AREAS FOR 3 WEEKS AFTER INITIAL PLANTING
- REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR OTHER WORK.
- ELECTRICAL AND MECHANICAL INSTALLATIONS MAY REQUIRE WORK ABOVE EXISTING CEILINGS BOTH IN THE AREA OF WORK AND IN ADJACENT AREAS (POSSIBLY ON OTHER FLOORS). REMOVE AND REINSTALL (OR REPLACE) CEILING TILES AND GRID AS REQUIRED. REMOVE GYPSUM BOARD AT WALLS AND CEILINGS AND REPLACE AS REQUIRED.
- UNLESS NOTED OTHERWISE, ALL EXISTING ELECTRICAL OUTLETS & FIXTURES IN REMODELED AREAS ARE TO BE REMOVED & RETURNED TO OWNER. SEE ELECTRICAL SHEETS FOR DEVICES & CIRCUITS TO BE REUSED.
- ALL ITEMS AND ASSOCIATED CONNECTIONS ARE TO BE REMOVED AND TERMINATED AT DESIGNATED POINTS. SERVICE CONNECTIONS SHALL BE SAFELY REMOVED, CAPPED OR PLUGGED IN CONFORMITY WITH LOCAL LAWS AND ORDINANCES, REQUIREMENTS OF PUBLIC UTILITY COMPANIES, AND OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, AND IN SUCH MANNER AS NOT TO INTERFERE WITH THE USE OF THE OCCUPIED SPACES IN THE BUILDING.
- IF A CONDUIT OR UTILITY LINE IS CUT WHILE SLEEVING OR CUTTING THE SLAB OR REMOVING A PARTITION, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING IT IMMEDIATELY.
- ANY EXISTING TO REMAIN FIREPROOFING OR FIRE ASSEMBLIES DAMAGED DURING CONSTRUCTION ARE TO BE REPAIRED TO ORIGINAL FIRE PROTECTION REQUIREMENTS.
- IMMEDIATELY SEAL ALL PENETRATIONS IN EXISTING STRUCTURE OPENED DURING DEMOLITION WITH FIRESTOPPING MATERIAL AND/OR WATERPROOFING.
- SEAL ALL PENETRATIONS, NEW AND EXISTING, ABOVE CEILINGS AT RATED FIRE WALLS IN AREAS OF WORK.

GENERAL PROJECT NOTES

- CONSTRUCTION DOCUMENTS MAKE NO WARRENT AS TO EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONSTRUCTION AND FRAMING PRIOR TO DEMOLITION AND CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NEW CONSTRUCTION WITH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND RELATED ITEMS REQUIRED TO COMPLETE THE DEMOLITION WORK AS INDICATED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS.
- ALL ACCESSIBLE ROUTES (OTHER THAN RAMPS) SHALL NOT EXCEED A SLOPE OF 1:20, AND CROSS SLOPES SHALL NOT EXCEED A SLOPE OF 1:50
- THE DRAWINGS INDICATE BUILDING CONDITIONS PER EXISTING DRAWINGS AND ACTUAL PROJECT INVESTIGATION. THE CONTRACTOR SHALL ANTICIPATE POSSIBLE SLIGHT DEVIATION FROM THESE DRAWINGS. REFER TO ARCHITECTURAL & MEP DRAWINGS AND DETAILS FOR EXTENT OF DEMOLITION.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- INSTALL TEMPORARY DUST PARTITIONS WITH DOORS FOR CONSTRUCTION ACCESS AROUND AREAS OF WORK SO THAT OPERATIONS IN EXISTING ADJACENT AREAS REMAIN DUST FREE AND ACCESSIBLE TO BUILDING OCCUPANTS. MAINTAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
- REMOVE ALL BUILDING PARTS AND/OR OTHER ITEMS TO ALLOW FOR THE INSTALLATION AND CONNECTION OF NEW WORK, COORDINATE THE WORK WITH THE HVAC, PLUMBING AND ELECTRICAL DEMOLITION DRAWINGS.
- REMOVAL OF THE BUILDING PARTS SHALL BE PERFORMED IN A SAFE, ORDERLY AND CAREFUL MANNER, WITH THE CONSIDERATION AT ALL TIMES FOR THE SAFETY AND WELFARE OF THE OWNER, BLDG. OCCUPANTS, & PERSONNEL OF THE CONTRACTOR AND/OR SUBCONTRACTOR.
- MAINTAIN THE UTILITIES TO OCCUPIED SPACES AT ALL TIMES. COORDINATE ANY UTILITY DOWNTIMES W/ OWNER. PROVIDE 72 HOUR ADVANCE NOTICE TO THE OWNER OF INTENDED UTILITY SHUT DOWN AND/OR DISRUPTION.
- ANY QUESTIONS CONCERNING OWNERSHIP OF SALVAGEABLE MATERIAL SHALL BE ANSWERED BY THE OWNER OR OWNER'S REPRESENTATIVE. ALL ITEMS OTHER THAN FINISH MATERIALS TO BE REMOVED AS PART OF THIS CONTRACT ARE INDICATED WITH DASHED LINES ON DEMOLITION SHEETS. DISPOSE OF THESE MATERIALS AND ITEMS AFTER CHECKING WITH OWNER FOR ITEMS TO BE SALVAGED. SALVAGE ANY ITEMS REQUIRED TO COMPLETE NEW WORK.



FRONT ENTRY

ABV	ABOVE
ACOUS	ACOUSTICAL
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
ALT	ALTERNATE
ANOD	ANODIZED
APPROX	APPROXIMATELY
AWP	ACOUSTICAL WALL PANEL
BD	BOARD
BLDG	BUILDING
BOT	BOTTOM
BW	BOTH WAYS
BM	BENCH MARK
C	CHANNEL
CC	CUBICAL CURTAIN
CK	CORK
CAB	CABINET
CB	CHALK BOARD
CFCI	CONTRACTOR FURNISH CONTRACTOR INSTALL
CFOI	CONTRACTOR FURNISH OWNER INSTALL
CFT	CUBIC FOOT
CG	CORNER GUARD
CL	CENTER LINE
CLG	CEILING
CI	CAST IRON
CLO	CLOSET
CLR	CLEAR
CMP	CROWN MOLDING PAINTED
CMS	CROWN MOLDING STAINED
CMT	CERAMIC MOSAIC TILE
CMTB	CERAMIC MOSAIC TILE BASE
CMTW	CERAMIC MOSAIC TILE WALL
CMU	CONCRETE MASONRY UNIT
CO	CASED OPENING
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CR	CHAIR RAIL
CORR	CORRIDOR
CPT	CARPET
CPTB	CARPET BASE
CT	CERAMIC TILE
CTB	CERAMIC TILE BASE
CTW	CERAMIC TILE WALL
CTSK	COUNTERSINK
CYD	CUBIC YARD
D	DRAIN
DBL	DOUBLE
DEMO	DEMOLISH, DEMOLITION
DEPT	DEPARTMENT
DF	DRINKING FOUNTAIN
DIA or Ø	DIAMETER
DIM	DIMENSION
DIV	DIVISION
DL	DEAD LOAD
DN	DOWN
DS	DOWN SPOUT
DSP	DRY STAND PIPE
DTL	DETAIL
DWG	DRAWING
E	EAST
EA	EACH
EF	EPOXY FLOOR
EFB	EPOXY FLOOR BASE
EJ	EXPANSION JOINT
EG	END GUARD
EL	ELEVATION
ET	EPOXY TERRAZZO FLOOR
ETB	EPOXY TERRAZZO BASE
ELECT	ELECTRICAL
EM	ENTRANCE MAT
EMER	EMERGENCY
ENCL	ENCLOSURE
EP	EPOXY PAINT
EQ	EQUAL
EQUIP	EQUIPMENT
EWC	ELECTRIC WATER COOLER
EXP	EXPANSION
EXIST	EXISTING
EXT	EXTERIOR
FA	FIRE ALARM
FBO	FURNISHED BY OTHERS
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FFE	FINISH FLOOR ELEVATION
FHC	FIRE HOSE CABINET
FHVC	FIRE HOSE VALVE CABINET
FE	FINISHED END
FLR	FLOOR
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF STUDS
FRF	FIREPROOFING
FRT	FIRE RESISTANT TREATED
FT	FOOT
FURR	FURRING
FV	FIELD VERIFY
FWC	FABRIC WALL COVERING
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GCLU	GLAZED CMU
GI	GALVANIZED IRON
GL	GLASS
GLB	GLASS BLOCK
GMT	GLASS MOSAIC TILE
GMTW	GLASS MOSAIC TILE WALL
GR	GRADE
GYP	GYPSUM
GYP BD	GYPSUM BOARD
HC	HOLLOW CORE
HDR	HEADER
HDW	HARDWARE
HDWD	HARDWOOD
HGT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HANDRAIL
HVAC	HEATING VENTILATION AIR CONDITIONING
ID	INSIDE DIAMETER
INCL	INCLUDING
INSUL	INSULATION
INT	INTERIOR
IPS	IRON PIPE SIZE
J	JOIST
JAN	JANITOR
JT	JOINT
KIT	KITCHEN
KO	KNOCKOUT
L	LENGTH/LONG
LAB	LABORATORY
LAM	LAMINATE
LH	LEFT HAND
LI	LINOLEUM
LIB	LINOLEUM COVERED BASE
LIT	LINOLEUM TILE
LL	LIVE LOAD
M	METER
MAS	MASONRY
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBER BOARD
MED	MEDIUM
MEMB	MEMBRANE
MTL	METAL
MFGR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MM	MILLIMETER
MO	MASONRY OPENING
MOD	MODULAR
MTD	MOUNT(ED) (ING)
MUL	MULLION
N	NORTH
NAT	NATURAL
NIC	NOT IN CONTRACT
NO or #	NUMBER
NOM	NOMINAL
NRC	NOISE REDUCTION COEFFICIENT
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFD	OVERFLOW ROOF DRAIN
OFF	OFFICE
OFOI	OWNER FURNISH OWNER INSTALL
OFCI	OWNER FURNISH CONTRACTOR INSTALL
OZH	OVERHEAD
OH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
P	PAINT(ED)
PARA	PARALLEL
PBD	PARTICLE BOARD
PCF	POUNDS PER CUBIC FOOT
PERF	PERFORATED
PERI	PERIMETER
PFL	POUNDS PER LINEAR FOOT
PL	PLATE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLYWD	PLYWOOD
PP	PORCELAIN PAVER
PPB	PORCELAIN PAVER BASE
PPW	PORCELAIN PAVER WALL
PR	PAIR
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
QT	QUARRY TILE
QTB	QUARRY TILE BASE
R	RISER
RI	RADIUS
RB	RUBBER BASE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFERENCE
REFR	REFRIGERATOR
REINF	REINFORCING
REQ	REQUIRE(D) (ING)
REV	REVISION
RH	RIGHT HAND
RM	ROOM(S)
ROW	RIGHT OF WAY
RVWC	RIGID VINYL WALL COVERING
S	SOUTH
SB	SPLASH BLOCK
SC	SOLID CORE
SCHED	SCHEDULE
SECT	SECTION
SHR	SHOWER
SIM	SIMILAR
SPECS	SPECIFICATION(S)
SPK	SPEAKER
SQ	SQUARE
SS	STAINLESS STEEL
ST	STONE
STC	STONE COUNTERTOP
STW	STONE WALL
STB	STONE BASE
STC	STAINED CONCRETE
STD	STANDARD
STL	STEEL
STO	STORAGE
STRUCT	STRUCTURAL
SV	SHEET VINYL
SVB	SHEET VINYL COVERED BASE
SYM	SYMMETRICAL
SYS	SYSTEM
TB	TACK BOARD
TOC	TOP OF CURB
TOSC	TOP OF STRUCTURAL STEEL
TEL	TELEPHONE
THK	THICK
TOB	TOP OF BEAM
TOP	TOP OF PAVEMENT
TOM	TOP OF MASONRY
TOS	TOP OF STEEL (BOTTOM OF ROOF DECK)
TP	TOILET PARTITION
TV	TELEVISION
TYP	TYPICAL
TZ	TERRAZZO
TZB	TERRAZZO BASE
UC	UNDERCUT
UNO	UNLESS OTHERWISE NOTED
USC	UNDER SEPARATE CONTRACT
VAR	VARNISH
VB	VAPOR BARRIER
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VT	VINYL TILE
VTR	VENT THROUGH ROOF
VWC	VINYL WALL COVERING
W	WEST
W/	WITH
WBP	WOOD BASE PAINTED
WBS	WOOD BASE STAINED
WC	WATER CLOSET
WD	WOOD
WDS	WOOD STAINED
WIN	WINDOW
W/O	WITHOUT
WP	WOOD PANELING PREFINISHED
WPP	WOOD PANELING PAINTED
WPS	WOOD PANELING STAINED
WS	WATER STOP
WSCOT	WAINSCOT
WT	WEIGHT
WWF	WELDED WIRE FABRIC

D	DRAIN
DBL	DOUBLE
DEMO	DEMOLISH, DEMOLITION
DEPT	DEPARTMENT
DF	DRINKING FOUNTAIN
DIA or Ø	DIAMETER
DIM	DIMENSION
DIV	DIVISION
DL	DEAD LOAD
DN	DOWN
DS	DOWN SPOUT
DSP	DRY STAND PIPE
DTL	DETAIL
DWG	DRAWING
E	EAST
EA	EACH
EF	EPOXY FLOOR
EFB	EPOXY FLOOR BASE
EJ	EXPANSION JOINT
EG	END GUARD
EL	ELEVATION
ET	EPOXY TERRAZZO FLOOR
ETB	EPOXY TERRAZZO BASE
ELECT	ELECTRICAL
EM	ENTRANCE MAT
EMER	EMERGENCY
ENCL	ENCLOSURE
EP	EPOXY PAINT
EQ	EQUAL
EQUIP	EQUIPMENT
EWC	ELECTRIC WATER COOLER
EXP	EXPANSION
EXIST	EXISTING
EXT	EXTERIOR
FA	FIRE ALARM
FBO	FURNISHED BY OTHERS
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FFE	FINISH FLOOR ELEVATION
FHC	FIRE HOSE CABINET
FHVC	FIRE HOSE VALVE CABINET
FE	FINISHED END
FLR	FLOOR
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF STUDS
FRF	FIREPROOFING
FRT	FIRE RESISTANT TREATED
FT	FOOT
FURR	FURRING
FV	FIELD VERIFY
FWC	FABRIC WALL COVERING
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GCLU	GLAZED CMU
GI	GALVANIZED IRON
GL	GLASS
GLB	GLASS BLOCK
GMT	GLASS MOSAIC TILE
GMTW	GLASS MOSAIC TILE WALL
GR	GRADE
GYP	GYPSUM
GYP BD	GYPSUM BOARD
HC	HOLLOW CORE
HDR	HEADER
HDW	HARDWARE
HDWD	HARDWOOD
HGT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HANDRAIL
HVAC	HEATING VENTILATION AIR CONDITIONING
ID	INSIDE DIAMETER
INCL	INCLUDING
INSUL	INSULATION
INT	INTERIOR
IPS	IRON PIPE SIZE
J	JOIST
JAN	JANITOR
JT	JOINT
KIT	KITCHEN
KO	KNOCKOUT
L	LENGTH/LONG
LAB	LABORATORY
LAM	LAMINATE
LH	LEFT HAND
LI	LINOLEUM
LIB	LINOLEUM COVERED BASE
LIT	LINOLEUM TILE
LL	LIVE LOAD
M	METER
MAS	MASONRY
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBER BOARD
MED	MEDIUM
MEMB	MEMBRANE
MTL	METAL
MFGR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MM	MILLIMETER
MO	MASONRY OPENING
MOD	MODULAR
MTD	MOUNT(ED) (ING)
MUL	MULLION
N	NORTH
NAT	NATURAL
NIC	NOT IN CONTRACT
NO or #	NUMBER
NOM	NOMINAL
NRC	NOISE REDUCTION COEFFICIENT
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFD	OVERFLOW ROOF DRAIN
OFF	OFFICE
OFOI	OWNER FURNISH OWNER INSTALL
OFCI	OWNER FURNISH CONTRACTOR INSTALL
OZH	OVERHEAD
OH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
P	PAINT(ED)
PARA	PARALLEL
PBD	PARTICLE BOARD
PCF	POUNDS PER CUBIC FOOT
PERF	PERFORATED
PERI	PERIMETER
PFL	POUNDS PER LINEAR FOOT
PL	PLATE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLYWD	PLYWOOD
PP	PORCELAIN PAVER
PPB	PORCELAIN PAVER BASE
PPW	PORCELAIN PAVER WALL
PR	PAIR
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
QT	QUARRY TILE
QTB	QUARRY TILE BASE
R	RISER
RI	RADIUS
RB	RUBBER BASE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFERENCE
REFR	REFRIGERATOR
REINF	REINFORCING
REQ	REQUIRE(D) (ING)
REV	REVISION
RH	RIGHT HAND
RM	ROOM(S)
ROW	RIGHT OF WAY
RVWC	RIGID VINYL WALL COVERING
S	SOUTH
SB	SPLASH BLOCK
SC	SOLID CORE
SCHED	SCHEDULE
SECT	SECTION
SHR	SHOWER
SIM	SIMILAR
SPECS	SPECIFICATION(S)
SPK	SPEAKER
SQ	SQUARE
SS	STAINLESS STEEL
ST	STONE
STC	STONE COUNTERTOP
STW	STONE WALL
STB	STONE BASE
STC	STAINED CONCRETE
STD	STANDARD
STL	STEEL
STO	STORAGE
STRUCT	STRUCTURAL
SV	SHEET VINYL
SVB	SHEET VINYL COVERED BASE
SYM	SYMMETRICAL
SYS	SYSTEM
TB	TACK BOARD
TOC	TOP OF CURB
TOSC	TOP OF STRUCTURAL STEEL
TEL	TELEPHONE
THK	THICK
TOB	TOP OF BEAM
TOP	TOP OF PAVEMENT
TOM	TOP OF MASONRY
TOS	TOP OF STEEL (BOTTOM OF ROOF DECK)
TP	TOILET PARTITION
TV	TELEVISION
TYP	TYPICAL
TZ	TERRAZZO
TZB	TERRAZZO BASE
UC	UNDERCUT
UNO	UNLESS OTHERWISE NOTED
USC	UNDER SEPARATE CONTRACT
VAR	VARNISH
VB	VAPOR BARRIER
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VT	VINYL TILE
VTR	VENT THROUGH ROOF
VWC	VINYL WALL COVERING
W	WEST
W/	WITH
WBP	WOOD BASE PAINTED
WBS	WOOD BASE STAINED
WC	WATER CLOSET
WD	WOOD
WDS	WOOD STAINED
WIN	WINDOW
W/O	WITHOUT
WP	WOOD PANELING PREFINISHED
WPP	WOOD PANELING PAINTED
WPS	WOOD PANELING STAINED
WS	WATER STOP
WSCOT	WAINSCOT
WT	WEIGHT
WWF	WELDED WIRE FABRIC





**GARAGE EXISTING - NORTH**



**GARAGE EXISTING - WEST**



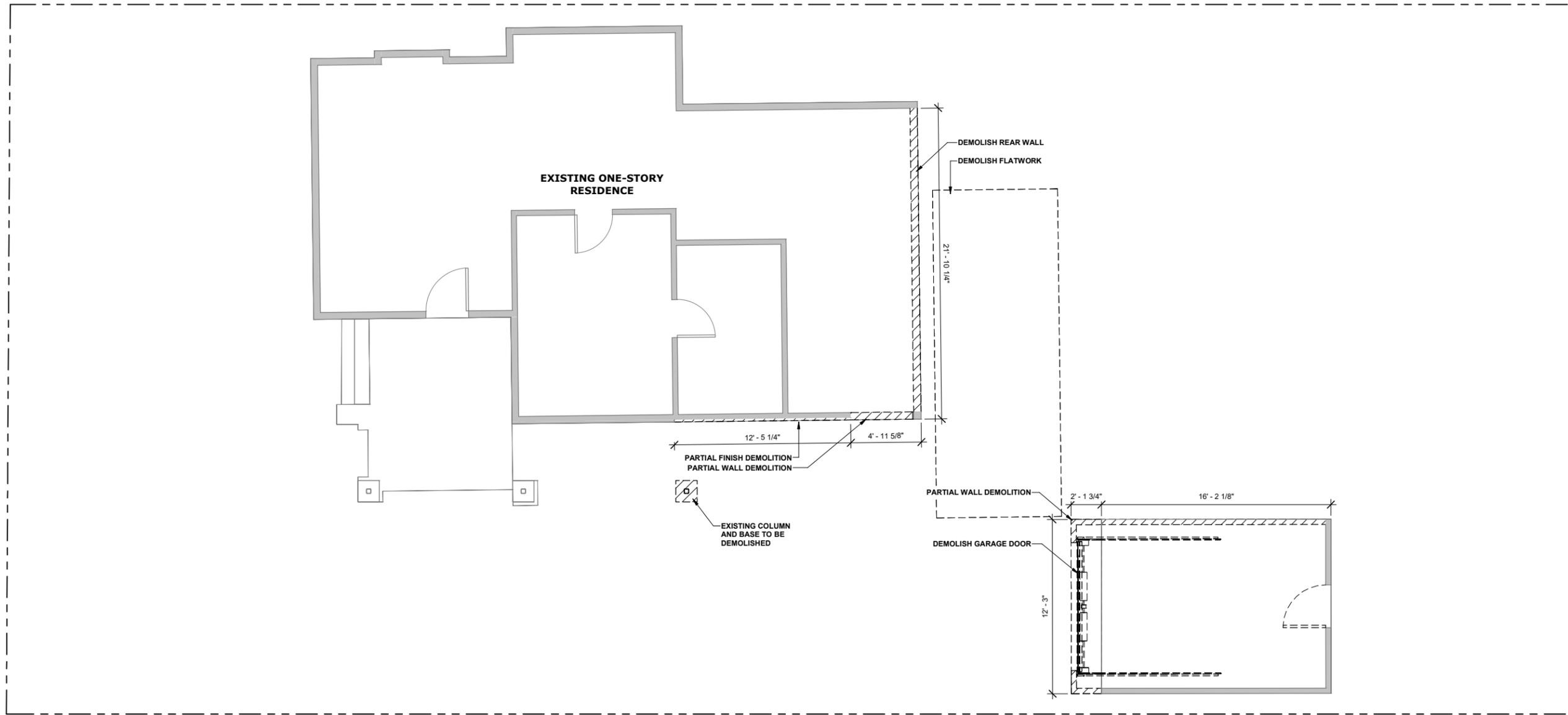
**GARAGE EXISTING - SOUTH**



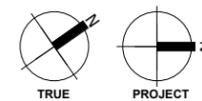
**RESIDENCE EXISTING - EAST**



**RESIDENCE EXISTING - NORTH**



1 DEMO PLAN  
1/4" = 1'-0"



ALL DRAWING SCALES ARE HALF OF NOTED SCALE  
WHEN PRINTED ON 11"X17" SHEET, U.N.O.

**EAST 42ND STREET**

502 E 42ND STREET  
AUSTIN, TX 78751



01/18/2021

THESE PLANS, DRAWINGS, AND SPECIFICATIONS  
ARE THE PROPERTY OF KEVIN OLSEN AND ANY  
USE IN WHOLE OR PART WITHOUT WRITTEN  
PERMISSION IS PROHIBITED.  
COPYRIGHT © 2021 KEVIN OLSEN

**REVISION SCHEDULE**

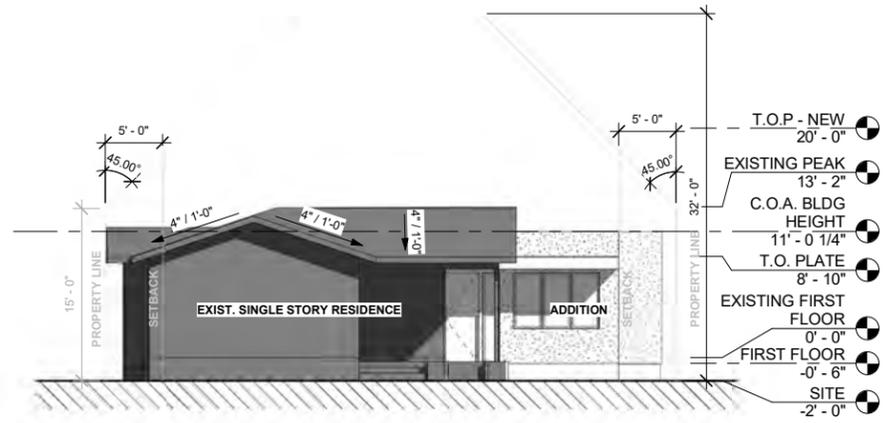
NUM	DESCRIPTION	DATE

01/18/2021

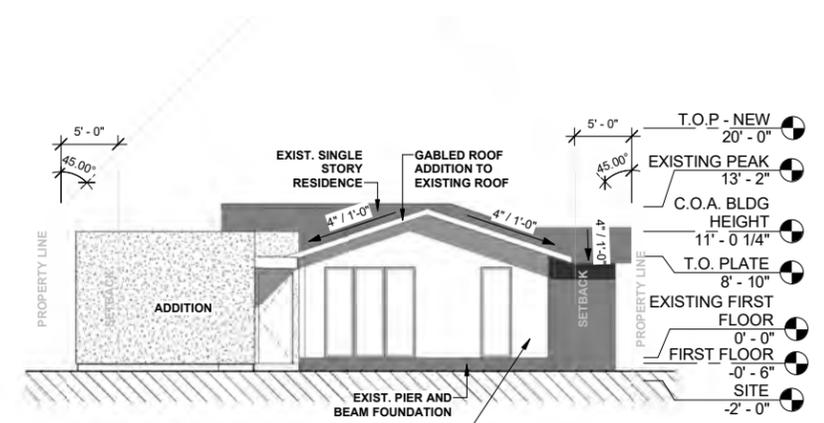
DEMO PLAN

**A0.2**

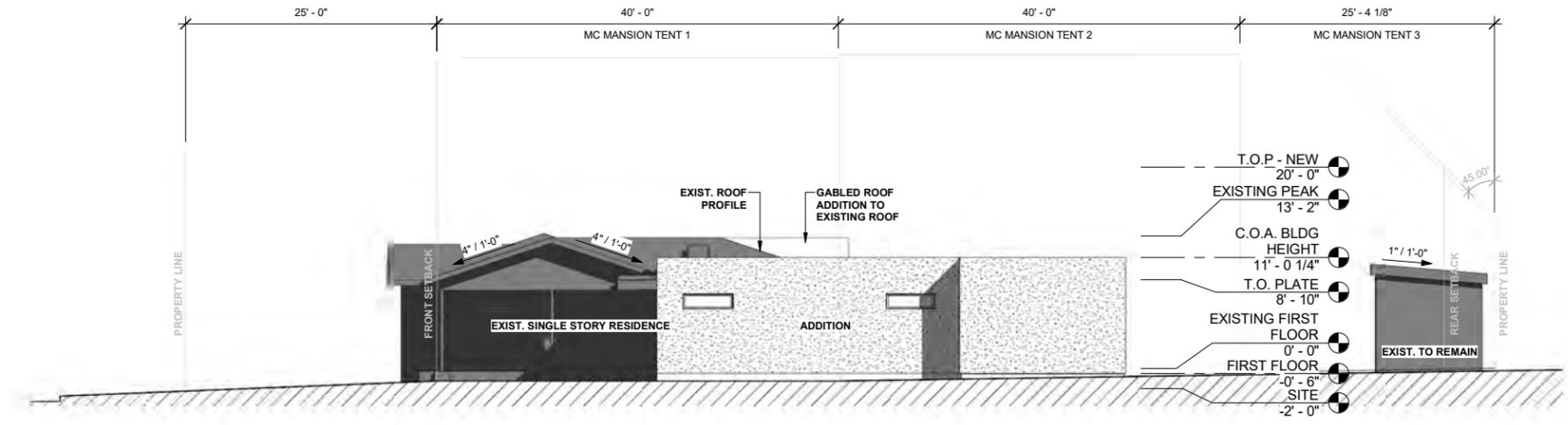




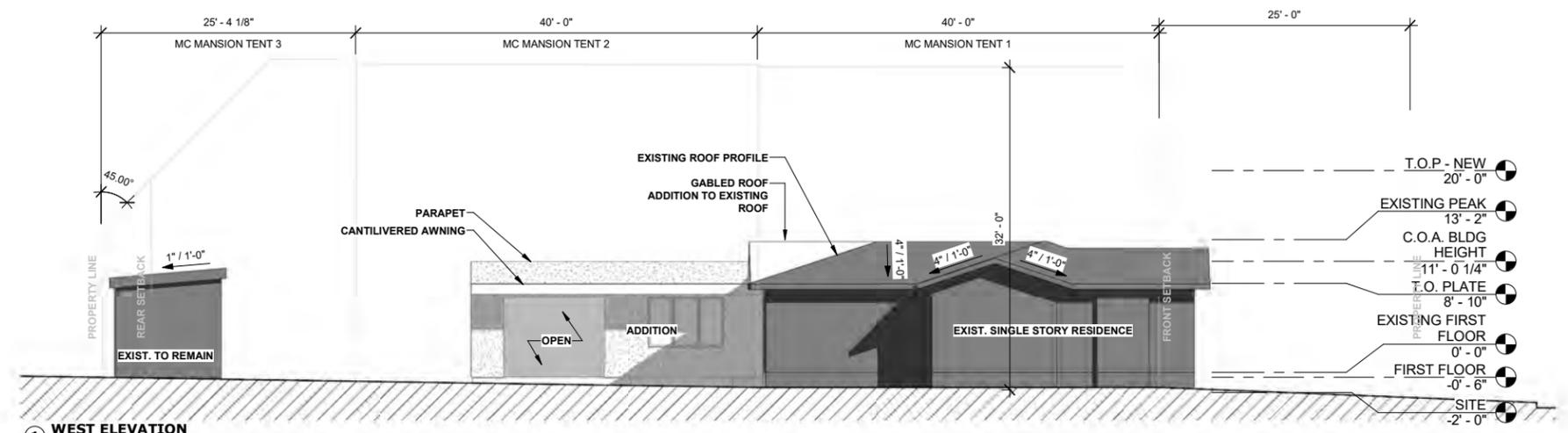
4 SOUTH ELEVATION  
1/8" = 1'-0"



3 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"



1 WEST ELEVATION  
1/8" = 1'-0"

EAST 42ND STREET  
502 E 42ND STREET  
AUSTIN, TX 78751



01/18/2021

THESE PLANS, DRAWINGS, AND SPECIFICATIONS ARE THE PROPERTY OF KEVIN OLSEN AND ANY USE IN WHOLE OR PART WITHOUT WRITTEN PERMISSION IS PROHIBITED.  
COPYRIGHT © 2021 KEVIN OLSEN

REVISION SCHEDULE

NUM	DESCRIPTION	DATE
-----	-------------	------

01/18/2021

ELEVATIONS

A2.0

ALL DRAWING SCALES ARE HALF OF NOTED SCALE WHEN PRINTED ON 11"X17" SHEET, U.N.O.