

Subchapter F					
Gross Floor Area					
This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.					
	Existing sq. ft. to remain	New/Added sq. ft.	Proposed Exemption (check article utilized)	Applied Exemption sq. ft.	Total sq. ft.
1 st Floor	863	600			1463
2 nd Floor					0
3 rd Floor					0
Area w/ ceilings > 15'	69.8	223	Must follow article 3.3.5		292.8
Ground Floor Porch ¹ (check article utilized)		121	Full Porch sq. ft. (3.3.3.A) 200 sq. ft. (3.3.3.A.2)	121	0
Basement ⁴			Must follow article 3.3.3B, see note below		0
Attic ⁵			Must follow article 3.3.3C, see note below		0
Garage ⁶ (check article utilized)	Attached		200 sq. ft. (3.3.2.B.1)		0
	Detached		450 sq. ft. (3.3.2.A.1/2a) 200 sq. ft. (3.3.2.B.2a/2b)		0
Carport ⁷ (check article utilized)	Attached		450 sq. ft. (3.3.2.A.3)		0
	Detached		200 sq. ft. (3.3.2.B.1) ² 450 sq. ft. (3.3.2.A.1)		0
Accessory Building(s) (detached)					0
Totals	1410.8	944	TOTAL GROSS FLOOR AREA		2233.8
(Total Gross Floor Area + Lot Area) x 100 = 37.35 Floor-To-Area Ratio (FAR)					
Is a sidewall articulation required for this project? Y N					
(Yes, if a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1.)					
Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y N					
(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)					

Site Development Information					
Area Description	Existing sq. ft. to Remain		New/Added sq. ft.		Total sq. ft.
	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2	Bldg. 1 Bldg. 2
a) 1 st Floor conditioned area	863	478	600		1463 478
b) 2 nd Floor conditioned area					0 0
c) 3 rd Floor conditioned area					0 0
d) Basement					0 0
e) Covered parking (garage or carport)					0 0
f) Covered patio, deck, porch, and/or balcony area(s)					0 0
g) Other covered or roofed area					0 0
h) Uncovered wood decks		000	000	000	0 0
Total Building Area (total a through h)	863	478	600	0	1463 478
i) Pool					0 0
j) Spa					0 0
k) Remodeled Floor Area, excluding Addition / New Construction	836				836 0

The Calculation Aid on page 7 is to be used to complete the following calculations and to provide additional information.

Building Coverage Information
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)
Total Building Coverage (sq ft): 1955 % of lot size: 33

Impervious Cover Information
Note: Impervious cover is the total horizontal area of covered spaces including building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)
Total Impervious Cover (sq ft): 2346.5 % of lot size: 39

Calculation Aid			
Area Description			
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.			
a) 1 st floor conditioned area	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
b) 2 nd floor conditioned area	1341	600	1941
c) 3 rd floor conditioned area	0	0	0
d) Basement	0	0	0
e) Attached Covered Parking (garage or carport)	0	0	0
f) Detached Covered Parking (garage or carport)	0	0	0
g) Covered Wood Decks (counted at 100%)	0	0	0
h) Covered Patio	0	0	0
i) Covered Porch	114	0	114
j) Balcony	0	0	0
k) Other - Specify:	0	0	0
Total Building Area (TBA) (add a through k)	1455	600	2055
Total Building Coverage (TBC) (from TBA subtract, if applicable: b, c, d, and j)	(A) 1455	600	(B) 2055
l) Driveway	125.5	0	125.5
m) Sidewalks	40	0	40
n) Uncovered Patio	0	128	128
o) Uncovered Wood Decks (counted at 50%)	0	0	0
p) AC pads and other concrete flatwork	7	0	7
q) Other (Pool Coping, Retaining Walls)	76	0	76
Total Site Impervious Coverage (add: TBC and l through q)	(C) 1703.5	728	(D) 2431.5
r) Pool	0	0	0
s) Spa	0	0	0

Building Coverage Information
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Lot Area (sq. ft.): 5980

Existing Building Coverage (see above A, sq. ft.): 1455
Existing Coverage % of lot (A ÷ Lot Area) x 100 : 22.4 %

Final Building Coverage (see above B, sq. ft.): 2055
Final Coverage % of lot (B ÷ Lot Area) x 100 : 32.45 %

Impervious Cover Information
Note: Impervious cover is the total horizontal area of covered spaces including all building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

Existing Impervious Coverage (see above C, sq. ft.): 1703.5
Existing coverage % of lot (C ÷ Lot Area) x 100 : 28.48 %

Final Impervious Coverage (see above D, sq. ft.): 2431.5
Final coverage % of lot (D ÷ Lot Area) x 100 : 40.66 %

PROPOSED TOTAL GROSS FLOOR AREA = 37.35% OF LOT (40% ALLOWED)

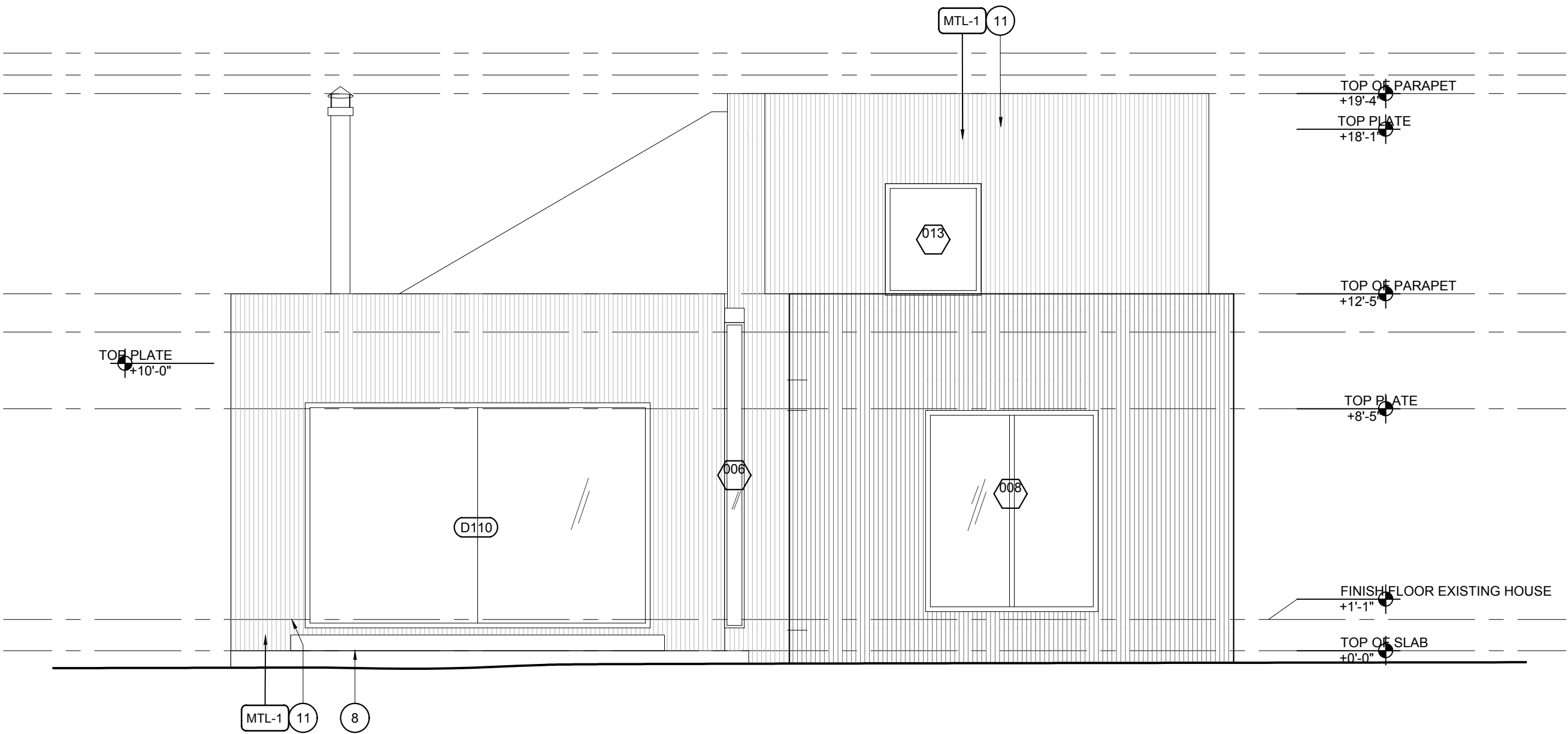
PROPOSED TOTAL IMPERVIOUS COVER: 2346.5 SQ FT = 39% OF LOT (45% ALLOWED)

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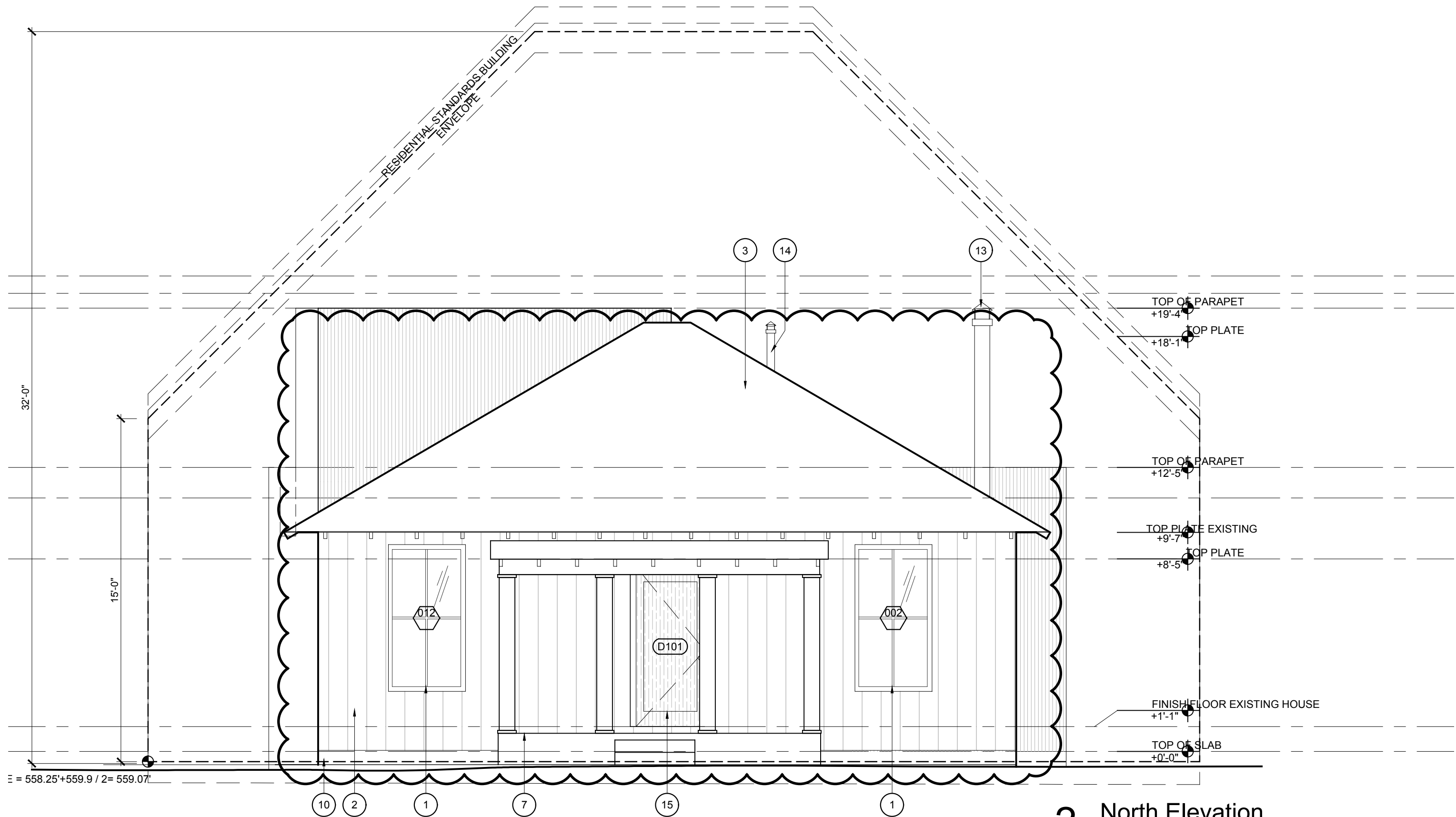
Brosnan Residence
1304 Bob Hartman Street
Austin Texas 78702

Permit Set
Rev 1
Date
5/18/2021
Permit Set
3/4/2021

1/16" = 1'-0" 11X17 SHEET
1/8" = 1'-0" 22X34 SHEET
Sheet Title
PLANS
Sheet Number
A1.0



1 South Elevation
Scale:



2 North Elevation
Scale:

Elevation & Section General Notes:

- The dimensions on this sheet are based off of the face of finish material or masonry. All dimensions are to face of finish material, edge of awning, or centerline of support, unless otherwise noted.
- Contractor (GC) to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, notify Fox Fox Studio immediately.
- Elevations are shown for reference only. Refer to Building Plans, Sections, Wall Sections and Window Elevations for additional information.
- All glass to be tempered in areas required by applicable code.
- Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
- Keynotes located on this sheet are for this sheet only.
- Do not scale the drawings. If a specific dimension is not given, contact Fox Fox Studio for clarification.
- Refer to Sheet A0.1-General Conditions for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.
- Install all products per manufacturer's recommendations.

Elevation & Section Keynotes:

- Wood-clad replacement window, double hung, 1 over 1 to match original window.
- Existing wood siding and trim, rehang and repaint.
- Replace existing asphalt roof with new low profile historically appropriate metal roof.
- Re-roofing structure, 4x8 joists to supports.
- Overframed roof cricket.
- Support downspouts.
- Existing covered porch, repair and rebuild as necessary to existing design.
- Concrete rear deck.
- Skylight.
- Stucco underpinning.
- New Metal siding.
- AC.
- Existing chimney to remain.
- Existing chimney to remain, remove if determined to be a non-original plumbing vent.
- New wood replacement exterior door to match original from period, existing location.

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Brosnan Residence

1304 Bob Hartman Street
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Project

Issue

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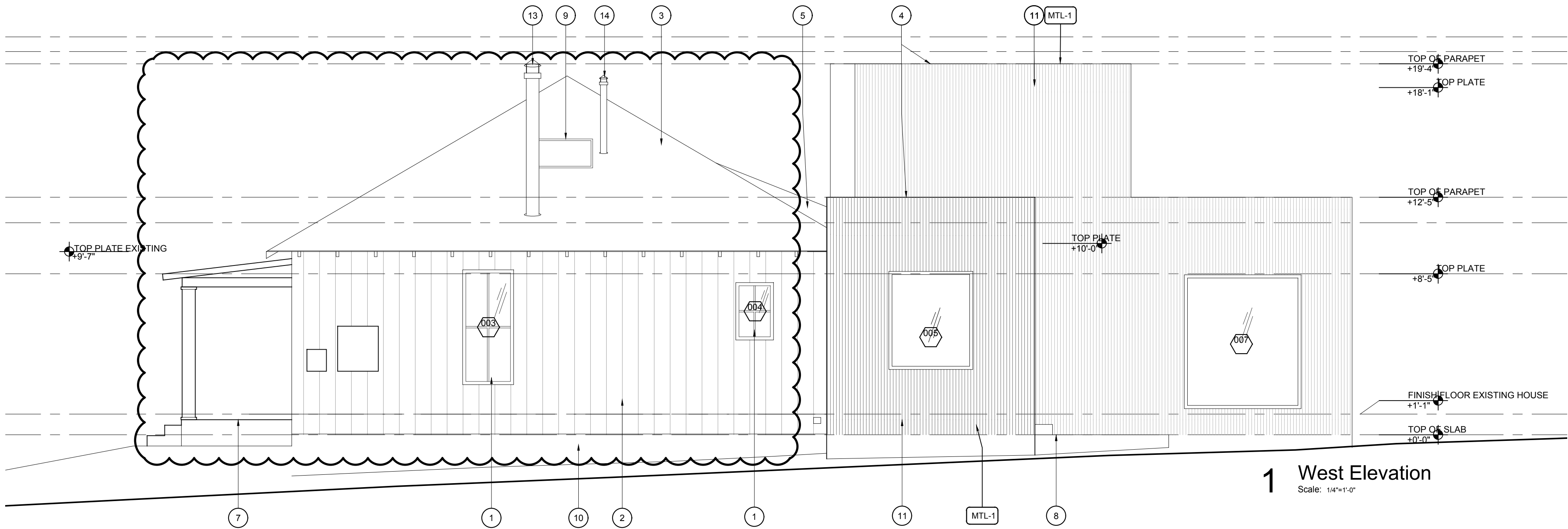
1/8" = 1'-0" 11X17 SHEET
1/4" = 1'-0" 22X34 SHEET

Sheet Title

Building
Elevations

Sheet Number

A3.1

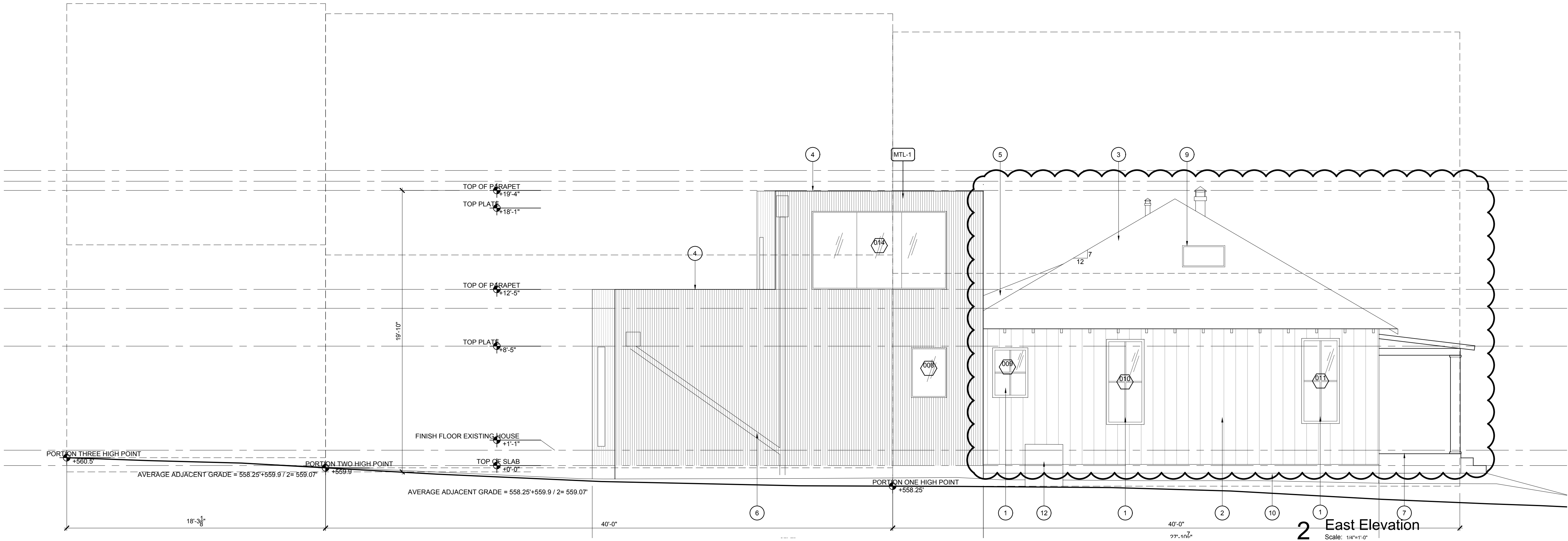


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8. Refer to Sheet A0.1-General Conditions for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.
9. Install all products per manufacturer's recommendations.

Elevation & Section Keynotes:

1. Wood-clad replacement window, double hung, 1 over 1 to match original window.
2. Existing wood siding and trim, re-stain and paint.
3. Replace existing asphalt roof with new low profile historically appropriate metal roof.
4. Existing masonry chimney, repair and rebuild as necessary to existing design.
5. Overframed roof cricket.
6. Soffit downspouts.
7. Existing covered porch, repair and rebuild as necessary to existing design.
8. Concrete rear deck.
9. Skylight.
10. Stucco underpinning.
11. New Metal siding.
12. AC.
13. Existing chimney to remain.
14. Existing chimney to remain, remove if determined to be a non-original plumbing vent.
15. New wood replacement exterior door to match original from period, existing location.



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Building
Elevations

A3.2