



REVISIONS

RB ARCHITECT  
AND ASSOCIATES, PLLC



ROEL BAZAN, AIA

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Austin, Texas 78759  
(512) 794-2866  
rbarch3@bnetmail.com

The Salazar Residence  
2810 Gonzales St.  
Austin, Texas 78702  
ELEVATIONS

ATX design group

1301 E. IH 35, Suite 315  
Austin, Texas 78704  
e-mail: rd@atxdesign.com



DATE: 10/8/2018

SCALE: 1/8"=1'-0"

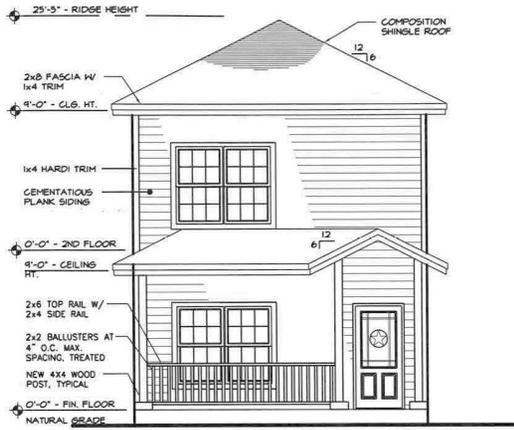
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FILE: S:\Projects\2018\2018-02-01

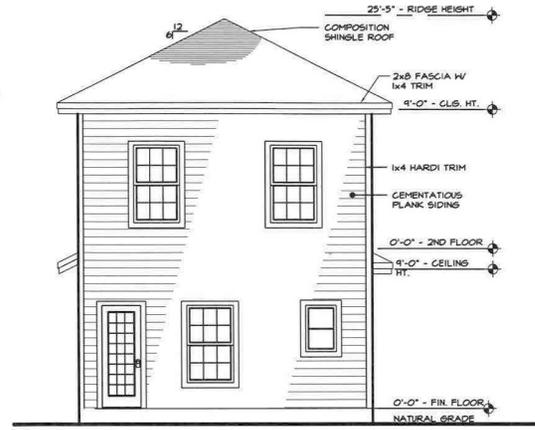
SHEET 2

A2

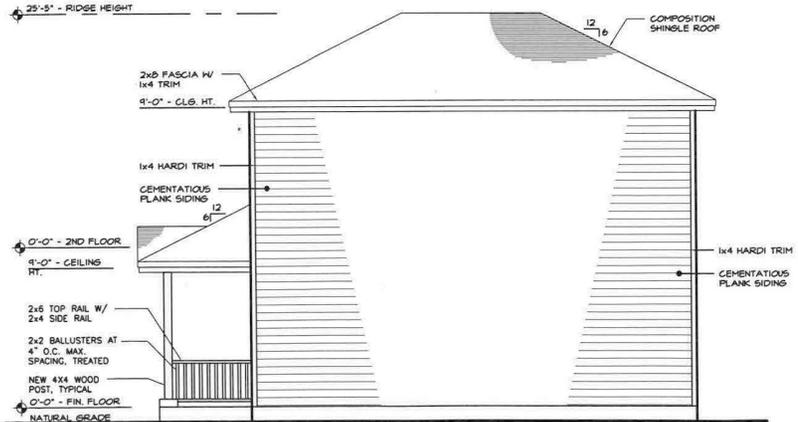
OF 9 SHEETS



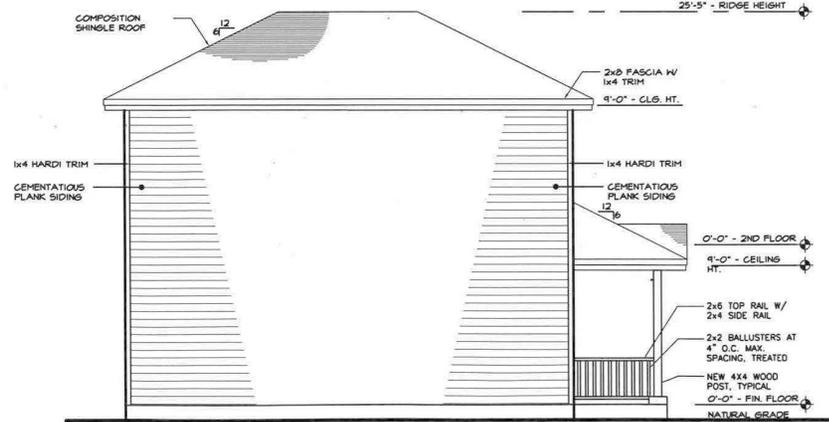
1 FRONT ELEVATION  
SCALE: 1/8"=1'-0"



2 REAR ELEVATION  
SCALE: 1/8"=1'-0"



3 RIGHT ELEVATION  
SCALE: 1/8"=1'-0"



4 LEFT ELEVATION  
SCALE: 1/8"=1'-0"

City of Austin  
REVIEWED FOR CODE COMPLIANCE



REVISIONS

RB ARCHITECT  
AND ASSOCIATES, PLLC



ROEL BAZAN, AIA

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(512) 791-2386  
rbaz32@gmail.com

The Salazar Residence  
2810 Gonzales St.  
Austin, Texas 78702  
WALL SECTION AND STAIR DETAIL

design group

1301 E. H. '35, Suite 315  
Austin, Texas 78704  
e-mail: rdaz@atxdesign.com



DATE: 10/8/2018

SCALE: 1/8"=1'-0"

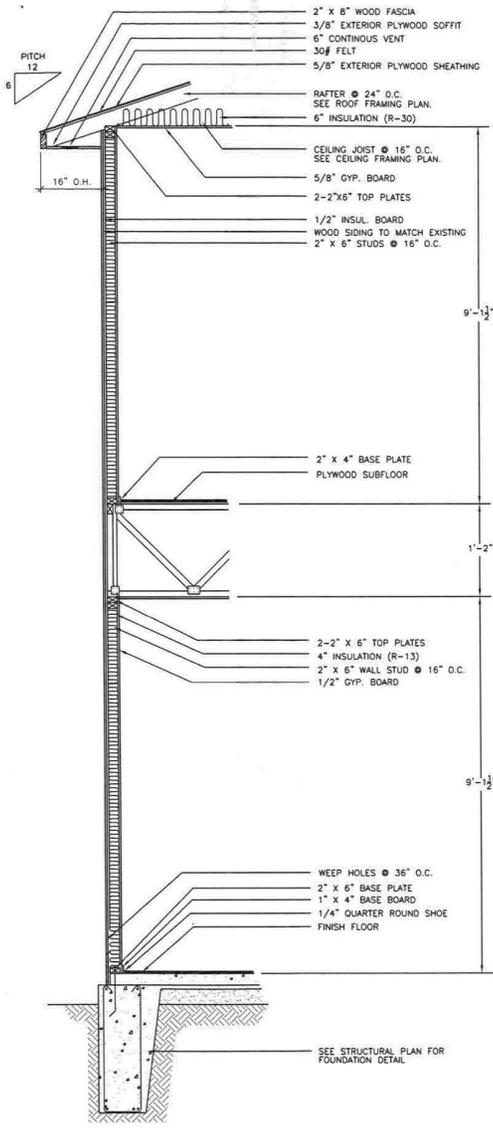
DRAWN: RD/MAD

FILE: 210801 SALAZAR ROR

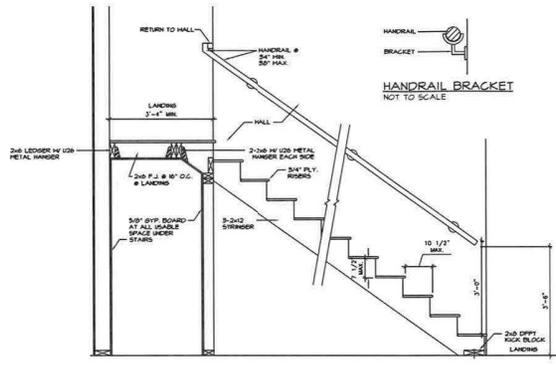
SHEET 3

A3

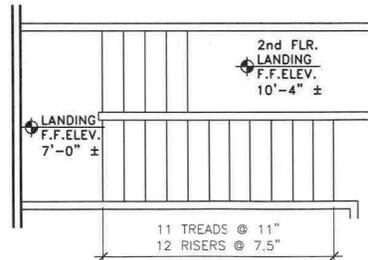
OF 9 SHEETS



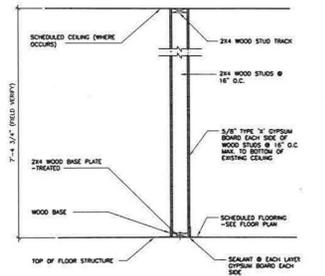
1 WALL SECTION AT WOOD SIDING  
SCALE: 3/8"=1'-0"



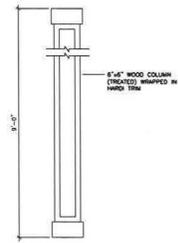
3 STAIR DETAIL  
SCALE: 1/4"=1'-0"



2 STAIR PLAN  
SCALE: 3/16"=1'-0"



4 INTERIOR WALL PARTITION  
SCALE: 1/4"=1'-0"



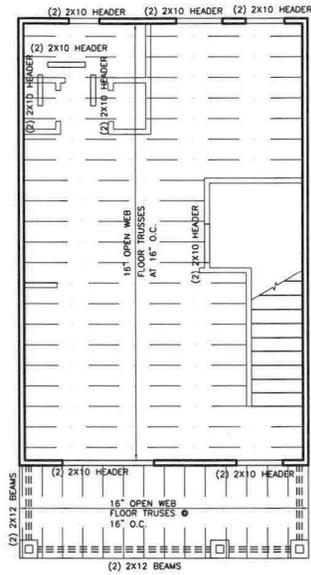
5 WOOD COL.  
SCALE: 1/4"=1'-0"

City of Austin  
REVIEWED FOR CODE COMPLIANCE

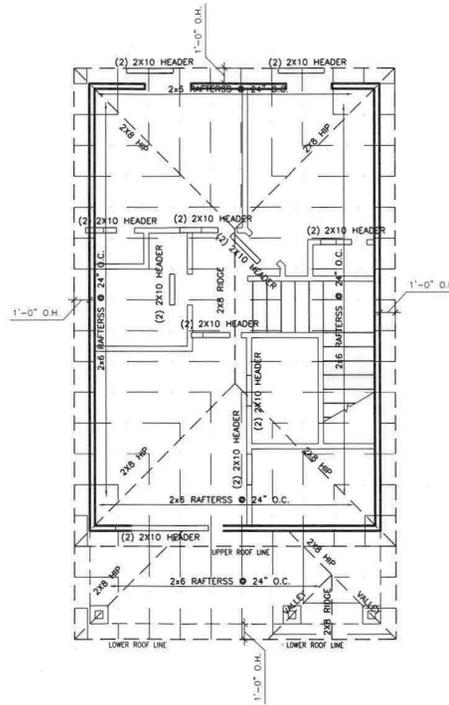


City of Austin  
REVIEWED FOR CODE COMPLIANCE

OCTOBER 8, 2018



**1 FIRST FLOOR FRAMING PLAN**  
SCALE: 1/8"=1'-0"



**2 ROOF FRAMING PLAN**  
SCALE: 1/8"=1'-0"

**CEILING JOISTS SPAN CHARTS & NOTES**

MAXIMUM CLEAR SPAN FOR CEILING JOISTS LIMITED ATTIC STORAGE			
SIZE	24" O.C.	16" O.C.	12" O.C.
2x6	10'-10"	13'-1"	15'-2"
2x8	14'-3"	17'-3"	19'-11"
2x10	18'-3"	22'-1"	25'-5"

FOR MATERIAL WITH E=1.6 Fb=1400 i.e. #2 KDYP  
DESIGN LOADS 20 psf LIVE 10 psf DEAD

- NOTE:
- UNLESS NOTED OTHERWISE: ALL JOIST TO BE #2 KDYP.
  - UNLESS NOTED OTHERWISE: ALL BEAMS TO BE #2 KDYP.
  - UNLESS NOTED OTHERWISE: FRAMING UNDER HVAC TO BE 2x8's @ 16" O.C. WITH 3/4" PLYWOOD DECKING AS REQUIRED. PROVIDE 36" WIDE CATWALK FROM STAIRCASE.
  - BUILDER TO VERIFY SIZING AND SPACING OF JOIST AND BEAMS PRIOR TO CONSTRUCTION.
  - UNLESS NOTED OTHERWISE: ALL JOIST AT HALL #1 AND #2 TO BE 2x6's AT 16" O.C. WITH NO ATTIC STORAGE.

**ROOF RAFTERS SPAN CHARTS & NOTES**

MAXIMUM CLEAR SPAN FOR RAFTERS NO GYPSUM BOARD			
SIZE	24" O.C.	16" O.C.	12" O.C.
2x6	11'-5"	14'-0"	16'-2"
2x8	15'-1"	18'-5"	21'-4"
2x10	19'-3"	23'-7"	27'-2"

FOR MATERIAL WITH E=1.6 Fb=1400 i.e. #2 KDYP  
DESIGN LOADS 20 psf LIVE 7 psf DEAD

MAXIMUM CLEAR SPAN FOR RAFTERS WITH GYPSUM BOARD			
SIZE	24" O.C.	16" O.C.	12" O.C.
2x6	10'-0"	12'-4"	14'-2"
2x8	13'-3"	16'-3"	18'-9"
2x10	16'-11"	20'-8"	23'-11"
2x12	20'-6"	25'-2"	29'-1"

FOR MATERIAL WITH E=1.6 Fb=1400 i.e. #2 KDYP  
DESIGN LOADS 20 psf LIVE 15 psf DEAD

- NOTE:
- UNLESS NOTED OTHERWISE: ALL JOIST TO BE #2 KDYP.
  - UNLESS NOTED OTHERWISE: ALL BEAMS TO BE #2 KDYP.
  - UNLESS NOTED OTHERWISE: FRAMING UNDER HVAC TO BE 2x8's @ 24" O.C. WITH 3/4" PLYWOOD DECKING AS REQUIRED.
  - BUILDER TO VERIFY SIZING AND SPACING OF JOIST AND BEAMS PRIOR TO CONSTRUCTION.
  - UNLESS NOTED OTHERWISE: ALL JOIST TO BE 2x6's @ 24" O.C. WITH NO ATTIC STORAGE UNLESS NOTED.

REVISIONS

**LOC Consultants**  
Civil, Structural and Environmental Engineers  
Professional Engineering No. 0182, 504-0877  
1715 E. 7TH STREET  
AUSTIN, TEXAS 78702-4288

The Salazar Residence  
2810 Gonzales St.  
Austin, Texas 78702  
**Framing Plans**

**ATX design group**  
1301 S. IH 35, Suite 315  
Austin, Texas 78741  
email: info@atxdesign.com



DATE: 10/8/2018

SCALE: 1/8"=1'-0"

DRAWN: AAB

FILE: C:\USER\AAB\WORK\Salazar-18-281

SHEET 4

**A4**

OF 9 SHEETS



**CS-WSP**  
 (Continuous wood structural panel sheathing)  
 4x8 Wood structural panel sheathing w/ a thickness not less than 3/8" OSB for 16" stud spacing. Nailing: 6d common @6" o.c. all edges @12" o.c. in field. Fasten sheathing to header w/ 8d common nails in 3" grid pattern and 3" o.c. in all framing (studs and sills) typ.

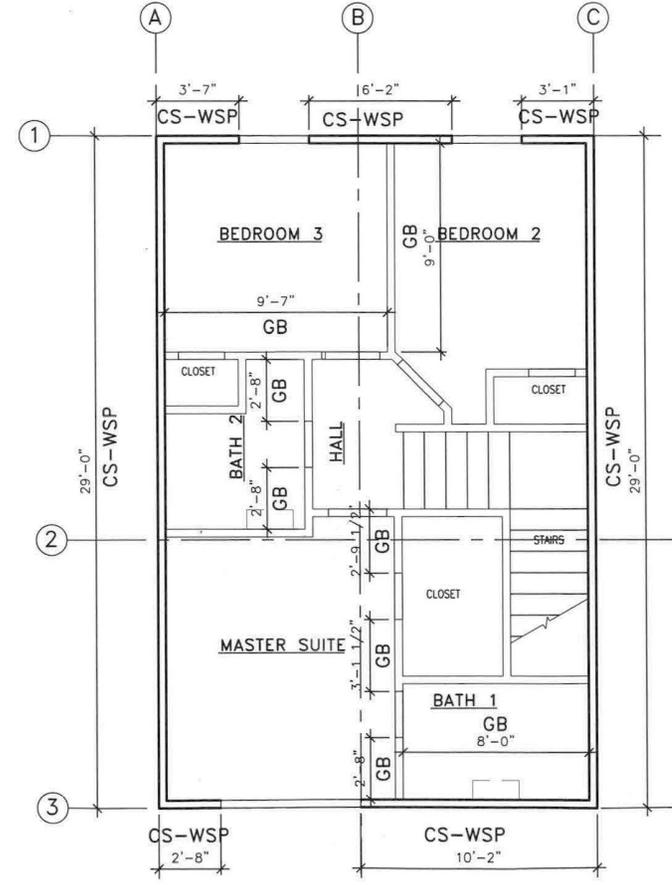
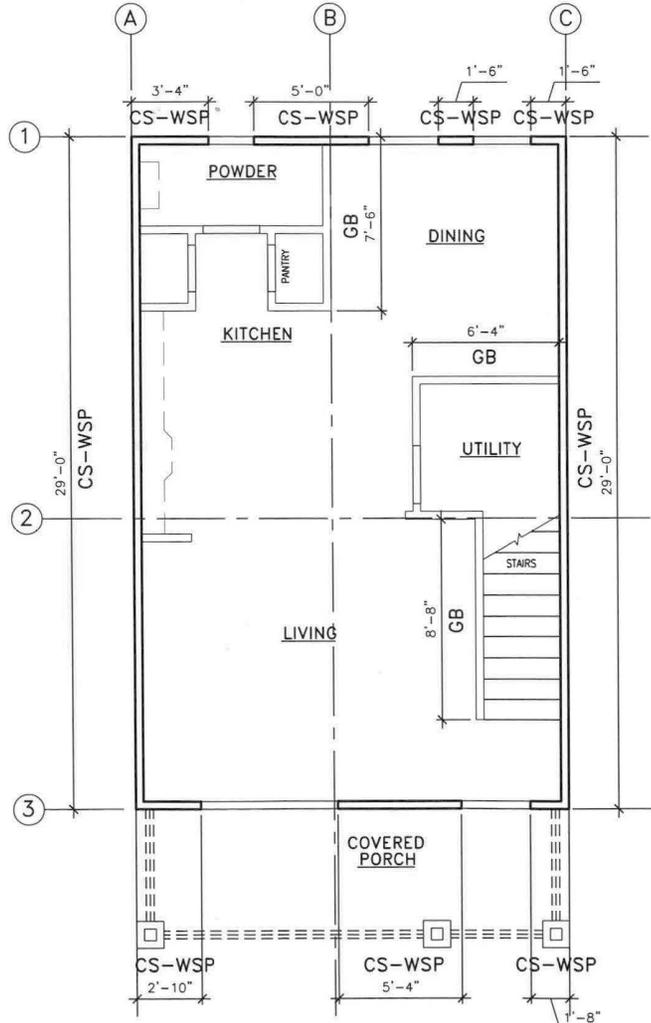
**CS-G**  
 (Continuous sheathing adjacent to garage opening)  
 4x8 Wood structural panel sheathing w/ a thickness not less than 3/8" OSB for 16" stud spacing. Nailing: 6d common @6" o.c. all edges @12" o.c. in field. Fasten sheathing to header w/ 8d common nails in 3" grid pattern and 3" o.c. in all framing (studs and sills) typ.

**GB**  
 (Gypsum board panel)  
 4x8 Gypsum panel w/ a thickness not less than 1/2" for 16" stud spacing. Nails and screws at 7" spacing at panel edges including top and bottom plates for all braced wall panel locations. For interior Gypsum board nail or screw size, see IRC table R702.3.5.

City of Austin  
 REVIEWED FOR CODE COMPLIANCE



OCTOBER 8, 2018

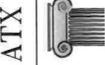


REVISIONS

**LOC** Consultants  
 Civil, Structural and Environmental Engineers  
 Texas Registered Engineering Firm No. 017-34-0071  
 AUSTIN TEXAS 78702-4208

The Salazar Residence  
 2810 Gonzales St.  
 Austin, Texas 78702  
 Bracing Plans

**ATX** design group  
 1301 S IH 35, Suite 315  
 Austin, Texas 78741  
 email: atxdesign@aetd.com



DATE: 10/8/2018  
 SCALE: 1/8"=1'-0"  
 DRAWN: RD/SR  
 FILE: 15007-18-02  
 SHEET 6

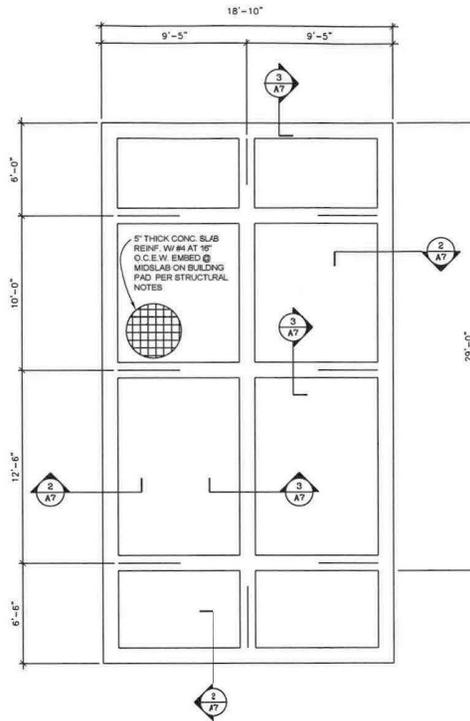
**A6**  
 OF 9 SHEETS

**FOUNDATION NOTES**

- REMOVE ALL VEGETATION AND TOP SOIL FROM THE BUILDING AREA. STOCKPILE TOP SOIL FOR USE AT THE END OF PROJECT. EXCAVATE THE EXISTING SUB-GRADE TO A DEPTH OF 1.5 FEET WITHIN BUILDING PERIMETER.
- RE-COMPACT THE NEXT 8" OF SOIL TO 95% OF MAX DENSITY PER ASTM D698. THEN BACKFILL WITH 8" LIFTS OF STRUCTURAL FILL. COMPACT TO A DENSITY OF 95% PER ASTM D698 AT MOISTURE CONTENT EQUAL TO OR GREATER THAN THE OPTIMUM MOISTURE CONTENT FOR COHESIVE FILL AND AT WORKABLE MOISTURE CONTENT FOR GRANULAR FILL.
- STRUCTURAL FILL SHALL CONSIST OF GRANULAR MATERIAL FREE OF ORGANIC MATTER AND DEBRIS. NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF GRAVEL, CRUSHED STONE AND SAND ASTM D 2950 WITH AT LEAST 66 PERCENT PASSING A 1 1/2 INCH SIEVE AND NOT MORE THAN 20% PASSING NO. 200 U.S. STANDARD SIEVE. A PLACIC INDEX OF 15 OR LOWER IS REQUIRED.
- COMPACTION AND MOISTURE CONTENT OF SUB-GRADE AND EACH LFT SHALL BE MONITORED BY INSPECTOR.
- ALLOWABLE BEARING = 1500 PSF.
- FOOTING EXCAVATION SHALL BE NEAT AND FREE OF LOOSE OR WET MATERIALS.
- THE VAPOR BARRIER BELOW ALL SLAB AREAS SHALL BE 15 MIL POLYETHYLENE WITH ALL JOINTS LAPPED 12" CONTINUOUS AND SEALED. DROP VAPOR BARRIER DOWN THE SIDES OF ALL BEAM TRENCHES. DO NOT PLACE VAPOR BARRIER ACROSS TRENCH BOTTOM.
- IF BEARING SOILS ARE SOFTENED BY SURFACE WATER INTRUSIONS DURING EXPOSURE OR BY DESICCATION, THE UNSUITABLE SOILS MUST BE REMOVED FROM THE FOUNDATION EXCAVATION PRIOR TO PLACEMENT OF CONCRETE.
- GRADE AREA AROUND BUILDING TO DRAIN WATER AWAY FROM THE BUILDING.
- SEE ELEC. & PLUMBING DWGS FOR SLAB & WALL PENETRATIONS.

**REINFORCING CONCRETE NOTES**

- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318-11.
- ALL CONCRETE SHALL HAVE A SPECIFIED MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- SUMP 3" TO 5" WITH MAX. WATER/CEMENT RATIO OF .345.
- PROVIDE 5% ± 1-1/2% OF ENTRAINED AIR IN CONCRETE PERMANENTLY EXPOSED TO THE WEATHER.
- EMBEDDED CONDUITS, PIPES AND SLEEVES SHALL MEET THE REQUIREMENTS OF ACI 318-99 SECT. 6.3.
- REINFORCING STEEL SHALL BE DEFORMED BARS IN CONFORMANCE WITH ASTM A615 GRADE 60.
- DETAILING OF REINFORCING STEEL IN ACCORDANCE WITH ACI DETAILING MANUAL.
- MIN. LAP 36 X BAR DIA. (NOMINAL).
- STEEL CLEAR COVER: GRADE BEARS - 1 1/2" TOP, 2" BOT. AND 2" SIDE (FORMED); 3" SIDE (PLACE AGAINST EARTH).
- SLAB ON GRADE - 3" BOT. AND 1 1/2" TOP.
- PROVIDE CORNER AND INTERSECTION REINF. AS SHOWN IN STD. DETAIL 56.0.
- FINISHED FLOOR ELEVATIONS SHALL BE MIN. 6" ABOVE FINISH GRADE.
- PROVIDE 2" DOVEL BETWEEN NEW AND EXISTING CONCRETE 12" ON CENTER. TYP.

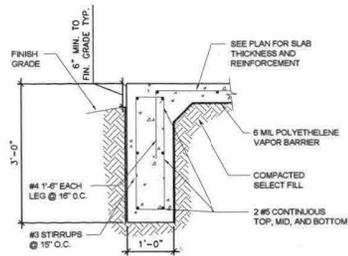


REVISIONS

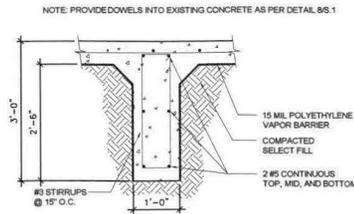
**LOC** Consultants  
 Civil, Structural and Environmental Engineers  
 Texas Registered Engineering Firm F-4756  
 1101 W. BRIDGES BLVD.  
 AUSTIN, TEXAS 78702-4028  
 Ph. (512) 512-1877

The Salazar Residence  
 2810 Gonzales St.  
 Austin, Texas 78702  
**Foundation Plan and Details**

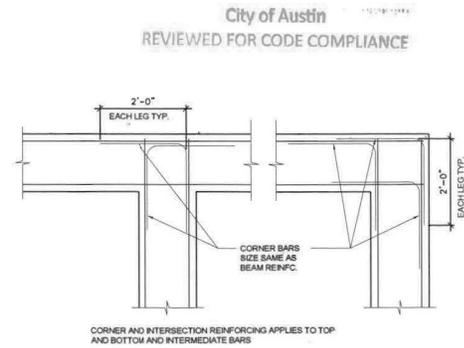
PLAN NORTH **1 FOUNDATION PLAN**  
 SCALE: 1/8"=1'-0"



**2 FOUNDATION SECTION**  
 SCALE: 3/8"=1'-0"



**3 FOUNDATION SECTION**  
 SCALE: 1/8"=1'-0"



**4 FOUNDATION SECTION**  
 SCALE: 3/8"=1'-0"

City of Austin  
 REVIEWED FOR CODE COMPLIANCE

ATX design group  
 1301 S IH 35, Suite 315  
 Austin, Texas 78741  
 email: rdn@atxdesign.com

DATE: 10/8/2018  
 SCALE: VARIES  
 DRAWN: MAD  
 FILE: SALAZAR.FND  
 SHEET 7  
**A7**  
 OF 9 SHEETS

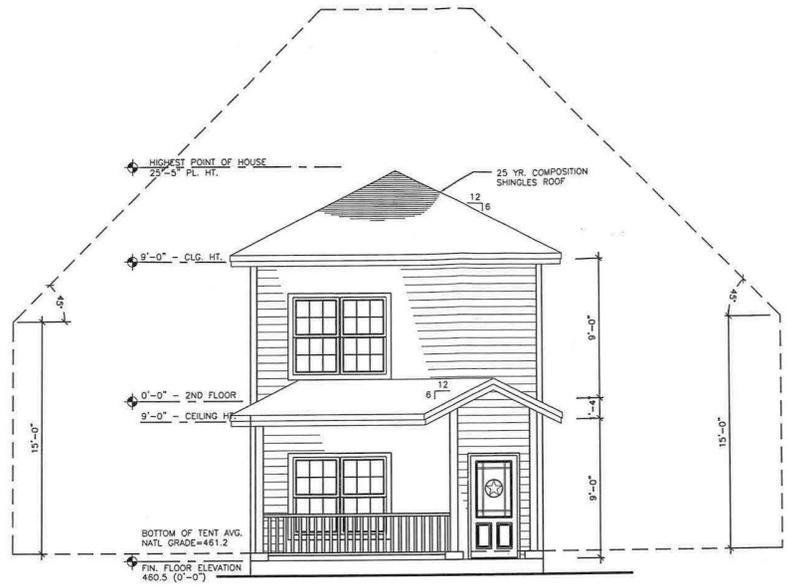


REVISIONS

RB ARCHITECT  
P.L.L.C.

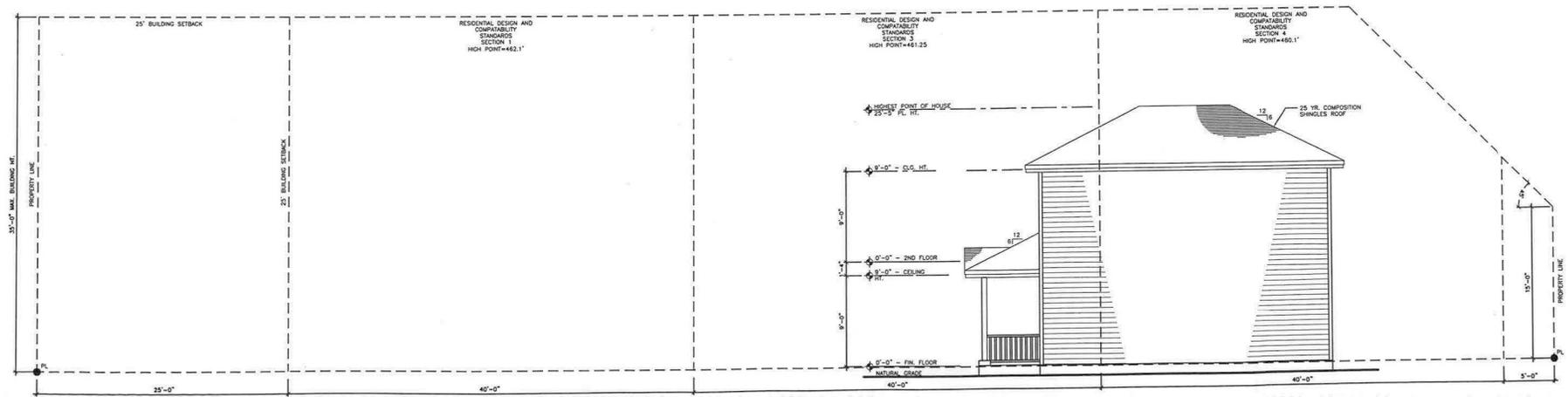
ROEL BAZAN, RA

11502 Kalya Cove  
Austin, Texas 78739  
(512) 791-2986  
rbarch2@gmail.com



**1 FRONT ELEVATION - GONZALES ST. VIEW**  
SCALE: 1/8"=1'-0"

City of Austin  
REVIEWED FOR CODE COMPLIANCE



**2 RIGHT ELEVATION**  
SCALE: 3/32"=1'-0"

The Salazar Residence  
2810 Gonzales St.  
Austin, Texas 78702  
ENVELOPE ELEVATIONS

ATX design group

1301 S. JIM OS, Suite 3015  
Austin, TX 78746  
Mobile: 512.544.5211  
e-mail: rbarney.atx@gmail.com

DATE: 10/8/2018
SCALE: VARIES
DRAWN: RD/MAD
FILE: C:\GONZALEZ\BASAN RES.\D-1-18-18.dwg
SHEET 8
<b>A8</b>
OF 9 SHEETS





12-13-2018

REVISIONS

RB ARCHITECT  
PLLC



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rba@rbarchitect.com

The Salazar Residence  
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Austin, Texas 78702  
ELECTRICAL FLOOR PLANS

design group

1301 S. 01 ST. Suite 315  
Austin, Texas 78704  
Mobile: 512.556.0704  
e-mail: rba@rbarchitect.com

ATX



DATE: 10/8/2018

SCALE: 1/8"=1'-0"

DRAWN: MAD

FILE: 20180813-SALAR RES.

SHEET 1

E1

OF 1 SHEETS

LEGEND OF ELECTRICAL SYMBOLS

- PROVIDE WIRING FOR SPEAKER INSTALLATION
- CHIME
- SMOKE DETECTOR
- TELEPHONE JACK
- TV/CABLE OUTLET
- ELECTRIC PANEL
- GAS METER
- 110-120 VOLT RECEPTACLE
- 110-120 VOLT RECEPTACLE HEATER PROOF
- 110-120 VOLT GFI (44" A.F.P.)
- 110-120 VOLT SURFACE MOUNTED RECEPTACLE
- 220-240 VOLT RECEPTACLE
- RECESSED INCANDESCENT LIGHT
- INCANDESCENT CEILING OUTLET FIXTURE
- INCANDESCENT HALL MOUNTED OUTLET FIXTURE
- FLOOD LIGHT
- MOTION SENSOR FLOOD LIGHT
- CHANDELIER
- ONE-WAY SWITCH
- TWO-WAY SWITCH
- THREE-WAY SWITCH
- ONE-WAY SWITCH WITH DIMMER
- ONE-WAY SWITCH FOR SPEAKER VOLUME CONTROL
- EXHAUST FAN
- HOUSE WIRE CONCEALED IN WALL OR CEILING
- CEILING FAN WITH LIGHT
- 4' FLOURESCENT LIGHT
- DISCONNECT

ALL OUTDOOR ELECTRIC SERVICE TO BE OVERHEAD.

PREHIRE FOR SECURITY SYSTEM.

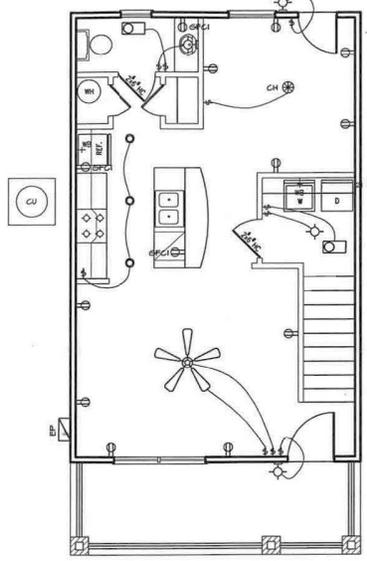
PREHIRE FOR (CAT 5) FOR ENTIRE HOUSE.

SMOKE DETECTORS TO BE INSTALLED AT 50" MINIMUM FROM ANY AIR RETURN OR SUPPLY.

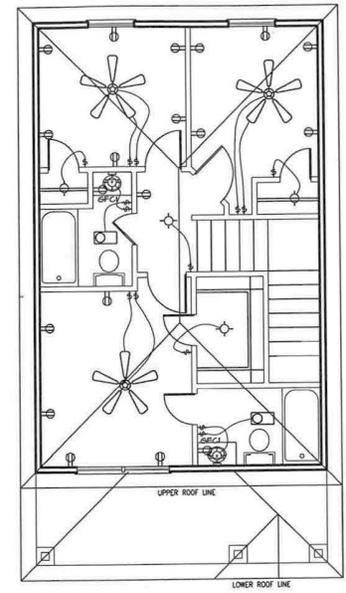
PREHIRE FOR (RIS) FOR ENTIRE HOUSE.

CONTRACTOR VERIFICATION RESPONSIBILITIES

THIS ELECTRICAL FLOOR PLAN DRAWING IS FOR LAYOUT INFORMATION ONLY. MASTER ELECTRICIAN TO VERIFY NATIONAL ELECTRICAL CODE REQUIREMENTS AND MANUFACTURERS' EQUIPMENT REQUIREMENTS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES, OMISSIONS OR INCONSISTENCIES ON THE DRAWINGS TO THE DESIGNER FOR VERIFICATION BEFORE STARTING CONSTRUCTION. OWNER AND DESIGNER ARE NOT RESPONSIBLE FOR ANY ERRORS IN CONSTRUCTION WHERE SUCH DISCREPANCIES, OMISSIONS OR INCONSISTENCIES HAVE NOT BEEN PROPERLY REPORTED IN A TIMELY MANNER. CONTRACTOR TO FIELD VERIFY LOCATION, TYPE, AND SIZE OF EXISTING UTILITIES. CONTACT LOCAL UTILITY COMPANIES FOR EXISTING UTILITY LOCATIONS. CONTRACTOR TO FIELD VERIFY LOCATION, TYPE, AND SIZE OF ALL ONSITE EXISTING UTILITIES.



1 FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"



2 SECOND FLOOR PLAN  
SCALE: 1/8"=1'-0"

City of Austin  
REVIEWED FOR CODE COMPLIANCE

**CITY OF AUSTIN**  
**Board of Adjustment**  
**Decision Sheet**  
**G-4**

**DATE:** Monday February 8, 2021

**CASE NUMBER:** C15-2020-0083

Y  Brooke Bailey  
 Y  Jessica Cohen  
 Y  Ada Corral  
 Y  Melissa Hawthorne  
 -  VACANT  
 Y  Don Leighton-Burwell  
 Y  Rahm McDaniel  
 Y  Darryl Pruett  
 Y  Veronica Rivera  
 Y  Yasmine Smith  
 Y  Michael Von Ohlen  
 -  Kelly Blume (Alternate)  
 -  Vacant (Alternate)  
 -  Donny Hamilton (Alternate)

**APPLICANT:** Daniel Salazar

**OWNER:** Enez Salinas

**ADDRESS:** 2810 GONZALES ST

**VARIANCE REQUESTED:** The applicant is requesting variance(s) from the Land Development Code, Section 25-2-774 (Two-Family Residential Use) (C) (2) (a) for a Two-Family Residential use location at least 10 feet to the rear or side of the principal structure (required) to 5 feet (requested) in order to erect a Secondary Dwelling Unit in an “SF-3-NP”, Single-Family Residence-Neighborhood Plan zoning district. (Govalle Neighborhood Plan)

Note: Per LDC the second Dwelling Unit must be contained in a structure other than the principal structure and must be located at least 10 feet to the rear or side of the principal structure

**BOARD’S DECISION: BOA MEETING JAN 11, 2021** Board Member Jessica Cohen motions to postpone to February 8, 2021 due to technical difficulties, Board member Michael Von Ohlen seconds on a 9-0 vote; **POSTPONED TO February 8, 2021 DUE TO TECHNICAL DIFFICULTIES.** February 8, 2021 The public hearing was closed by Chair Don Leighton-Burwell, Board Member Brooke Bailey motions to postpone to March 8, 2021; Board Member Darryl Pruett seconds on a 10-0 vote; **POSTPONED TO MARCH 8, 2021.**

**FINDING:**

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:

2. (a) The hardship for which the variance is requested is unique to the property in that:

(b) The hardship is not general to the area in which the property is located because:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

  
Elaine Ramirez  
Executive Liaison

Diana Ramirez for  
Don Leighton-Burwell  
Chairman

D-1/37



D-1/38







D-1/41



D-1/42



**CITY OF AUSTIN  
Board of Adjustment  
Decision Sheet  
D-3**

**DATE: Monday January 11, 2021**

**CASE NUMBER: C15-2020-0083**

- Brooke Bailey OUT
- Y  Jessica Cohen
- Y  Ada Corral
- Y  Melissa Hawthorne
- VACANT
- Y  Don Leighton-Burwell
- Y  Rahm McDaniel
- Y  Darryl Pruet
- Veronica Rivera OUT
- Y  Yasmine Smith
- Y  Michael Von Ohlen
- Y  Kelly Blume (Alternate)
- Vacant (Alternate)
- Donny Hamilton (Alternate) NOT AVAIL

**APPLICANT: Daniel Salazar**

**OWNER: Enez Salinas**

**ADDRESS: 2810 GONZALES ST**

**VARIANCE REQUESTED:** The applicant is requesting variance(s) from the Land Development Code, Section 25-2-774 (Two-Family Residential Use) (C) (2) (a) for a Two-Family Residential use location at least 10 feet to the rear or side of the principal structure (required) to 5 feet (requested) in order to erect a Secondary Dwelling Unit in an "SF-3-NP", Single-Family Residence-Neighborhood Plan zoning district. (Govalle Neighborhood Plan)

**Note:** Per LDC the second Dwelling Unit must be contained in a structure other than the principal structure and must be located at least 10 feet to the rear or side of the principal structure

**BOARD'S DECISION:** BOA MEETING JAN 11, 2021 Board Member Jessica Cohen motions to postpone to February 8, 2021 due to technical difficulties, Board member Michael Von Ohlen seconds on a 9-0 vote; POSTPONED TO February 8, 2021 DUE TO TECHNICAL DIFFICULTIES.

**FINDING:**

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:

2. (a) The hardship for which the variance is requested is unique to the property in that:
  - (b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

  
\_\_\_\_\_  
Elaine Ramirez  
Executive Liaison

Diana Ramirez for  
\_\_\_\_\_  
Don Leighton-Burwell  
Chairman

Members of the Board of Adjustment

I would like to take this opportunity to speak on behalf of Daniel Salazar. I hope this can shed some light on why this variance is being sought.

For those of you that are unfamiliar with the building inspection process I would like to briefly explain the layout inspection. The layout inspection is the initial inspection for most projects and is when we verify site conditions are consistent with the approved plans. This is by far one of the most important inspections we do, and in this case if it had been done correctly, we would not be having this conversation.

When Mr Salazar was starting his project the building inspections division was in the middle of department wide re-organization, dealing with declining response times and an alarming number of backlogged inspections. We were eventually allocated seven new positions at the beginning of fiscal year to deal with the backlog. This coupled with the departure of three veteran inspectors left us with the arduous task of not only filling ten vacancies but also training them with our remaining staff while simultaneously catching up with a seemingly insurmountable inspection backlog.

The approval of the layout inspection for 2810 Gonzales was a byproduct of this tumultuous time. Under normal circumstances this oversight would have been identified and correcting it would have been as simple as moving some forms. This oversight has led us to re-evaluate the way we do conduct our inspections as well as who conducts those inspections. Mr. Salazar trusted the City of Austin to make sure his project was done correctly and due to some very unfortunate circumstances we failed to meet those expectations.

Sincerely,

*Kelly Stilwell*

*Acting Chief Building Inspector, Division Manager*

*T.S.B.P.E License No. 2461*

**BOA GENERAL REVIEW COVERSHEET****CASE:** C15-2021-0083**BOA DATE:** January 11<sup>th</sup>, 2021**ADDRESS:** 2810 Gonzales St**COUNCIL DISTRICT:** 3**OWNER:** Enez Salinas**AGENT:** Daniel Salazar**ZONING:** SF-3-NP (Govalle NP)**LEGAL DESCRIPTION:** LOT 3 BLK 1 \*LESS SW TRI OLT 26-27 DIV A CHERNOSKY NO 11**VARIANCE REQUEST:** Two-Family Residential use location at least 10 feet to the rear or side of the principal structure to 5 feet**SUMMARY:** erect 2 story secondary dwelling unit**ISSUES:** no alley and setback requirements

	<b>ZONING</b>	<b>LAND USES</b>
<i>Site</i>	SF-3-NP	Single-Family
<i>North</i>	SF-3-NP	Single-Family
<i>South</i>	P-NP	Public
<i>East</i>	SF-3-NP	Single-Family
<i>West</i>	CS-V-NP	General Commercial Services-Vertical Mixed Uses

**NEIGHBORHOOD ORGANIZATIONS:**

Austin Independent School District  
 Austin Lost and Found Pets  
 Austin Neighborhoods Council  
 Bike Austin  
 Del Valle Community Coalition  
 East Austin Conservancy  
 El Concilio Mexican-American Neighborhoods  
 Friends of Austin Neighborhoods  
 Govalle Neighborhood Association  
 Govalle/Johnston Terrace Neighborhood Plan Contact Team  
 Guadalupe Neighborhood Development Corporation  
 Homeless Neighborhood Association  
 Neighborhood Empowerment Foundation  
 Neighbors United for Progress  
 Parque Zaragosa Neighborhood Association  
 Preservation Austin  
 SELTexas  
 Sierra Club, Austin Regional Group



January 5, 2021

Daniel Salazar  
2810 Gonzales St  
Austin TX, 78702

Property Description: LOT 3 BLK 1 \*LESS SW TRI OLT 26-27 DIV A CHERNOSKY NO 11

**Re: C15-2020-0083**

Dear Daniel,

Austin Energy (AE) has reviewed your application for the above referenced property, requesting that the Board of Adjustment consider a variance(s) from the following section of the Land Development Code –

**Section 25-2-774 (Two-Family Residential Use); (C) 2 a.** The second dwelling unit must be located at least 10 feet to the rear or side of the principal structure; (required); to allow for a second dwelling unit to be five (5) ft. from the principal structure; (requested);

In order to erect a Secondary Dwelling Unit in an "SF-3-NP", Single-Family Residence-Neighborhood Plan zoning district. (Govalle Neighborhood Plan);

Austin Energy does not oppose the above variance request provided any proposed and existing improvements follow Austin Energy's clearance criteria requirements, the National Electric Safety Code and OSHA. Any removal or relocation of existing electric facilities will be at owners /applicants' expense.

Please use this link to be advised of our clearance and safety requirements which are additional conditions of the above review action: <https://austinenergy.com/wcm/connect/8bb4699c-7691-4a74-98e7-56059e9be364/Design+Criteria+Manual+Oct+2015.pdf?MOD=AJPERES>

If you require further information or have any questions regarding the above comments, please contact our office. Thank you for contacting Austin Energy.

**Eben Kellogg, Property Agent**

Austin Energy  
Public Involvement | Real Estate Services  
2500 Montopolis Drive  
Austin, TX 78741  
(512) 322-6050

D-1/48



**NOTIFICATIONS**

CASE#: C15-2020-0083  
LOCATION: 2810 GONZALES STREET



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY



1" = 175'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



# Board of Adjustment General/Parking Variance Application

DevelopmentATX.com | Phone: 311 (or 512-974-2000 outside Austin)  
For submittal and fee information, see [austintexas.gov/digitaldevelopment](http://austintexas.gov/digitaldevelopment)

**WARNING: Filing of this appeal stops all affected construction activity.**

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

### For Office Use Only

Case # _____	ROW # _____	Tax # _____
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### Section 1: Applicant Statement

Street Address: 2810 Gonzales St. Austin, TX 78702

Subdivision Legal Description:  
LOT 3 BLK 1 \*LESS SW TRI OLT 26-27 DIV A CHERNOSKY NO 11

Lot(s): 3 Block(s): 1

Outlot: \_\_\_\_\_ Division: \_\_\_\_\_

Zoning District: \_\_\_\_\_

I/We Daniel Salazar on behalf of myself/ourselves as

authorized agent for \_\_\_\_\_ affirm that on

Month November, Day 12, Year 2020, hereby apply for a hearing before the Board of Adjustment for consideration to (select appropriate option below):

Erect  Attach  Complete  Remodel  Maintain  Other: \_\_\_\_\_

Type of Structure: New construction of 2-story secondary dwelling unit.

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

I am requesting a variance from the Land Development Code section 25-2-774 Two-Family Residential Use (C) (2) (a) for a SF-3-NP Two-Family location at least 10ft. (required) to rear of principal structure to 5ft (requested).

**Section 2: Variance Findings**

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

**NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.**

I contend that my entitlement to the requested variance is based on the following findings:

**Reasonable Use**

The zoning regulations applicable to the property do not allow for a reasonable use because: the setback requirements do not allow reasonable utilization of this lot and many of the other homes in the area have similar accessory structures that were built before the code went into effect.

**Hardship**

a) The hardship for which the variance is requested is unique to the property in that: All of the other commercial blocks on the south side of Cesar Chavez have an alley on the back side that would soften the compatibility standard. This block does not. This lot also has a 35" DBH tree on the property which all limit the development footprint. It is an over-mature, over-extended tree with a spread about as wide as it is tall. The height is about 35-40' tall.

b) The hardship is not general to the area in which the property is located because: All other blocks on the south side of East Cesar Chavez have an alley. In addition the tree is located in the middle of the property.

**Area Character**

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

Due to the age of the neighborhood there are numerous other lots on this block that have similarly configured accessory structures that are “existing non complying” so this accessory structure will not affect the character of the neighborhood. In addition the zoning district (Govalle Neighborhood Plan) only regulates property use and this variance would not impair those regulations.

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**Parking** (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

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2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

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3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

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4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

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**Section 3: Applicant Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: *Daniel Salazar* Date: 11/12/2020  
Applicant Name (typed or printed): Daniel Salazar

Applicant Mailing Address: 2810 Gonzales St

City: Austin State: TX Zip: 78702

Phone (will be public information): 512-619-8154

Email (optional – will be public information): [REDACTED]

**Section 4: Owner Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: *Enez Salinas* Date: 11/12/2020  
Owner Name (typed or printed): Enez Salinas

Owner Mailing Address: 2810 Gonzales St.

City: Austin State: TX Zip: 78702

Phone (will be public information): 512-619-8154

Email (optional – will be public information): [REDACTED]

**Section 5: Agent Information**

Agent Name: \_\_\_\_\_

Agent Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone (will be public information): \_\_\_\_\_

Email (optional – will be public information): \_\_\_\_\_

**Section 6: Additional Space (if applicable)**

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_