

BOA SIGN REVIEW COVERSHEET**CASE:** C16-2021-0008**BOA DATE:** June 14th, 2021**ADDRESS:** 715 W 23rd St**COUNCIL DISTRICT:** 9**OWNER:** The Standard at Austin, LLC**AGENT:** Leah Bojo**ZONING:** CS-NP (West University)**LEGAL DESCRIPTION:** 1.2028 AC OF LOTS 28-32 & 0.1402 AC OF LOTS 25-27 OLT 38 DIV F WOOLDRIDGE MARY ANN RESUB PLUS 1/2 ADJ VAC ALLEY (TOTAL ACR: 1.3430)**VARIANCE REQUEST:** illuminate 6 signs**SUMMARY:** install five (5) LED illuminated wall signs and one (1) internally illuminated cabinet wall sign**ISSUES:** Uno Regulations were not intended or agreed to by stakeholders

| | ZONING | LAND USES |
|--------------|---------------|-----------------------------|
| <i>Site</i> | CS-NP | General Commercial Services |
| <i>North</i> | CS-NP | General Commercial Services |
| <i>South</i> | CS-NP | General Commercial Services |
| <i>East</i> | CS-NP | General Commercial Services |
| <i>West</i> | MF-4-NP | Multi-Family |

NEIGHBORHOOD ORGANIZATIONS:

Austin Independent School District
 Austin Lost and Found Pets
 Austin Neighborhoods Council
 CANPAC (Central Austin Neigh Plan Area Committee)
 Central Austin Community Development Corporation
 Central Austin Urbanists
 Friends of Austin Neighborhoods
 Homeless Neighborhood Association
 Neighborhood Empowerment Foundation
 Preservation Austin
 SEL Texas
 Shoal Creek Conservancy
 Sierra Club, Austin Regional Group
 University Area Partners
 West Campus Neighborhood Association

DRENNER
GROUP

May 6, 2021

Via Electronic Delivery

City of Austin – Board of Adjustment

Re: 715 W 23rd Street – Sign variance application for the 1.34-acre piece of property located at 715 W 23rd Street in Austin, Travis County, Texas (the “Property”)

Dear Ms. Ramirez:

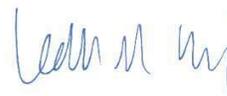
As representatives of the owner of the Property, we respectfully submit the enclosed sign variance application package. The requested variances are from Land Development Code, Sign Ordinance - Section 25-10-133 (University Neighborhood Overlay Zoning District Signs) (H) which does not allow illuminated signs, per changes to the code that Council approved in error in November 2019. In total, we are requesting permission to install five (5) LED illuminated wall signs, and one (1) internally illuminated cabinet wall sign.

These variances are necessary because the building’s surrounding area is dark at night and illuminated signs are required so that pedestrians and drivers can find the building. Notably, the granting of these variances ultimately will not conflict with the applicable sign ordinance, as the ordinance will likely be corrected in the future. A memorandum from Jerry Rusthoven, of the Housing and Planning Department, explains that the change to the UNO ordinance prohibiting illuminated signs was “not intended or agreed to by stakeholders.” For your convenience, we have attached that letter, dated May 22, 2020, hereto as Exhibit A.

Since the UNO sign regulations were changed, six variances from this code provision have been granted, including three (3) in the area surrounding the Property. Our variance requests are made on a similar basis, and we suffer from similar hardships, as it will be difficult to see the name of our proposed apartment building without the use of illuminated signs.

Please let me know if you or your team members require additional information or have any questions. Thank you for your time and attention to this project.

Sincerely,



Leah M. Bojo



MEMORANDUM

TO: Members of the Planning Commission

FROM: Jerry Rusthoven, Assistant Director/Interim Lead
Planning and Zoning Department

DATE: May 22, 2020

SUBJECT: UNO Sign Regulations

The Planning and Zoning Department is requesting the Commission initiate an amendment to the UNO ordinance to correct an inadvertent change made to the sign regulations in the ordinance.

In November 2019 the City Council approved changes to the UNO ordinance. One of those changes was intended to address signs above the second story of a building. Those signs were required to be cut in or engraved into the structure of the building. If the name of a building were placed on the facade this made it physically difficult to change the name in the future. It was agreed by the stakeholders to remove this requirement.

In making this change to the ordinance a mistake was made and the result is all illuminated signs were prohibited in the UNO area. This is not what was intended or agreed to by the stakeholders. Also, because the UNO sign regulations are also used in TODs and the North Burnet/Gateway Plan this mistake carries over to other areas.

Staff is asking for the opportunity to correct the ordinance. We will be working with the same stakeholders involved in the November revisions.

If you need additional information, please contact me by email or 512-974-3207.

Cc: Andy Linseisen, Assistant Director, DSD

Board of Adjustment Sign Variance Application

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. All information is required (if applicable).

For Office Use Only

Case # _____ ROW # _____ Tax # _____

Section 1: Applicant Statement

Street Address: 715 W 23rd Street

Subdivision Legal Description:

1.2028 Acres of Lots 28-32 & 0.1402 Acres of Lots 25-27 Outlot 38, Division F, Wooldridge Mary Ann Resubdivision Plus 1/2 Adj Vac Alley (Total Acreage: 1.3430)

Lot(s): _____ Block(s): _____

Outlot: _____ Division: _____

Zoning District: CS-NP

Sign District: University Neighborhood Overlay

I/We Leah Bojo on behalf of myself/ourselves as

authorized agent for The Standard at Austin, LLC affirm that on

Month May, Day 3, Year 2021, hereby apply for a hearing before the

Board of Adjustment for consideration to (select appropriate option below):

Erect Attach Complete Remodel Maintain Other: Install

Type of Sign: (5) LED illuminated wall signs, (1) internally illuminated cabinet wall sign

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

Land Development Code, Sign Ordinance - Section 25-10-133 (University Neighborhood Overlay Zoning District Signs) (H) which does not allow illuminated signs. We would like to illuminate six signs in order to provide adequate readable signage during the day and at night for the multifamily apartment complex--The Standard--under construction at the site.

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. In order to grant your request for a variance, the Board must first make one or more of the findings described under 1, 2, and 3 below; the Board must then make the finding described in item 4 below. If the Board cannot make the required findings, it cannot approve a sign variance.

Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

I contend that my entitlement to the requested variance is based on the following findings:

- 1. The variance is necessary because strict enforcement of the Article prohibits any reasonable opportunity to provide adequate signs on the site, considering the unique features of the site such as dimensions, landscaping, or topography, because:

Many apartment buildings & retailers in the area have signage that is illuminated to help direct potential consumers to their front doors. The Commission has granted at least 6 other variances from the applicable sign rule as it was a text change to the code that was approved in error. The area is dark at night & requires an illuminated sign to identify the building.

—OR—

- 2. The granting of this variance will not have a substantially adverse impact upon neighboring properties, because:

The requested illuminated signs will be similar to other signs in UNO.

—OR—

- 3. The granting of this variance will not substantially conflict with the stated purposes of this sign ordinance, because:

The proposed signs are scaled to the size of the property and building and fall in line with the sign sizes of neighboring businesses. Furthermore, the current text of the ordinance was made in error. See attached letter from Jerry Rusthoven.

AND,

- 4. Granting a variance would not provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated, because:

As previously stated, many of the neighborhood's buildings have illuminated signs, and the Commission continues to grant variances to other similarly-situated businesses. The variance would not provide The Standard with a special privilege not enjoyed currently by its neighbors. The error will eventually be remedied such that denial would unfairly impair the project as compared to others.

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: Leah M Bojo Date: 5-3-2021

Applicant Name (typed or printed): Leah M. Bojo

Applicant Mailing Address: 200 Lee Barton Drive, Suite 100

City: Austin State: Texas Zip: 78704

Phone (will be public information): (512) 807-2900

Email (optional – will be public information): [REDACTED]

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: [Signature] Date: 5-3-21

Owner Name (typed or printed): The Standard at Austin, LLC

Owner Mailing Address: 315 Oconee Street

City: Athens State: Georgia Zip: 30601

Phone (will be public information): (706) 543-1910

Email (optional – will be public information): [REDACTED]

Section 5: Agent Information

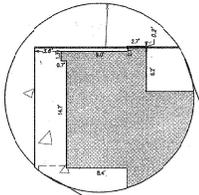
Agent Name: Leah M. Bojo

Agent Mailing Address: 200 Lee Barton Drive, Suite 100

City: Austin State: Texas Zip: 78704

Phone (will be public information): (512) 807-2900

Email (optional – will be public information): [REDACTED]



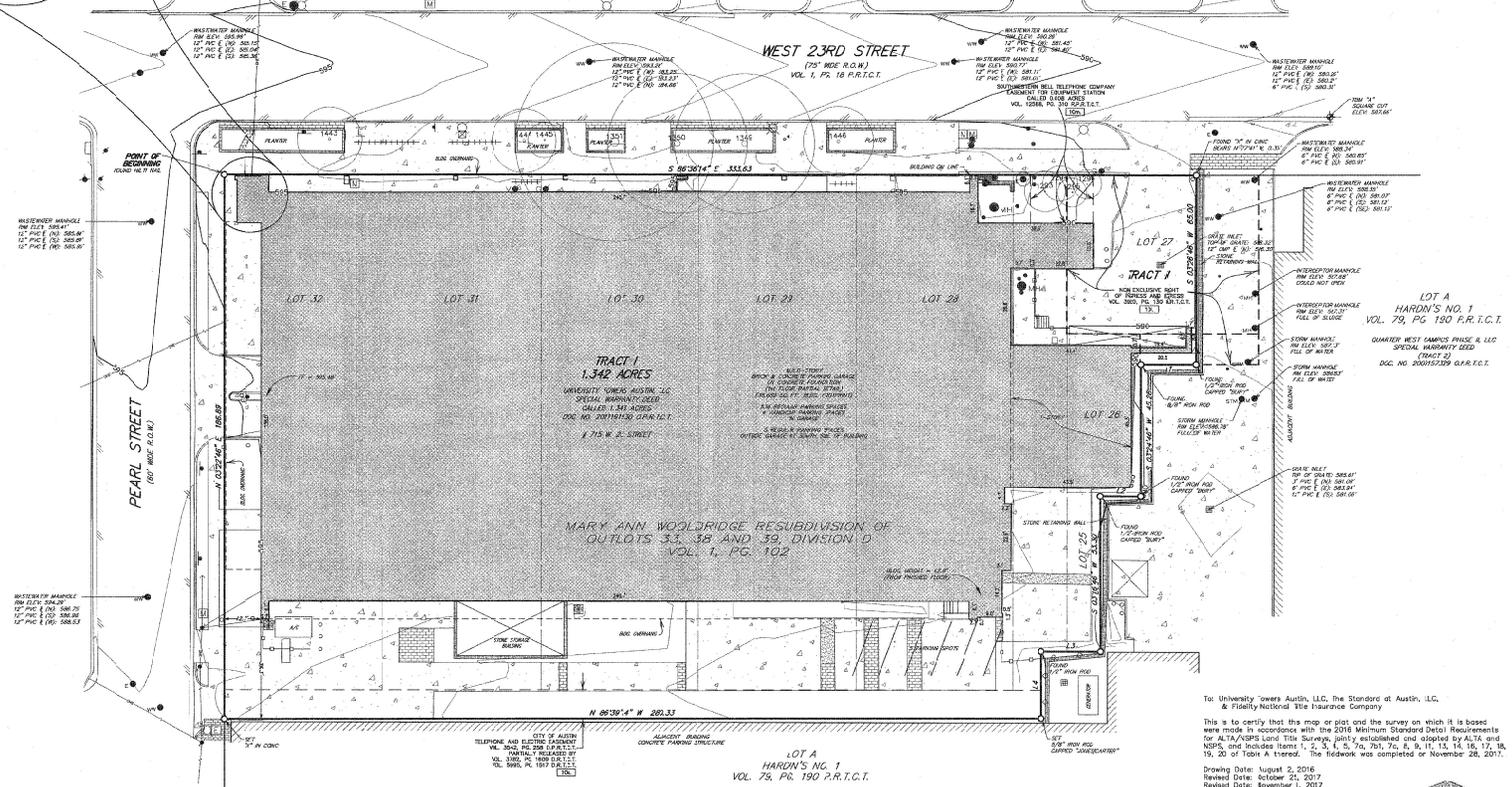
NOTES:

- 1. The bearings shown hereon are referenced to the Texas Coordinate System of 1983, Central Zone.
2. The record assessments, setbacks and encroachments shown hereon are from Schedule B of the commitment for the insurance issued by Fidelity National Title Insurance Company...
3. The above referenced title commitment has the following restrictive covenants in connection with the property surveyed that have not been plotted or otherwise shown hereon:
4. The following items are listed in the above referenced title commitment:
10. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
10a. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
10b. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
10c. Matters contained in that certain document:
10d. Matters contained in that certain document:
4. By accepting the subject property onto the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) No. 440200463, revised date January 5, 2016, the subject property is in ZONE X (Unshaded), defined as areas determined to be outside the 0.2% annual chance floodplain. The Surveyor makes no representation as to the accuracy of said FIRM, or that it is the most current published flood map.
5. With regards to ALTA/NSPS Table A Item 11 in the Certification, the location of utilities existing or or having the surveyed property have been determined by observed evidence only.
6. The buildings and other improvements shown hereon represent the outline at ground level. The Surveyor has not located any underground buildings, overhead structures or improvements not obvious and located at ground level, unless otherwise noted.
7. Surveyor has not identified any geological or environmental conditions in connection with the subject property and Surveyor fully disclaims any and all responsibility related to issues or claims related thereto or resulting therefrom.
8. The elevations (and/or contours) shown hereon are referenced to TBM "A" square cut in the back of curb on the south side of West 23rd Street located approximately 50 feet northeast of the northeast corner of Tract 1, elevation = 587.66 (NAVD 88), and were determined as a result of or on the ground survey completed on August 2, 2016.
9. No evidence earth moving work, building construction, or building additions were observed at time of survey.
10. No proposed changes in street right-of-way were observed at time of survey.
11. No delineated wetlands were observed at time of survey.
12. Tract 1 and Tract 2 are contiguous without any gaps, strips, or gaps.

LEGAL DESCRIPTION

TRACT 1
BEING a 1.342 acre tract of land out of the James Rogers Survey, A-860 Travis County, Texas, and being all of a certain 1.343 acre tract described as follows: University Towers Austin, LLC recorded under Government Number 201191930 of the Official Public Records of Travis County, Texas and also being a portion of Lots 25-27, and all of Lots 28-32 of the MARY ANN WOODBRIDGE RESUBDIVISION OF OUTLOTS 33, 36, AND 39, DIVISION D recorded in Volume 1, Page 102 of the Plat Records of Travis County, Texas; said 1.342 acre tract of land being more particularly described as follows with bearings referenced to the Texas Coordinate System of 1983, Central Zone:
BEGINNING at a HEN Nail found at the intersection of the southerly right-of-way line of West 23rd Street (79 foot wide right-of-way per RAYMONDS SUBDIVISION OF OUTLOTS 36 AND 39, DIVISION D recorded in Volume 1, Page 18 of the Plat Records of Travis County, Texas) and the southerly right-of-way line of Pearl Street (60 foot wide right-of-way) for the northwest corner of said 1.343 acre tract.
THENCE with said southerly right-of-way line of West 23rd Street and the northerly line of said 1.343 acre tract, South 88.814° East a distance of 333.63 feet to the northwesterly corner of said 1.343 acre tract and the northwesterly corner of Lot A of HARDY'S NO. 1 recorded in Volume 79, Page 190 of the Plat Records of Travis County, Texas from which a 60' x 120' concrete bearing 77°34'30" is a distance of 0.35 feet.
THENCE departing the southerly right-of-way line of West 23rd Street with the common lines of said 1.343 acre tract and said Lot A the following courses and distances:
South 032°46' West a distance of 65.00 feet to a 1/2" iron rod with cap stamped "Bury" found;
North 83°37'14" West a distance of 18.88 feet to a 5/8" iron rod found;
South 032°46' West a distance of 45.28 feet to a 1/2" iron rod with cap stamped "Bury" found;
North 83°36'14" West a distance of 15.90 feet to a 1/2" iron rod with cap stamped "Bury" found;
South 031°18'48" West a distance of 53.30 feet;
North 83°36'14" West a distance of 20.55 feet to a 1/2" iron rod with cap stamped "Bury" found;
South 031°46'45" West a distance of 23.06 feet to a 5/8" iron rod with cap stamped "Jones/Carter" set;
North 83°36'14" West a distance of 280.31 feet to a set "X" in concrete in the eastern right-of-way line of Pearl Street being the southwest corner of said 1.343 acre tract and the northwest corner of said Lot A.
THENCE with the southerly right-of-way line of Pearl Street and the westerly line of said 1.343 acre tract, North 032°24'46" East a distance of 186.86 feet to the POINT OF BEGINNING and CONTAINED an area of 1.342 acres of land.

TRACT 2: Non-Exclusive Easement Estate for ingress and egress as recorded in Volume 3020, Page 130 of the Deed Records of Travis County, Texas



- LEGEND
A/C UNIT
BOLLARD
PARKING TRUCK DISPENSER
SIGN
EMERGENCY SHUT OFF
RESUBDIVISION MANHOLE
CLEANOUT
STAINLESS STEEL MANHOLE
CONCRETE MANHOLE
WATER VALVE
WATER METER
TIRE PICKING
TIRE PICKING VALVE
WATER SPRING
UNKNOWN VALVE
UNKNOWN MANHOLE
ELECTRIC PULL BOX
ELECTRIC METER
ELECTRIC MANHOLE
UTILITY POLE
GUY ANCHOR
WOOD POLE
SAS VALVE
DIAPHRAGM UTILITIES
CHAIN LINK FENCE
METAL FENCE
SIGN OF ASPHALT
BUMP BUCK
V.V. BE TRAVELER SIGN
STONE MANHOLE/PLASTER EGG
AREA OF CONCRETE
AREA OF GRAVEL
AREA OF STONE
AREA OF BRICK
SIGNAGE OR ITEM NO
UNKNOWN VALVE
TREE NO. & LOCATION
ELECTRIC METER
ELECTRIC MANHOLE
UTILITY POLE
GUY ANCHOR

Table with columns: LINK, BEARING, DISTANCE. Contains survey data points for various links in the tract.

TREE LIST
TREE NO.
SPECIES
Diameter
Height
Notes

TRACT 1 HARDY'S NO. 1 VOL. 79, PG. 190 P.R.T.C.T.
QUARTER WEST CAMBUS PHASE & LLC
SPECIAL WARRANTY DEED
(TRACT 2)
DCC NO. 200817329 OP.R.T.C.T.

To: University Towers Austin, LLC, the Standard at Austin, LLC, & Fidelity National Title Insurance Company
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 7a, 7b, 7c, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20 of Table A thereof. The fieldwork was completed on November 28, 2017.
Drawing Date: August 2, 2016
Revised Date: October 21, 2017
Revised Date: November 1, 2017
Revised Date: January 13, 2018
Revised Date: January 21, 2018
Dary C. Bowers
Registered Professional Land Surveyor No. 4183
email: dcbowers@jonescarter.com



ALTA/NSPS
LAND TITLE SURVEY
BEING
1.342 ACRES
OUT OF THE
JAMES ROGERS SURVEY, A-660
CITY OF AUSTIN, TRAVIS COUNTY, TEXAS
AUGUST 2016





MEMORANDUM

TO: Members of the Planning Commission

FROM: Jerry Rusthoven, Assistant Director/Interim Lead
Planning and Zoning Department

DATE: May 22, 2020

SUBJECT: UNO Sign Regulations

The Planning and Zoning Department is requesting the Commission initiate an amendment to the UNO ordinance to correct an inadvertent change made to the sign regulations in the ordinance.

In November 2019 the City Council approved changes to the UNO ordinance. One of those changes was intended to address signs above the second story of a building. Those signs were required to be cut in or engraved into the structure of the building. If the name of a building were placed on the facade this made it physically difficult to change the name in the future. It was agreed by the stakeholders to remove this requirement.

In making this change to the ordinance a mistake was made and the result is all illuminated signs were prohibited in the UNO area. This is not what was intended or agreed to by the stakeholders. Also, because the UNO sign regulations are also used in TODs and the North Burnet/Gateway Plan this mistake carries over to other areas.

Staff is asking for the opportunity to correct the ordinance. We will be working with the same stakeholders involved in the November revisions.

If you need additional information, please contact me by email or 512-974-3207.

Cc: Andy Linseisen, Assistant Director, DSD



City of Austin

Sign Permit

PERMIT NO: 2020-174175 SB

Sign Type: Wall

Status: Final

715 W 23RD ST

Issue Date:

Expiry Date: 05/15/2021

| | | |
|---|--------------------------------------|------------------|
| LEGAL DESCRIPTION 1.2028 AC OF LOTS 28-32 & 0.1402 AC OF LOTS 25-27 OLT 38 DIV F WOOLDRIDGE MARY ANN RESUB PLUS 1/2 ADJ VAC ALLEY (TOTAL ACR: 1.3430) | REVIEWED BY Cierra Beltran | ISSUED BY |
|---|--------------------------------------|------------------|

| | |
|---|---|
| DESCRIPTION OF WORK Wall | PROPOSED SIGN Install LED illuminated channel letters reading "The Standard" on North elevation |
| VARIANCE 0.00 | ZONING CS-NP |
| SIGN FACE DIMENSIONS 34' 5/8" x 2' 2" | TOTAL SIGN FACE AREA 74.00 |
| TOTAL AREA OF EXISTING SIGNS ON FACADE | DIMENSIONS OF BUILDING FACADE 322.67' x 15 = 4,840.05 |
| TOTAL HEIGHT OF SIGN | SETBACK OF SIGN |
| CLEARANCE ABOVE GRADE | LINEAR FEET OF STREET FRONTAGE |
| NUMBER OF OTHER FREESTANDING SIGNS ON PROPERTY | SIGN OF EACH SIGN SUPPORT |

Sign District
 UNO

Electric Inspection Required:
 No

| | |
|--|---|
| <u>CONTACT</u> Owner, STANDARD AT AUSTIN LLC THE ATTN: J WESLEY ROGERS % LANDMARK PROPERTIES Internet User, Jennifer Garcia Outdoor Advertising Contractor, Liberty Signs, Inc. Online Applicant, Jennifer Garcia | <u>TELEPHONE</u> () - (512) 255-3887 (512) 255-3887 (512) 255-3887 |
|--|---|

| <u>Fee Description</u> | <u>Fee Amount</u> | <u>Payment Date</u> |
|-------------------------------|--------------------------|----------------------------|
| Technology Surcharge-DSD | \$2.72 | 11/23/2020 9:19:56AM |
| Sign Review Fee | \$68.00 | 11/23/2020 9:19:56AM |
| Total Fees: | \$70.72 | |

| <u>Comment</u> | <u>Date</u> | <u>User</u> |
|-----------------------|--------------------|--------------------|
| Sign Permit Review | 11/23/2020 | Cierra Beltran |
| Sign Permit Review | 12/21/2020 | Cierra Beltran |

Conditions:
 Sign area may not exceed UNO-20% of facade area of first 15 ft. of bldg. height



City of Austin

Sign Permit

PERMIT NO: 2020-174180 SB

Sign Type: Wall

Status: Final

715 W 23RD ST

Issue Date:

Expiry Date: 05/15/2021

| | | |
|---|--------------------------------------|------------------|
| LEGAL DESCRIPTION 1.2028 AC OF LOTS 28-32 & 0.1402 AC OF LOTS 25-27 OLT 38 DIV F WOOLDRIDGE MARY ANN RESUB PLUS 1/2 ADJ VAC ALLEY (TOTAL ACR: 1.3430) | REVIEWED BY Cierra Beltran | ISSUED BY |
|---|--------------------------------------|------------------|

| | |
|---|---|
| DESCRIPTION OF WORK Wall | PROPOSED SIGN Install non-illuminated channel letters reading "The Standard" on West elevation To be corrected to be "illuminated" |
| VARIANCE 0.00 | ZONING CS-NP |
| SIGN FACE DIMENSIONS 3' 4-5/8" x 41' 1/8" | TOTAL SIGN FACE AREA 138.00 |
| TOTAL AREA OF EXISTING SIGNS ON FACADE | DIMENSIONS OF BUILDING FACADE 186.42' x 15 = 2,796.3 |
| TOTAL HEIGHT OF SIGN | SETBACK OF SIGN |
| CLEARANCE ABOVE GRADE | LINEAR FEET OF STREET FRONTAGE |
| NUMBER OF OTHER FREESTANDING SIGNS ON PROPERTY | SIGN OF EACH SIGN SUPPORT |

| |
|-----------------------------|
| Sign District UNO |
|-----------------------------|

Electric Inspection Required:
 No

| | |
|---|--|
| CONTACT Owner, STANDARD AT AUSTIN LLC THE ATTN: J WESLEY ROGERS % LANDMARK PROPERTIES Internet User, Jennifer Garcia Outdoor Advertising Contractor, Liberty Signs, Inc. Online Applicant, Jennifer Garcia | TELEPHONE () - (512) 255-3887 (512) 255-3887 (512) 255-3887 |
|---|--|

| Fee Description | Fee Amount | Payment Date |
|--------------------------|------------|----------------------|
| Technology Surcharge-DSD | \$2.72 | 11/23/2020 9:19:57AM |
| Sign Review Fee | \$68.00 | 11/23/2020 9:19:57AM |
| Total Fees: | \$70.72 | |

| Comment | Date | User |
|--------------------|------------|----------------|
| Sign Permit Review | 11/23/2020 | Cierra Beltran |
| Sign Permit Review | 12/21/2020 | Cierra Beltran |

Conditions:

Sign area may not exceed UNO-20% of facade area of first 15 ft. of bldg. height



City of Austin

Sign Permit

PERMIT NO: 2020-174174 SB

Sign Type: Wall

Status: Final

715 W 23RD ST

Issue Date:

Expiry Date: 05/15/2021

| | | |
|---|--------------------------------------|------------------|
| LEGAL DESCRIPTION 1.2028 AC OF LOTS 28-32 & 0.1402 AC OF LOTS 25-27 OLT 38 DIV F WOOLDRIDGE MARY ANN RESUB PLUS 1/2 ADJ VAC ALLEY (TOTAL ACR: 1.3430) | REVIEWED BY Cierra Beltran | ISSUED BY |
|---|--------------------------------------|------------------|

| | |
|---|--|
| DESCRIPTION OF WORK Wall | PROPOSED SIGN Install internally illuminated cabinet reading "The Standard" on North elevation |
| VARIANCE 0.00 | ZONING CS-NP |
| SIGN FACE DIMENSIONS 9' 2-5/8" x 2' 6" | TOTAL SIGN FACE AREA 23.00 |
| TOTAL AREA OF EXISTING SIGNS ON FACADE | DIMENSIONS OF BUILDING FACADE 322.67' x 15 = 4,840.05 |
| TOTAL HEIGHT OF SIGN | SETBACK OF SIGN |
| CLEARANCE ABOVE GRADE | LINEAR FEET OF STREET FRONTAGE |
| NUMBER OF OTHER FREESTANDING SIGNS ON PROPERTY | SIGN OF EACH SIGN SUPPORT |

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|-----------------------------|
| Sign District UNO |
|-----------------------------|

Electric Inspection Required:

No

| | |
|---|--|
| CONTACT Owner, STANDARD AT AUSTIN LLC THE ATTN: J WESLEY ROGERS % LANDMARK PROPERTIES Internet User, Jennifer Garcia Outdoor Advertising Contractor, Liberty Signs, Inc. Online Applicant, Jennifer Garcia | TELEPHONE () - (512) 255-3887 (512) 255-3887 (512) 255-3887 |
|---|--|

| Fee Description | Fee Amount | Payment Date |
|--------------------------|----------------|----------------------|
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| Sign Review Fee | \$68.00 | 11/23/2020 9:19:54AM |
| Total Fees: | \$70.72 | |

| Comment | Date | User |
|--------------------|------------|----------------|
| Sign Permit Review | 12/21/2020 | Cierra Beltran |
| Sign Permit Review | 11/23/2020 | Cierra Beltran |

Conditions:

Sign area may not exceed UNO-20% of facade area of first 15 ft. of bldg. height



City of Austin

Sign Permit

PERMIT NO: 2020-174169 SB

Sign Type: Wall

Status: Final

715 W 23RD ST

Issue Date:

Expiry Date: 05/15/2021

| | | |
|--|--------------------------------------|------------------|
| LEGAL DESCRIPTION 1.2028 AC OF LOTS 28-32 & 0.1402 AC OF LOTS 25-27 OLT 38 DIV F WOOLDRIDGE MARY ANN RESUB PLUS 1/2 ADJ VAC ALLEY (TOTAL ACR 1.3430) | REVIEWED BY Cierra Beltran | ISSUED BY |
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| DESCRIPTION OF WORK Wall | PROPOSED SIGN Install LED illuminated channel letters reading "The Standard" located on West Elevation |
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| NUMBER OF OTHER FREESTANDING SIGNS ON PROPERTY | SIGN OF EACH SIGN SUPPORT |

| |
|-----------------------------|
| Sign District UNO |
|-----------------------------|

Electric Inspection Required:

No

| | |
|---|--|
| CONTACT Owner, STANDARD AT AUSTIN LLC THE ATTN: J WESLEY ROGERS % LANDMARK PROPERTIES Internet User, Jennifer Garcia Outdoor Advertising Contractor, Liberty Signs, Inc. Online Applicant, Jennifer Garcia | TELEPHONE () - (512) 255-3887 (512) 255-3887 (512) 255-3887 |
|---|--|

| Fee Description | Fee Amount | Payment Date |
|--------------------------|-------------------|----------------------|
| Technology Surcharge-DSD | \$2.72 | 11/23/2020 9:19:52AM |
| Sign Review Fee | \$68.00 | 11/23/2020 9:19:52AM |
| Total Fees: | \$70.72 | |

| Comment | Date | User |
|--------------------|-------------|----------------|
| Sign Permit Review | 12/21/2020 | Cierra Beltran |
| Sign Permit Review | 11/23/2020 | Cierra Beltran |

Conditions:

Sign area may not exceed UNO-20% of facade area of first 15 ft. of bldg. height



City of Austin

Sign Permit

PERMIT NO: 2020-174159 SB

715 W 23RD ST

Sign Type: Wall

Issue Date:

Status: Active

Expiry Date: 05/15/2021

| | | |
|---|--------------------------------------|------------------|
| LEGAL DESCRIPTION 1.2028 AC OF LOTS 28-32 & 0.1402 AC OF LOTS 25-27 OLT 38 DIV F WOOLDRIDGE MARY ANN RESUB PLUS 1/2 ADJ VAC ALLEY (TOTAL ACR: 1.3430) | REVIEWED BY Cierra Beltran | ISSUED BY |
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| | |
|---|---|
| DESCRIPTION OF WORK Wall | PROPOSED SIGN Install LED illuminated channel letters reading "STANDARD" on North elevation |
| VARIANCE 0.00 | ZONING CS-NP |
| SIGN FACE DIMENSIONS 33'-4 5/8" x 4'-3/4" | TOTAL SIGN FACE AREA 135.00 |
| TOTAL AREA OF EXISTING SIGNS ON FACADE | DIMENSIONS OF BUILDING FACADE 322.67' x 15 = 4,840.05 |
| TOTAL HEIGHT OF SIGN | SETBACK OF SIGN |
| CLEARANCE ABOVE GRADE | LINEAR FEET OF STREET FRONTAGE |
| NUMBER OF OTHER FREESTANDING SIGNS ON PROPERTY | SIGN OF EACH SIGN SUPPORT |

| |
|-----------------------------|
| Sign District UNO |
|-----------------------------|

Electric Inspection Required:
 Yes

| | |
|---|--|
| CONTACT Owner, STANDARD AT AUSTIN LLC THE ATTN: J WESLEY ROGERS % LANDMARK PROPERTIES Internet User, Jennifer Garcia Outdoor Advertising Contractor, Liberty Signs, Inc. Online Applicant, Jennifer Garcia | TELEPHONE () - (512) 255-3887 (512) 255-3887 (512) 255-3887 |
|---|--|

| Fee Description | Fee Amount | Payment Date |
|----------------------------|-------------------|----------------------|
| Sign Review Fee | \$68.00 | 11/23/2020 9:19:51AM |
| Technology Surcharge-DSD | \$2.72 | 11/23/2020 9:19:51AM |
| Technology Surcharge-DSD | \$2.08 | |
| Electrical Sign Permit Fee | \$52.00 | |
| Total Fees: | \$124.80 | |

| Comment | Date | User |
|--------------------|-------------|----------------|
| Sign Permit Review | 11/23/2020 | Cierra Beltran |
| Sign Permit Review | 12/22/2020 | Cierra Beltran |



City of Austin

Sign Permit

PERMIT NO: 2020-190066 SB

Sign Type: Wall

Status: Final

715 W 23RD ST

Issue Date:

Expiry Date: 06/15/2021

| | | |
|--|-------------------------------|-----------|
| LEGAL DESCRIPTION 1.2028 AC OF LOTS 28-32 & 0.1402 AC OF LOTS 25-27 OLT 38 DIV F WOOLDRIDGE MARY ANN RESUB PLUS 1/2 ADJ VAC ALLEY (TOTAL ACR: 1.3430) | REVIEWED BY Cierra Beltran | ISSUED BY |
|--|-------------------------------|-----------|

| | |
|-----------------------------|---|
| DESCRIPTION OF WORK Wall | PROPOSED SIGN Install LED illuminated channel letters reading "THE" on the North elevation |
|-----------------------------|---|

| | |
|--|--|
| VARIANCE 0.00 | ZONING CS-NP |
| SIGN FACE DIMENSIONS 4' 3/4" x 11' 11" | TOTAL SIGN FACE AREA 46.40 |
| TOTAL AREA OF EXISTING SIGNS ON FACADE | DIMENSIONS OF BUILDING FACADE 322.67' x 15 = 968.01 |
| TOTAL HEIGHT OF SIGN | SETBACK OF SIGN |
| CLEARANCE ABOVE GRADE | LINEAR FEET OF STREET FRONTAGE |
| NUMBER OF OTHER FREESTANDING SIGNS ON PROPERTY | SIGN OF EACH SIGN SUPPORT |

| |
|-----------------------------|
| Sign District UNO |
|-----------------------------|

Electric Inspection Required:
No

| | |
|---|---|
| CONTACT Owner, STANDARD AT AUSTIN LLC THE ATTN: J WESLEY ROGERS % LANDMARK PROPERTIES Internet User, Jennifer Garcia Outdoor Advertising Contractor, Liberty Signs, Inc. Online Applicant, Jennifer Garcia | TELEPHONE () - (512) 255-3887 (512) 255-3887 (512) 255-3887 |
|---|---|

| Fee Description | Fee Amount | Payment Date |
|--------------------------|----------------|-----------------------|
| Technology Surcharge-DSD | \$2.72 | 12/22/2020 11:55:46AM |
| Sign Review Fee | \$68.00 | 12/22/2020 11:55:46AM |
| Total Fees: | \$70.72 | |

| Comment | Date | User |
|--------------------|------------|----------------|
| Sign Permit Review | 12/22/2020 | Cierra Beltran |

Conditions:

Sign area may not exceed UNO-20% of facade area of first 15 ft. of bldg. height

NOTE: ALL PENETRATIONS WILL BE TREATED WITH SILICONE TO PREVENT WATER AND MOISTURE LEAKAGE

NOT FOR PRODUCTION

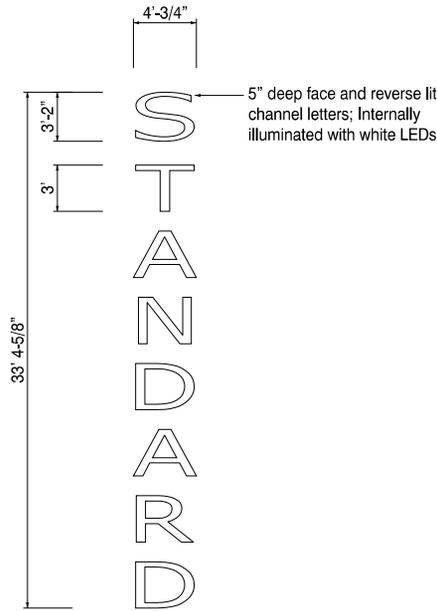


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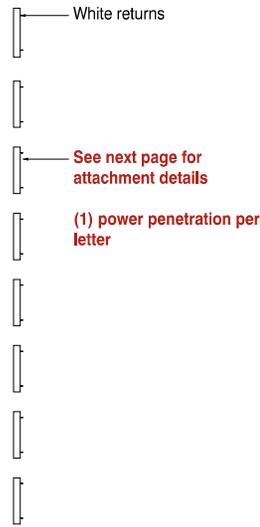
LANDMARK PROPERTIES

THE STANDARD
715 W. 23RD STREET
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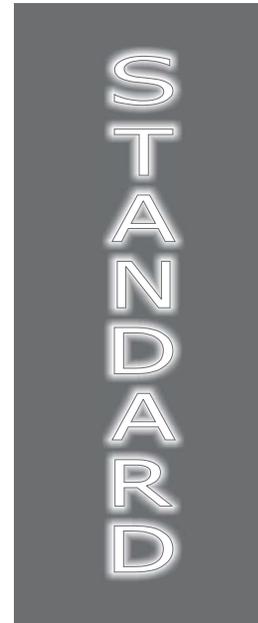
1.BID:
BUILDING ID - LARGE



FRONT
SCALE: 1/8"=1'



SIDE
SCALE: 1/8"=1'



FRONT @ NIGHT VIEW
SCALE: 1/8"=1'

**ILLUMINATION
PENDING VARIANCE
APPROVAL**



- ELECTRICAL REQUIREMENTS**
1. 120V 20A CIRCUIT REQUIRED.
 2. UL LABELS REQUIRED AWAY FROM PUBLIC VIEW.
 3. ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/OTHER.
 4. GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMER LOCATION FOR INSTALLATION AND SERVICE.
 5. ALL ELECTRICAL RUNS AND INTERNAL CONNECTIONS TO BE DONE BY CERTIFIED ELECTRICIAN. CSF WILL MAKE FINAL CONNECTION TO SIGN. POWER MUST BE SHUT OFF FOR FINAL CONNECTION.

NOTE: DISCONNECT SWITCH INCLUDED WITH SIGN

QTY: 1

SEE NEXT PAGE FOR ADDITIONAL DETAILS

PROPOSED SIGN AREA: 135.74 SQ. FT.

SIGN CODE: WALL SIGN
SIGN FACE SQ. FOOTAGE (ALLOWED): 150 SQ. FT.
HEIGHT LIMIT: N/A
ILLUMINATION: INTERNAL ONLY

PROJECT MATERIALS & COLORS

REVISIONS
12.10.20 - KN

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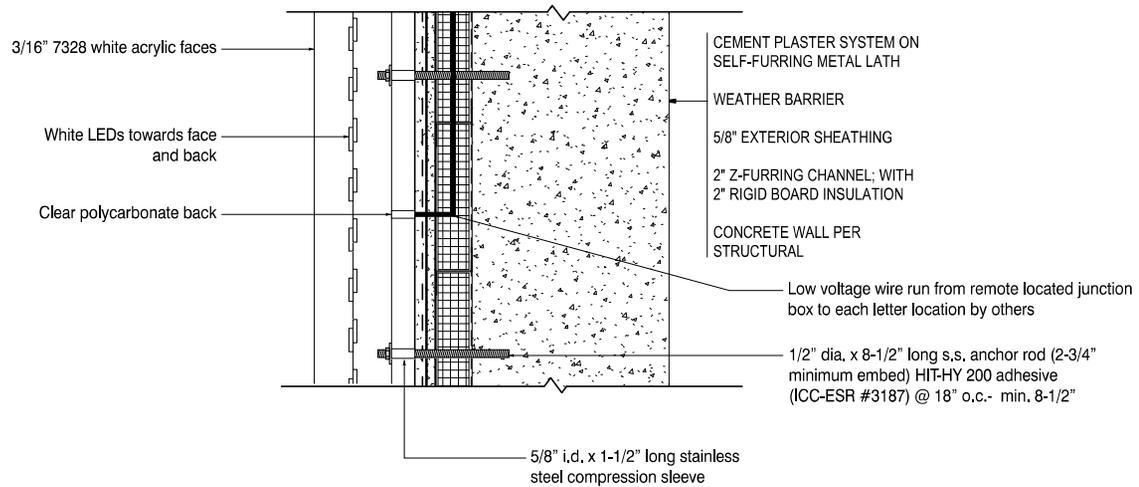


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1.1 BID:
BUILDING ID - LARGE



SIDE SECTION AT ATTACHMENT
SCALE: 1-1/2"=1'

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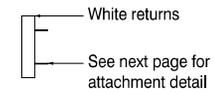
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THE STANDARD
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2.BID:
BUILDING ID - SMALL



FRONT
SCALE: 1/4" = 1'

5" deep face and reverse lit channel letters; Internally illuminated with white LEDs



SIDE
SCALE: 1/4" = 1'

(1) power penetration per letter



NIGHT VIEW
SCALE: 1/4" = 1'

ILLUMINATION
PENDING VARIANCE
APPROVAL



- ELECTRICAL REQUIREMENTS**
1. (1) 120V 20A CIRCUIT REQUIRED.
 2. UL LABELS REQUIRED AWAY FROM PUBLIC VIEW.
 3. ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/OTHER.
 4. GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMER LOCATION FOR INSTALLATION AND SERVICE.
 5. ALL ELECTRICAL RUNS AND INTERNAL CONNECTIONS TO BE DONE BY CERTIFIED ELECTRICIAN. CSF WILL MAKE FINAL CONNECTION TO SIGN. POWER MUST BE SHUT OFF FOR FINAL CONNECTION.

NOTE: DISCONNECT SWITCH INCLUDED WITH SIGN

QTY: 1

SEE NEXT PAGE FOR ADDITIONAL DETAILS

PROPOSED SIGN AREA: 73.78 SQ. FT.

SIGN CODE: WALL SIGN
SIGN FACE SQ. FOOTAGE (ALLOWED): 150 SQ. FT.
HEIGHT LIMIT: N/A
ILLUMINATION: INTERNAL ONLY

PROJECT MATERIALS & COLORS

REVISIONS
07.22.20 - KN
12.10.20 - KN

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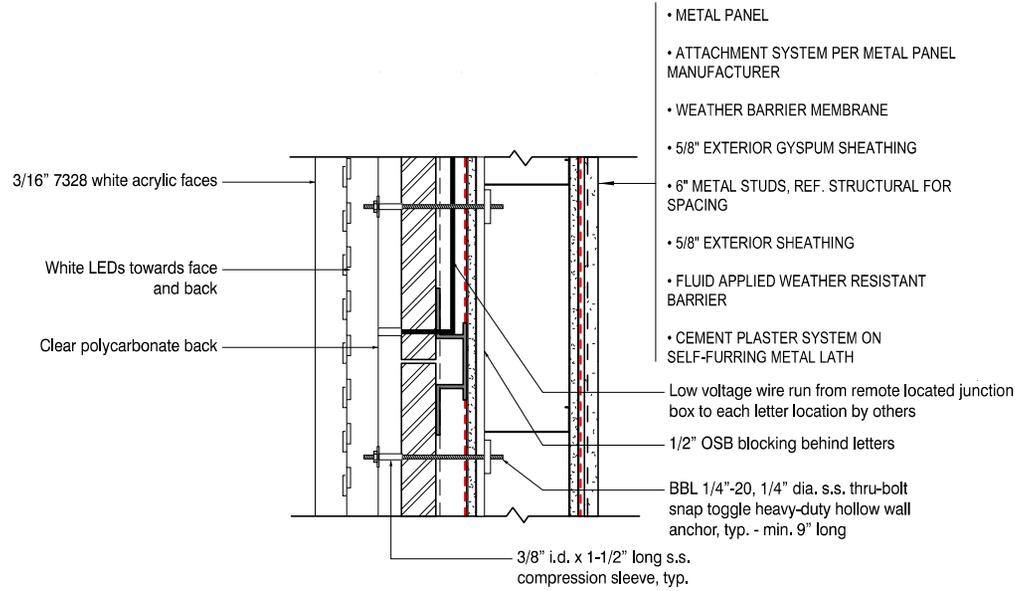
2.BID:
BUILDING ID - SMALL

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SIDE SECTION AT ATTACHMENT
SCALE: 1-1/2"=1"

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2.BID:
BUILDING ID - SMALL

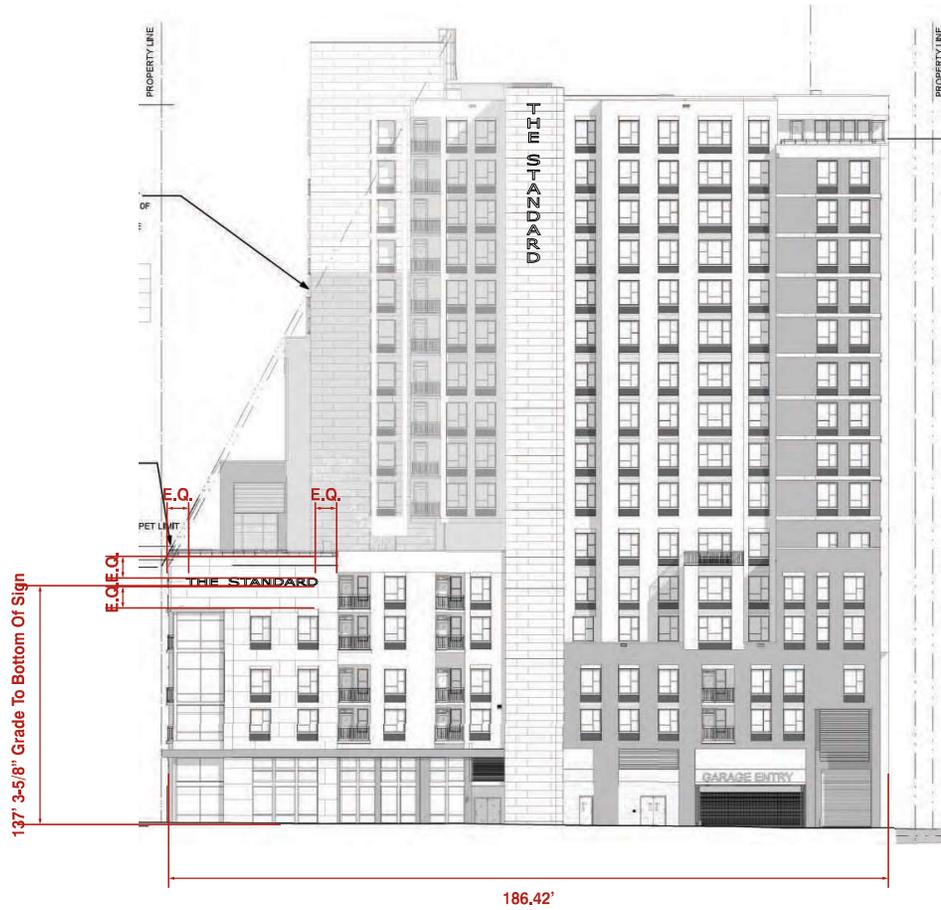
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BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04



WEST ELEVATION A4.35
SCALE: 1/32"=1'

186.42FT. X 15 X .2= 559.26
ALLOWED AREA OF ALL SIGNS: 150 SQ. FT.

NOT FOR PRODUCTION



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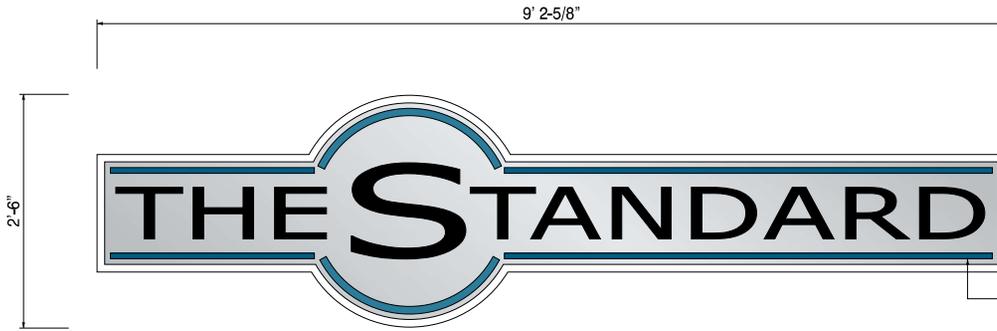
3.BID:
BUILDING ID - LEASING

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BD: LR / PM: JB / DESIGN: KN
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FRONT
SCALE: 3/4" = 1'

- 5" deep fabricated aluminum cabinet painted (P4) on face and returns; Internally illuminated with white LEDs
- .040" brushed aluminum panel mounted flush to cabinet face (horizontal grain)
- 1/2" clear push through acrylic graphics backed with diffuser film; (V1) and (D1) digitally printed translucent vinyl graphics applied to faces



See next page for mounting specs

SIDE
SCALE: 3/4" = 1'



FRONT @ NIGHT VIEW
SCALE: 3/4" = 1'

PROPOSED SIGN AREA: 24.5 SQ. FT.

SIGN CODE: WALL SIGN
SIGN FACE SQ. FOOTAGE (ALLOWED): 150 SQ. FT.
HEIGHT LIMIT: N/A
ILLUMINATION: INTERNAL ONLY



- ELECTRICAL REQUIREMENTS**
1. (1) 120V 20A CIRCUIT REQUIRED.
 2. UL LABELS REQUIRED AWAY FROM PUBLIC VIEW.
 3. ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/OTHER.
 4. GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMER LOCATION FOR INSTALLATION AND SERVICE.
 5. ALL ELECTRICAL RUNS AND INTERNAL CONNECTIONS TO BE DONE BY CERTIFIED ELECTRICIAN. CSF WILL MAKE FINAL CONNECTION TO SIGN; POWER MUST BE SHUT OFF FOR FINAL CONNECTION.

NOTE: DISCONNECT SWITCH INCLUDED WITH SIGN

QTY: 1

SEE NEXT PAGE FOR ADDITIONAL DETAILS

PROJECT MATERIALS & COLORS

- P4** MAP WHITE
- V1** BLACK VINYL
- D1** DIGITALLY PRINTED GRAPHICS
 - PMS 2469C - 100%
 - PMS 2469C - 80%

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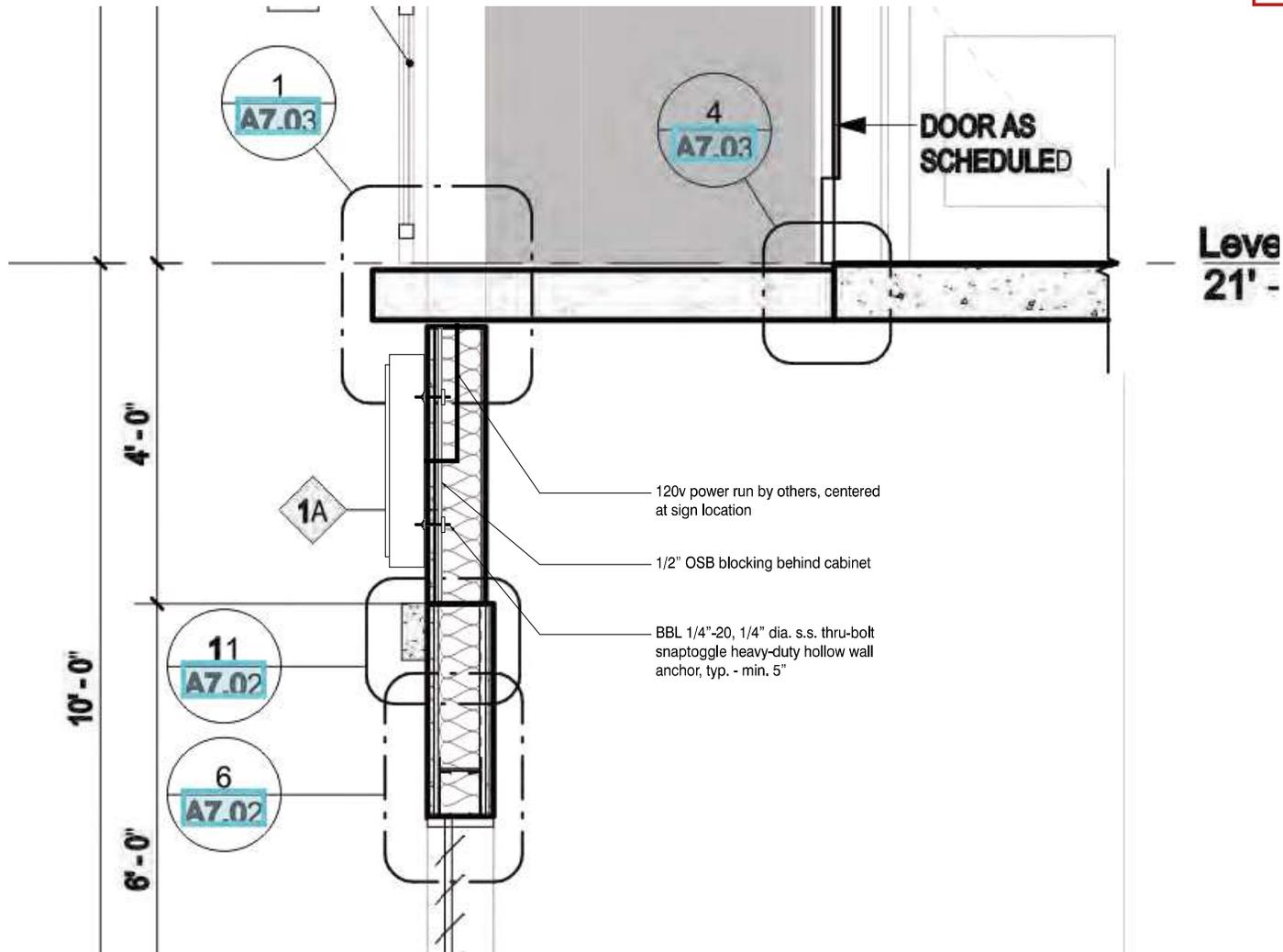
3.BID:
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SIDE SECTION AT ATTACHMENT
SCALE: 3/4" = 1'

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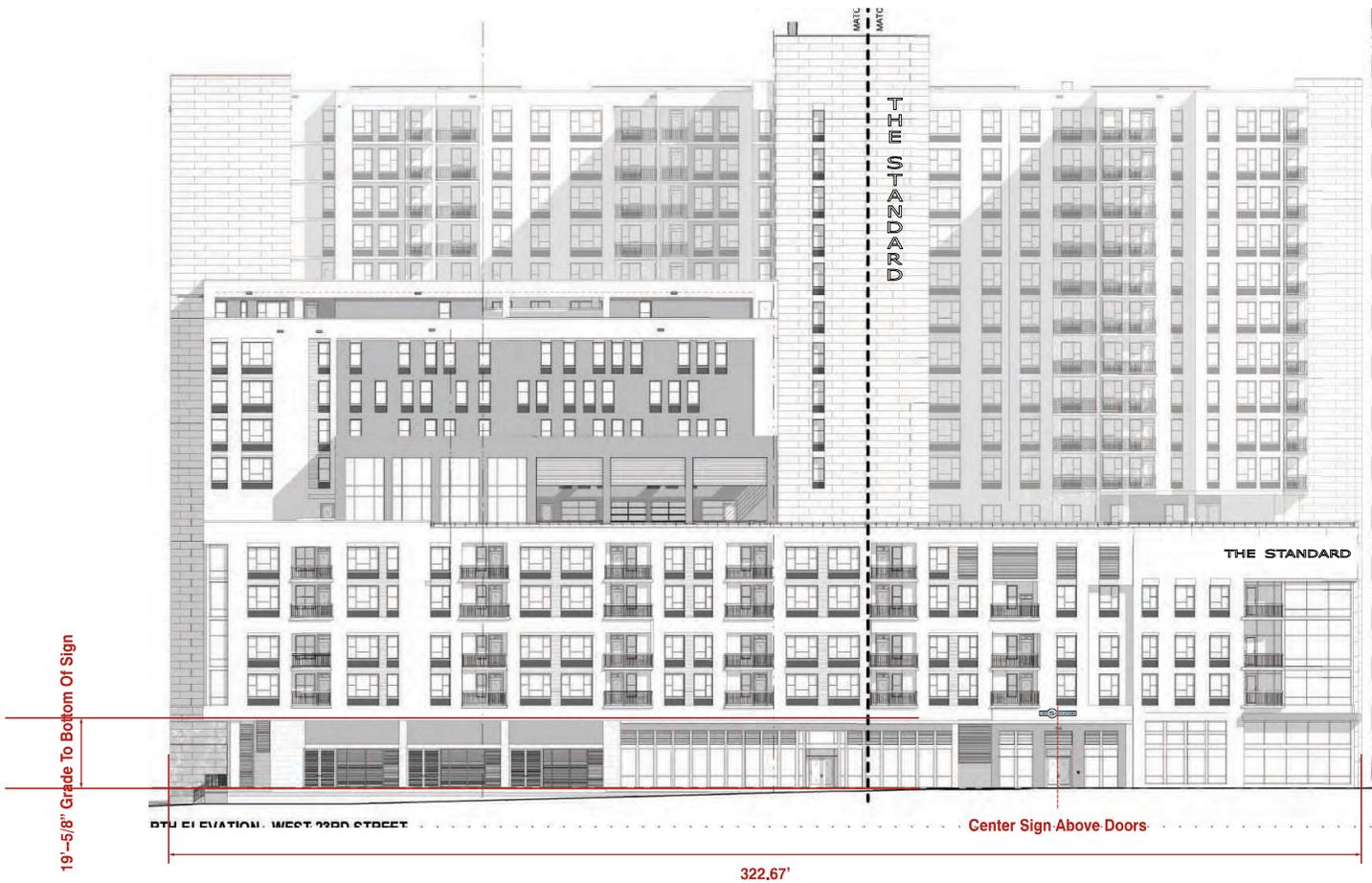
3.BID:
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BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04



NORTH ELEVATION - A4.32
SCALE: 1/32"=1'

322.67FT. X 15 X .2= 968.01
ALLOWED AREA OF ALL SIGNS: 150 SQ. FT.

NOTE: ALL PENETRATIONS WILL BE TREATED WITH SILICONE TO PREVENT WATER AND MOISTURE LEAKAGE

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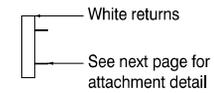
THE STANDARD
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4.BID:
BUILDING ID - SMALL -
NORTH ELEVATION



FRONT
SCALE: 1/4" = 1'

5" deep face and reverse lit channel letters; Internally illuminated with white LEDs



SIDE
SCALE: 1/4" = 1'

(1) power penetration per letter



NIGHT VIEW
SCALE: 1/4" = 1'

ILLUMINATION
PENDING VARIANCE
APPROVAL



- ELECTRICAL REQUIREMENTS**
1. (1) 120V 20A CIRCUIT REQUIRED.
 2. UL LABELS REQUIRED AWAY FROM PUBLIC VIEW.
 3. ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/OTHER.
 4. GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMER LOCATION FOR INSTALLATION AND SERVICE.
 5. ALL ELECTRICAL RUNS AND INTERNAL CONNECTIONS TO BE DONE BY CERTIFIED ELECTRICIAN. CSF WILL MAKE FINAL CONNECTION TO SIGN. POWER MUST BE SHUT OFF FOR FINAL CONNECTION.

NOTE: DISCONNECT SWITCH INCLUDED WITH SIGN

QTY: 1

SEE NEXT PAGE FOR ADDITIONAL DETAILS

PROJECT MATERIALS & COLORS

REVISIONS

12.10.20 - KN

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BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04

PROPOSED SIGN AREA: 73.78 SQ. FT.

SIGN CODE: WALL SIGN
SIGN FACE SQ. FOOTAGE (ALLOWED): 150 SQ. FT.
HEIGHT LIMIT: N/A
ILLUMINATION: INTERNAL ONLY

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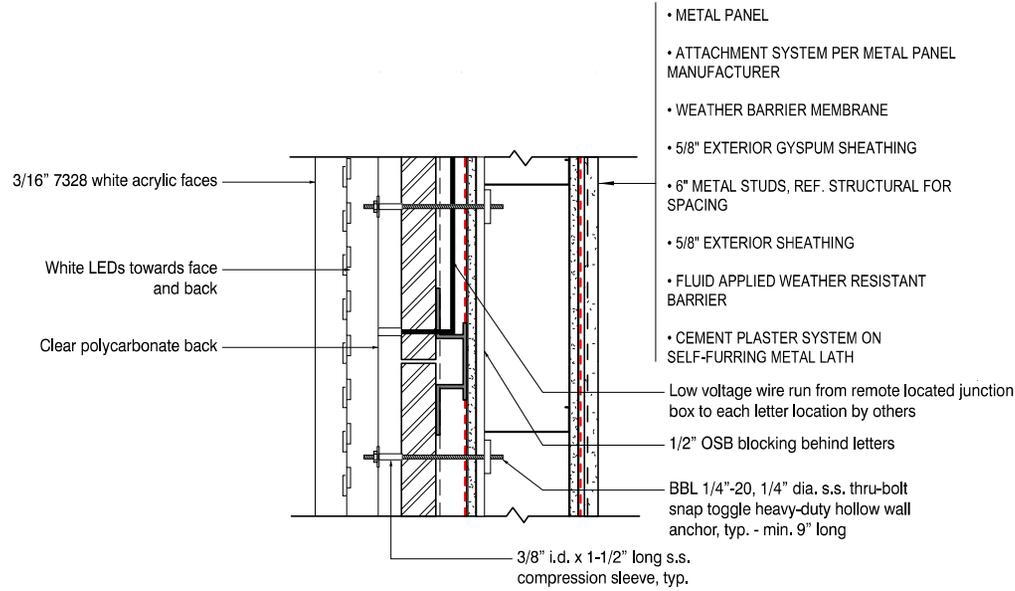
4.BID:
BUILDING ID - SMALL -
NORTH ELEVATION

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SIDE SECTION AT ATTACHMENT

SCALE: 1-1/2"=1'

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4.BID:
BUILDING ID - SMALL -
NORTH ELEVATION

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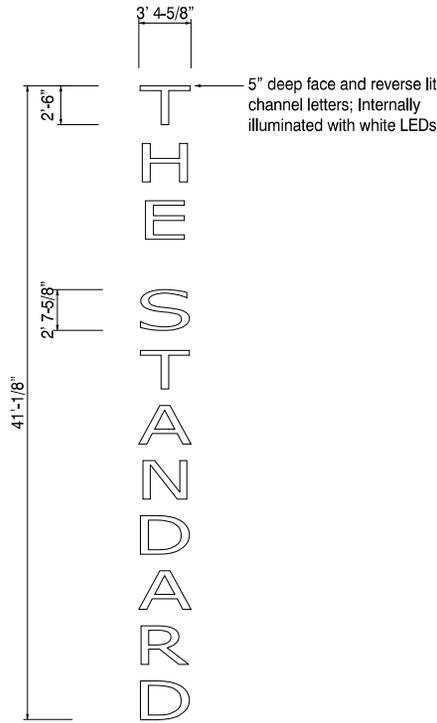
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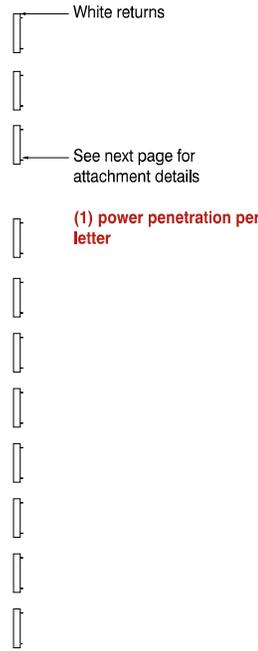
NORTH ELEVATION - A4.32
SCALE: 1/32"=1'

**322.67FT. X 15 X .2= 968.01
ALLOWED AREA OF ALL SIGNS: 150 SQ. FT.
ACTUAL AREA OF ALL SIGNS ON NORTH ELEVATION: 197.66**

NOTE: ALL PENETRATIONS WILL BE TREATED WITH SILICONE TO PREVENT WATER AND MOISTURE LEAKAGE



FRONT
SCALE: 1/8"=1'



SIDE
SCALE: 1/8"=1'



FRONT @ NIGHT VIEW
SCALE: 1/8"=1'



| ELECTRICAL REQUIREMENTS | |
|---|--|
| 1. (1) 120V 20A CIRCUIT REQUIRED. | |
| 2. UL LABELS REQUIRED AWAY FROM PUBLIC VIEW. | |
| 3. ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/OTHER. | |
| 4. GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMER LOCATION FOR INSTALLATION AND SERVICE. | |
| 5. ALL ELECTRICAL RUNS AND INTERNAL CONNECTIONS TO BE DONE BY CERTIFIED ELECTRICIAN. CSF WILL MAKE FINAL CONNECTION TO SIGN. POWER MUST BE SHUT OFF FOR FINAL CONNECTION. | |

NOTE: DISCONNECT SWITCH INCLUDED WITH SIGN

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5.BID:
BUILDING ID - VERTICAL -
WEST ELEVATION

REVISIONS
12.10.20 - KN

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BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04

PROPOSED SIGN AREA: 138.92 SQ. FT.

SIGN CODE: WALL SIGN
SIGN FACE SQ. FOOTAGE (ALLOWED): 150 SQ. FT.
HEIGHT LIMIT: N/A
ILLUMINATION: INTERNAL ONLY

QTY: 1
SEE NEXT PAGE FOR ADDITIONAL DETAILS

PROJECT MATERIALS & COLORS

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LANDMARK PROPERTIES

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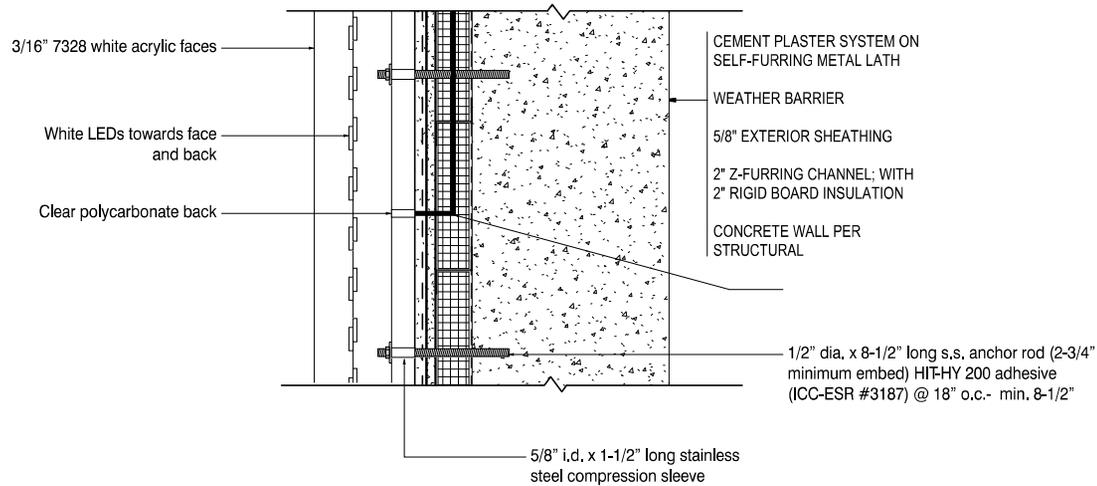
5.BID:
BUILDING ID - VERTICAL -
WEST ELEVATION

REVISIONS

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BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04



SIDE SECTION AT ATTACHMENT
SCALE: 1-1/2"=1'

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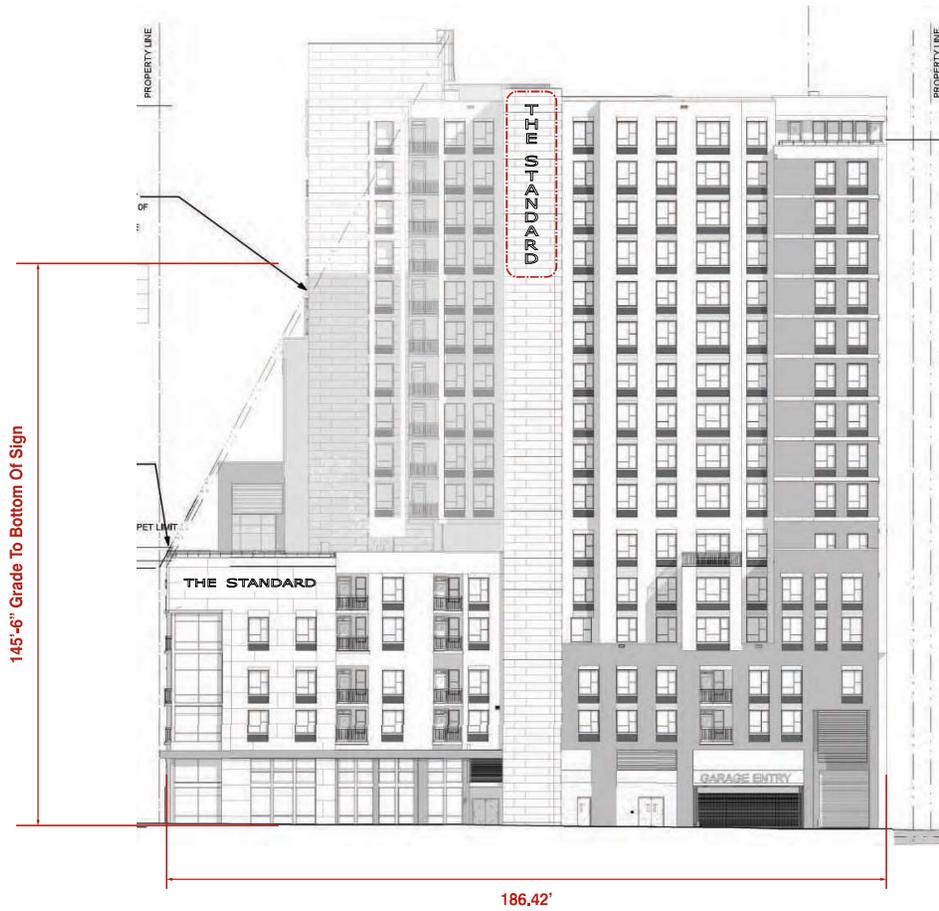
5.BID:
BUILDING ID - VERTICAL -
WEST ELEVATION

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BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04



WEST ELEVATION A4.35
SCALE: 1/32"=1'

186.42FT. X 15 X .2= 559.26
ALLOWED AREA OF ALL SIGNS: 150 SQ. FT.

NOTE: ALL PENETRATIONS WILL BE TREATED WITH SILICONE TO PREVENT WATER AND MOISTURE LEAKAGE

NOT FOR PRODUCTION

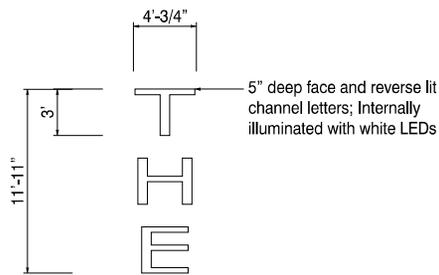


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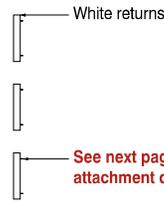
THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

6.BID:
BUILDING ID - LARGE



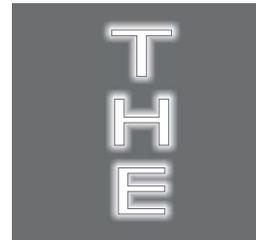
FRONT
SCALE: 1/8"=1'

5" deep face and reverse lit channel letters; Internally illuminated with white LEDs



SIDE
SCALE: 1/8"=1'

(1) power penetration per letter



FRONT @ NIGHT VIEW
SCALE: 1/8"=1'

ILLUMINATION PENDING VARIANCE APPROVAL

REVISIONS

12.10.20 - KN



| ELECTRICAL REQUIREMENTS | |
|---|--|
| 1. (1) 120V 20A CIRCUIT REQUIRED. | |
| 2. UL LABELS REQUIRED AWAY FROM PUBLIC VIEW. | |
| 3. ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/OTHER. | |
| 4. GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMER LOCATION FOR INSTALLATION AND SERVICE. | |
| 5. ALL ELECTRICAL RUNS AND INTERNAL CONNECTIONS TO BE DONE BY CERTIFIED ELECTRICIAN. CSF WILL MAKE FINAL CONNECTION TO SIGN. POWER MUST BE SHUT OFF FOR FINAL CONNECTION. | |

NOTE: DISCONNECT SWITCH INCLUDED WITH SIGN

PROPOSED SIGN AREA: 46.4SQ. FT.

SIGN CODE: WALL SIGN
SIGN FACE SQ. FOOTAGE (ALLOWED): 150 SQ. FT.
HEIGHT LIMIT: N/A
ILLUMINATION: INTERNAL ONLY

QTY: 1

SEE NEXT PAGE FOR ADDITIONAL DETAILS

PROJECT MATERIALS & COLORS

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BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04

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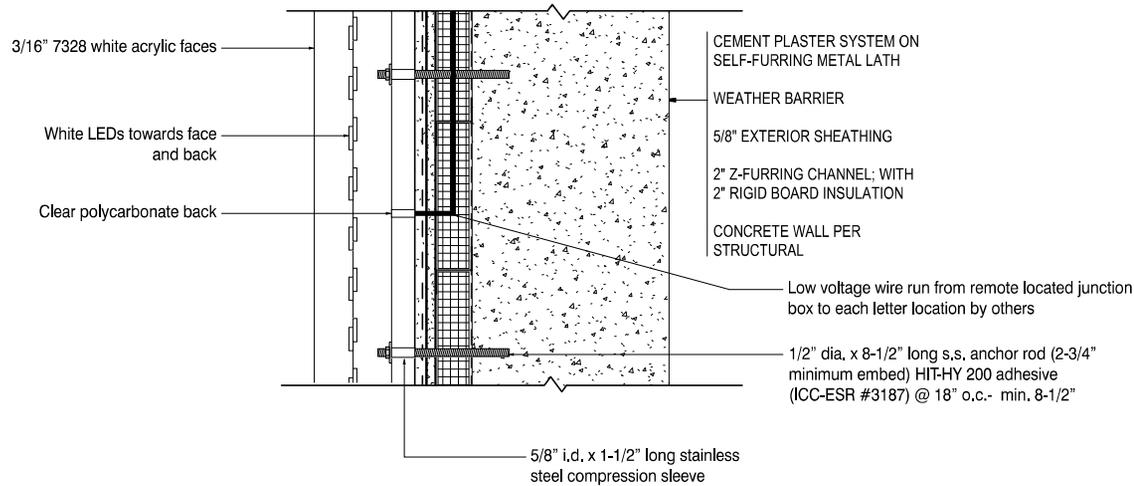
6.BID:
BUILDING ID - LARGE

REVISIONS

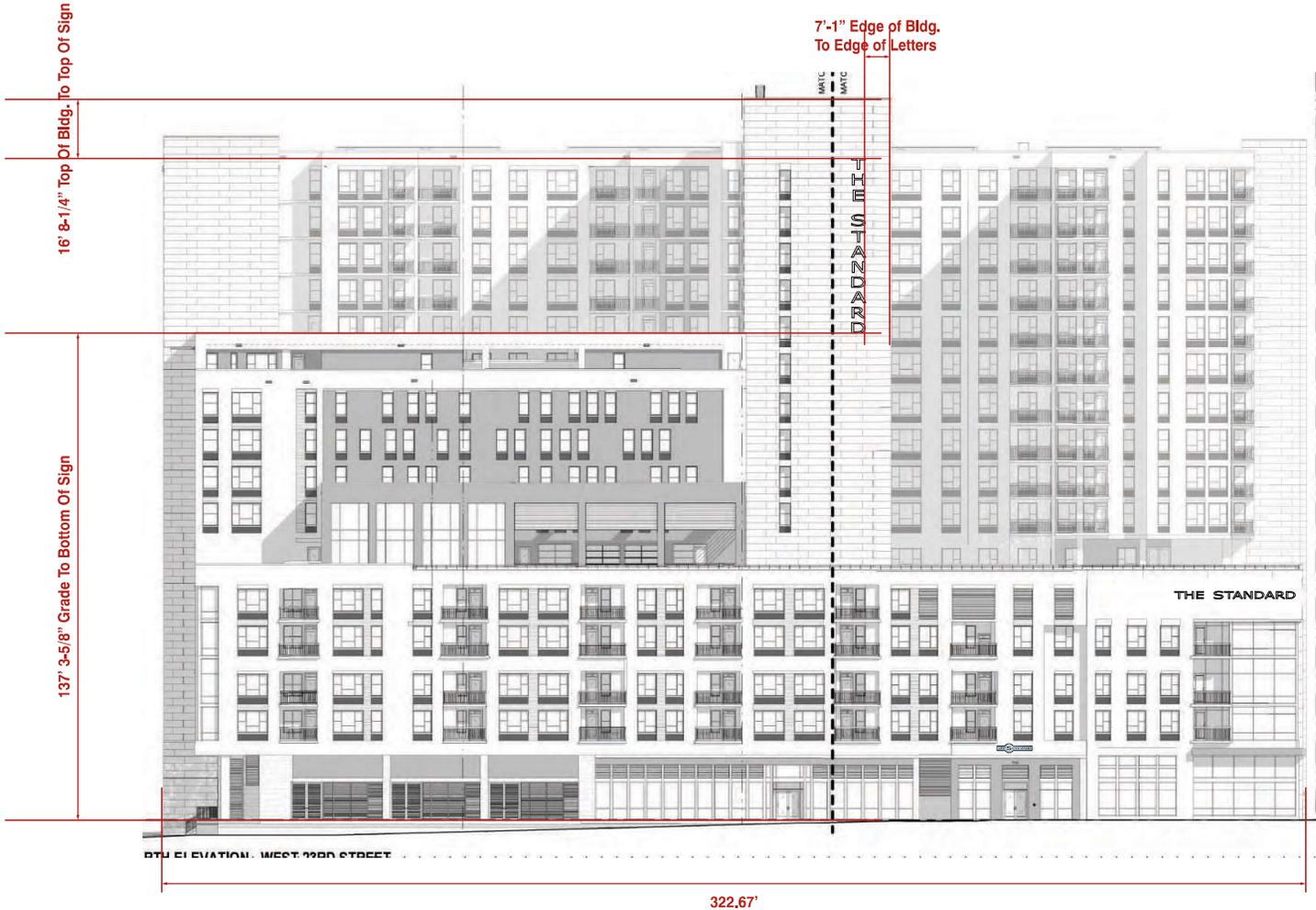
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SIDE SECTION AT ATTACHMENT
SCALE: 1-1/2"=1'



NORTH ELEVATION - A4.32
 SCALE: 1/32"=1'

322.67FT. X 15 X .2= 968.01
ALLOWED AREA OF ALL SIGNS: 150 SQ. FT.

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1.BID AND 6.BID:
BUILDING ID - LARGE

REVISIONS

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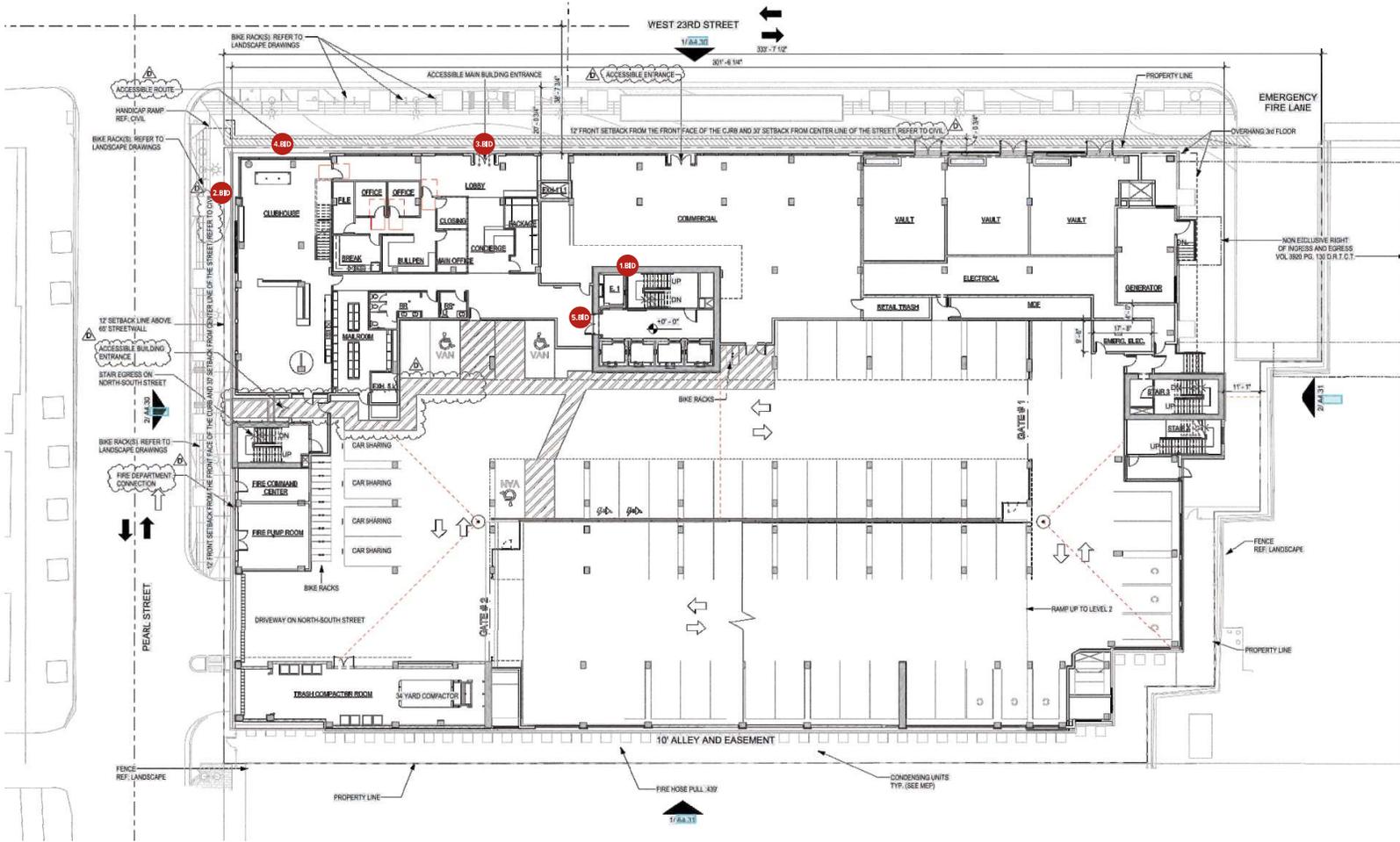
SITE PLAN

REVISIONS
07.23.20 - KN

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BD: LR / PM: LR / DESIGN: KN
DATE: 05/15/20

WO. 2002052.01



SITE PLAN
SCALE: NTS