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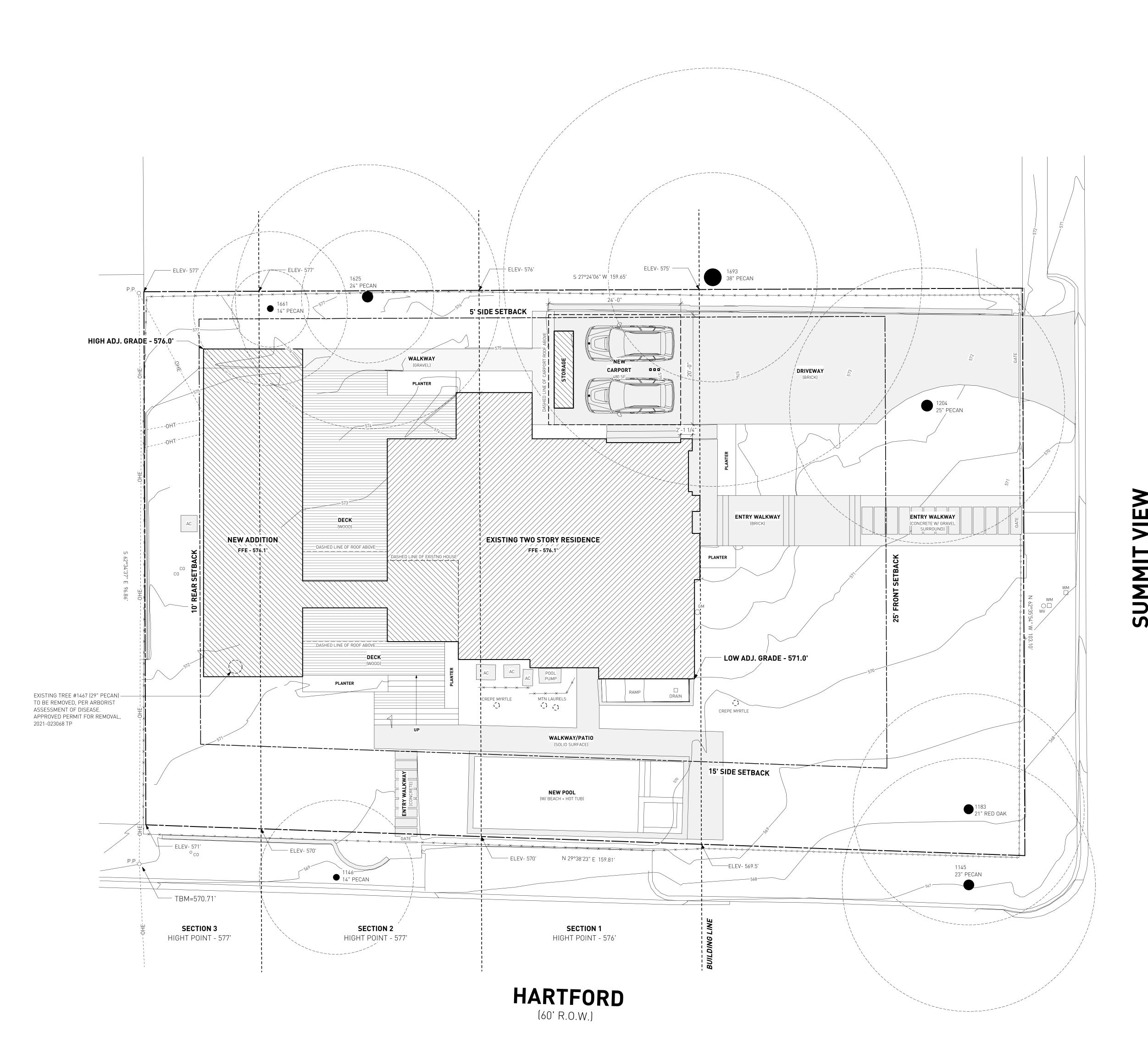
# SUMMIT VIEW RESIDENCE

1718 SUMMIT VIEW AUSTIN, TEXAS 78703

## SHEET/REVISION INDEX

KEY  NEW SHEET  REVISED SHEET  NO CHANGE  SHEET REMOVED	JUNE 02 2020 HISTORIC REVIEW			
1.1 - SITE PLAN				
1.2 - EXISTING BASEMENT PLAN				
1.3 - EXISTING FIRST FLOOR PLAN				
1.4 - EXISTING SECOND FLOOR PLAN				
1.5 - EXISTING ROOF PLAN				
1.6 - FIRST FLOOR PLAN				
1.7 - SECOND FLOOR PLAN				
1.8 - ROOF PLAN				
2.1 - EXTERIOR ELEVATIONS				
2.2 - EXTERIOR ELEVATIONS				
2.3 - EXTERIOR ELEVATIONS				
2.4 - EXTERIOR ELEVATIONS				

DATE JUNE 02 2021



AREA CALCULATIONS FIRST FLOOR EXISITNG 2,190 SF
FIRST FLOOR ADDITION 1,330 SF
SECOND FLOOR EXISTING (EXEMPT) 1,132 SF
SECOND FLOOR ADDITION (EXEMPT) 690 SF
SECOND FLOOR BALCONY (EXEMPT) 315 SF
BASEMENT EXISTING (EXEMPT) 613 SF
DETACHED CARPORT 480 SF
COVERED WOOD DECK 177 SF TOTAL BUILDING COVERAGE 4,177 SF TOTAL % (MAX ALLOW. 40%) 1,100 SF 997 SF 50 SF 100 SF 538 SF 106 SF AREAS OF CONCRETE/PAVERS AC PADS RETAINING WALLS WOOD DECKS/STEPS (@ 50%) POOL COPING 500 SF TOTAL IMPERVIOUS COVER TOTAL % (MAX ALLOW. 45%) TOTAL FAR TOTAL % (MAX ALLOW. 40%)

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**SUMMIT VIEW** 

RESIDENCE 1718 SUMMIT VIEW

AUSTIN, TEXAS 78703

CLIENT NEHA SEMPAT AND NISHANT PATEL

**PROJECT DESIGNER** MATT GARCIA DESIGN

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PHONE: 714.492.0936 STRUCTURAL ENGINEER

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**GEOTECHNICAL ENGINEER** 

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**ARBORIST** 

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**GENERAL CONTRACTOR** 

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LANDSCAPE ARCHITECT

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MECHANICAL CONSULTANTS

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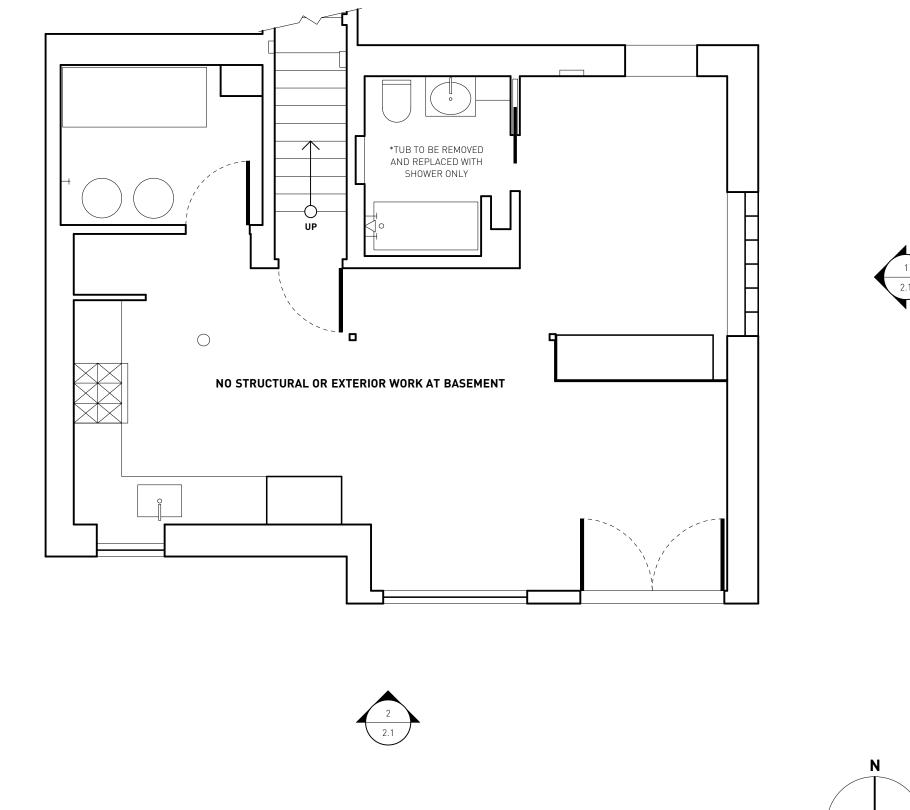
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consent of the designer.

**REVISIONS** 

TITLE SITE PLAN

DATE JUNE 02 2021



EXISTING BASEMENT FLOOR PLAN

1/4" = 1'-0"



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## **SUMMIT VIEW** RESIDENCE

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### LANDSCAPE ARCHITECT

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## **MECHANICAL CONSULTANTS**

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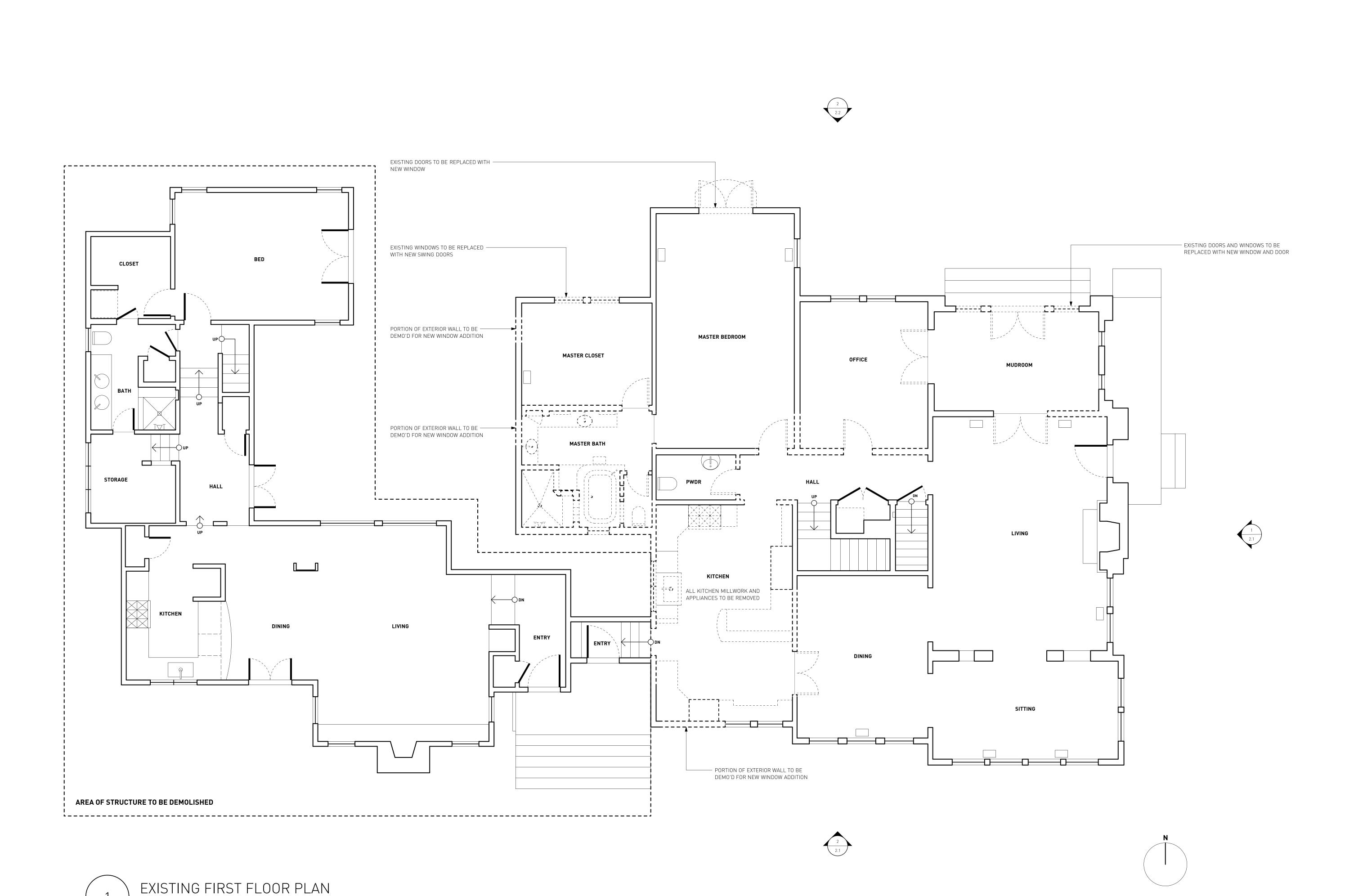
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**REVISIONS** 

**EXISTING BASEMENT PLAN** 

DATE **JUNE 02 2021** 



## WALL TYPES

EXISTING WALL TO REMAIN

[ \_ \_ \_ ] EXISTING WALL TO BE MODIFIED OR REMOVED

EXISTING WINDOW TO BE REMOVED/ REPLACED

## DEMO NOTES

**TBR** = TO BE REMOVED

## MATT GARCIA DESIGN

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SUMMIT VIEW
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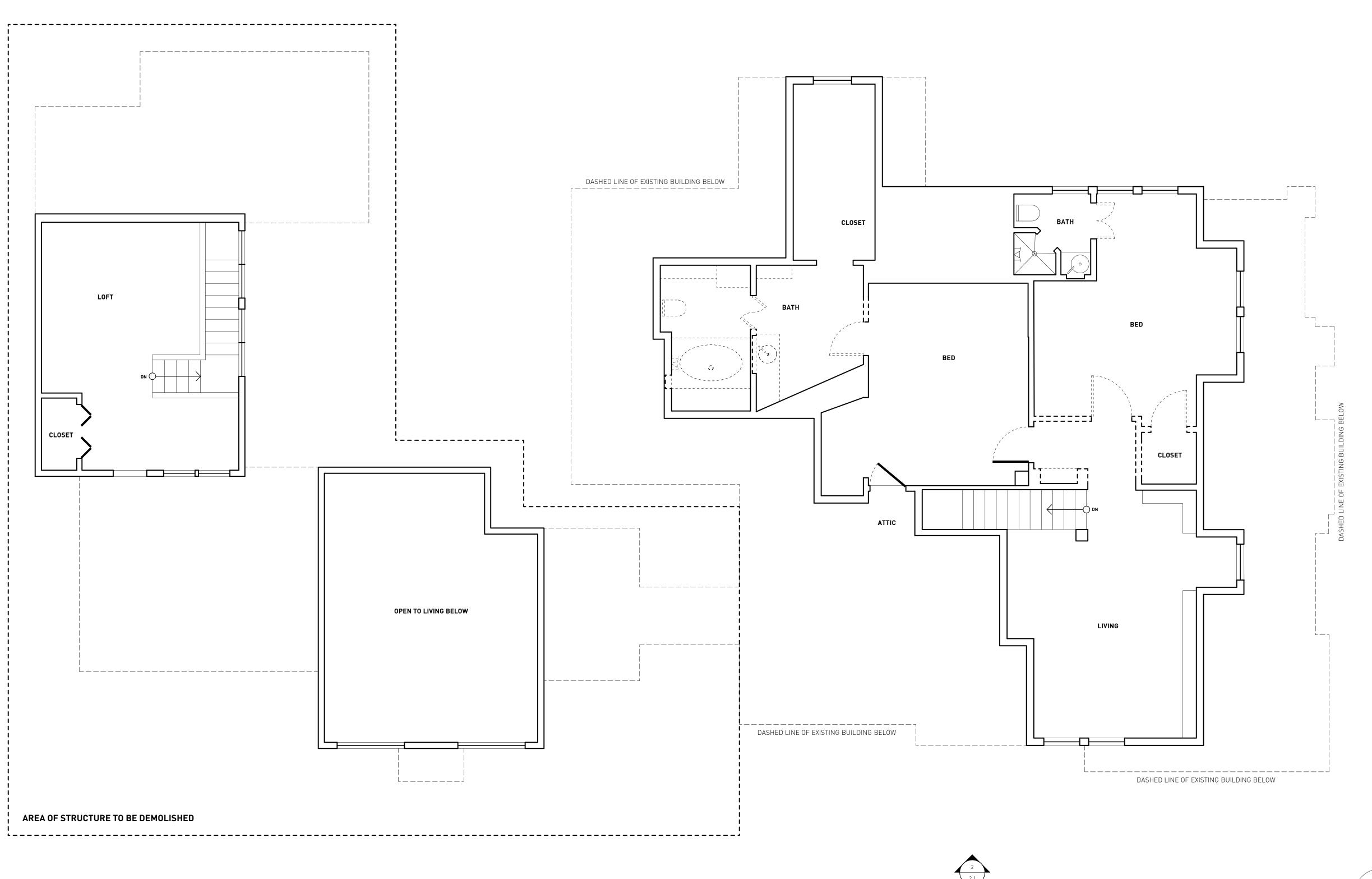
REVISIONS

TITLE EXISTING FIRST FLOOR PLAN

DATE JUNE 02 2021

SHEET

1.3



EXISTING SECOND FLOOR PLAN



EXISTING WALL TO REMAIN

EXISTING WALL TO BE MODIFIED OR REMOVED

EXISTING WINDOW TO BE REMOVED/ REPLACED

## **DEMO NOTES**

**TBR** = TO BE REMOVED

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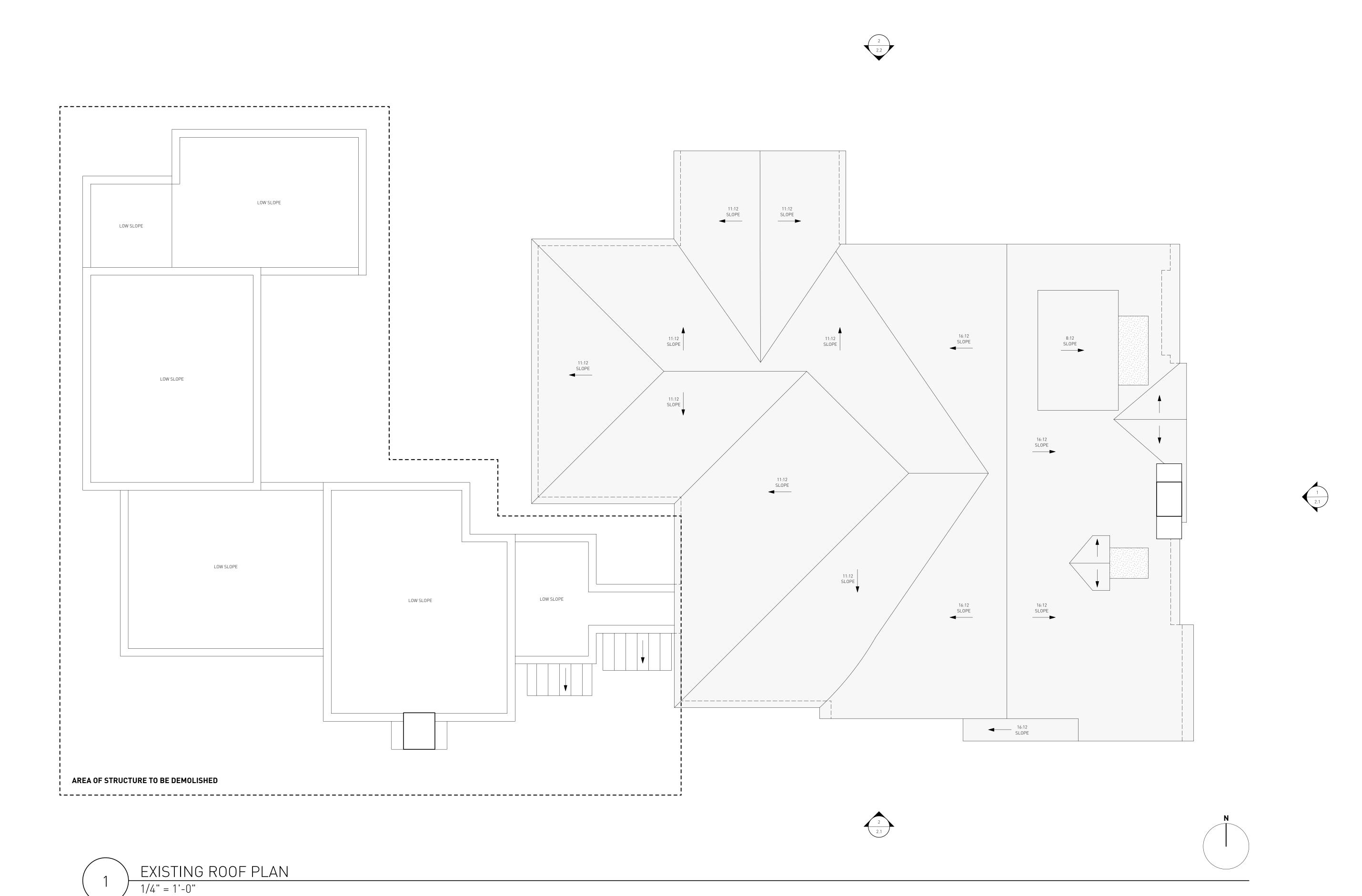
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**REVISIONS** 

TITLE EXISTING SECOND FLOOR PLAN

**JUNE 02 2021** DATE



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**REVISIONS** 

**EXISTING ROOF PLAN** 

DATE

SHEET

TITLE

JUNE 02 2021

## BENCH NEW WINDOW NEW DOOR 24' DBL HANGING WOOD DECK 16' DBL HANGING BUILT-IN MILLWORK UTILTIY \_\_\_\_\_DASHED\_LINE OF ROOF ABOVE\_\_\_\_\_ BUILT-IN 30 OVEN 36 RANGE 8'-0" ISLAND **BUILT-IN WINE** 8'-6" ISLAND DASHED LINE OF ROOF ABOVE\_\_\_\_\_ BUILT-IN MILLWORK (ICE, BAR SINK, BEV REF?) NEW WINDOW NEW WINDOW -WOOD DECK-**PLANTER** FIRST FLOOR PLAN FIRST FLOOR - 3,520 SF SECOND FLOOR - 1,822 SF

### FLOOR PLAN GENERAL NOTES

1. ALL CONFLICTS/DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO PERFORMANCE OF WORK. 2. DO NOT SCALE DRAWINGS UNDER ANY CIRCUMSTANCES. NOTIFY DESIGNER IF DISCREPANCY EXISTS OR MORE INFORMATION IS NEEDED. 3. ALL WOOD FRAMING DIMENSIONS ARE TAKEN FROM FACE OF FRAMING, UNLESS NOTED OTHERWISE.

4. ALL STEEL FRAMING DIMENSIONS ARE TAKEN FROM CENTER OR COLUMN OR BEAM, UNLESS NOTED OTHERWISE. 5. CONTRACTOR TO CONFIRM SPECS AND DIMENSIONS OF ALL EQUIPMENT PRIOR TO INSTALLATION. NOTIFY DESIGNER IF DISCREPANCY EXISTS.

6. ALL EXTERIOR AND INTERIOR WALLS ARE 2 x 6, UNLESS NOTED OTHERWISE. 7. ALL SUBCONTRACTORS TO REVIEW ALL SHEETS, INCLUDING SHEETS NOT OBVIOUS TO THEIR SPECIFIC TRADE. NOTIFY DESIGNER IF ANY QUESTIONS ARISE. 8. FLOOR AND ROOF TRUSS DIMENSIONS TO BE VERIFIED ON SITE AND BE SIZED TO ACTUAL FOUNDATION DIMENSIONS. DO NOT DETERMINE DIMENSIONS BASED ON THE

9. REFERENCE WALL SECTIONS FOR ALL VERTICAL DIMENSIONS. 10. COORDINATE FLOOR AND WALL FRAMING WITH MECHANICAL, ELECTRICAL AND

11. INSTALL SOUNDPROOFING FIBERGLASS BATT INSULATION AT WALLS IN THICKNESS TO MATCH FRAMING SIZE AT ALL BEDROOMS AND BATHROOMS.

NEW 2 x 6 STUD WALL EXISTING 2 x 6 STUD WALL

**ABBREVIATIONS** CL - CENTERLINE DS - DOWNSPOUT FD - FLOOR DRAIN HB - HOSE BIB TWH - TANKLESS WATER HEATER SG - SAFETY GLAZING REQUIRED T - THERMOSTAT SP - SHADE POCKET FS - FLOOR SUPPLY RA - RETURN AIR TOS - TOP OF SLAB

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## PROJECT **SUMMIT VIEW**

1718 SUMMIT VIEW

AUSTIN, TEXAS 78703

CLIENT

## NEHA SEMPAT AND NISHANT PATEL

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**REVISIONS** 

TITLE FIRST FLOOR PLAN

DATE **JUNE 02 2021** 

SHEET

BASEMENT - 613 SF

TOTAL - 5,955 SF

# F-----STAIR DASHED LINE OF BUILDING BELOW BUILT-IN MILLWORK OFFICE EXISTING SHINGLE ROOF NEW TPO ROOF (LOW SLOPE ROOF W/ GRAVEL ABOVE) UNCONDITIONED ATTIC DASHED LINE OF BUILDING BELOW EXTERIOR DECK 315 SF **EXISTING SHINGLE ROOF** EXISTING SHINGLE ROOF DASHED LINE OF BUILDING BELOW DASHED LINE OF ROOF ABOVE

SECOND FLOOR PLAN

### FLOOR PLAN GENERAL NOTES

1. ALL CONFLICTS/DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO PERFORMANCE OF WORK. 2. DO NOT SCALE DRAWINGS UNDER ANY CIRCUMSTANCES. NOTIFY DESIGNER IF DISCREPANCY EXISTS OR MORE INFORMATION IS NEEDED. 3. ALL WOOD FRAMING DIMENSIONS ARE TAKEN FROM FACE OF FRAMING, UNLESS

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NEW 2 x 6 STUD WALL EXISTING 2 x 6 STUD WALL

**ABBREVIATIONS** CL - CENTERLINE DS - DOWNSPOUT FD - FLOOR DRAIN HB - HOSE BIB TWH - TANKLESS WATER HEATER SG - SAFETY GLAZING REQUIRED T - THERMOSTAT SP - SHADE POCKET FS - FLOOR SUPPLY RA - RETURN AIR TOS - TOP OF SLAB

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## PROJECT **SUMMIT VIEW**

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**REVISIONS** 

**SECOND FLOOR PLAN** 

DATE JUNE 02 2021

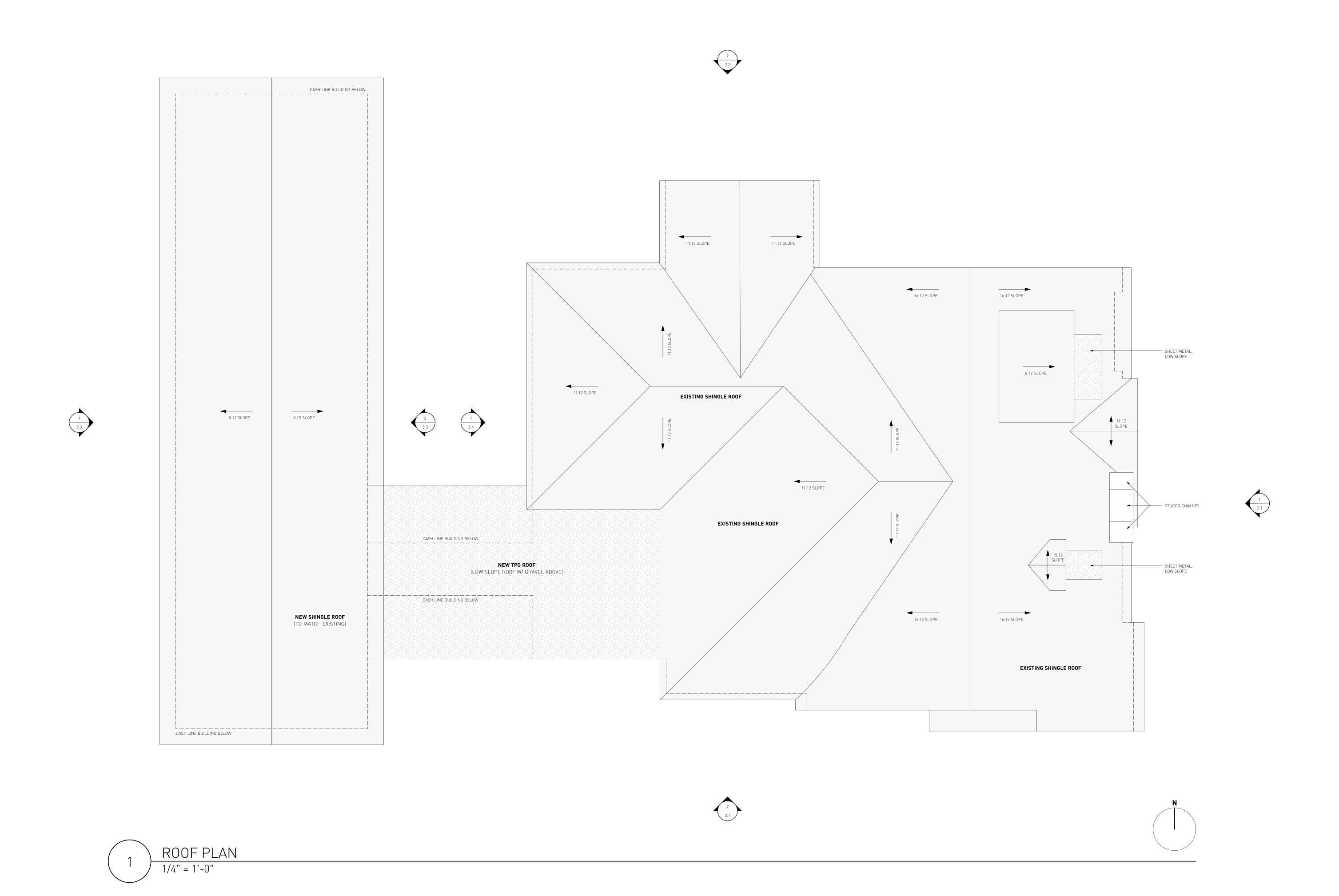
SHEET

FIRST FLOOR - 3,520 SF SECOND FLOOR - 1,822 SF

BASEMENT - 613 SF

TOTAL - 5,955 SF

TITLE



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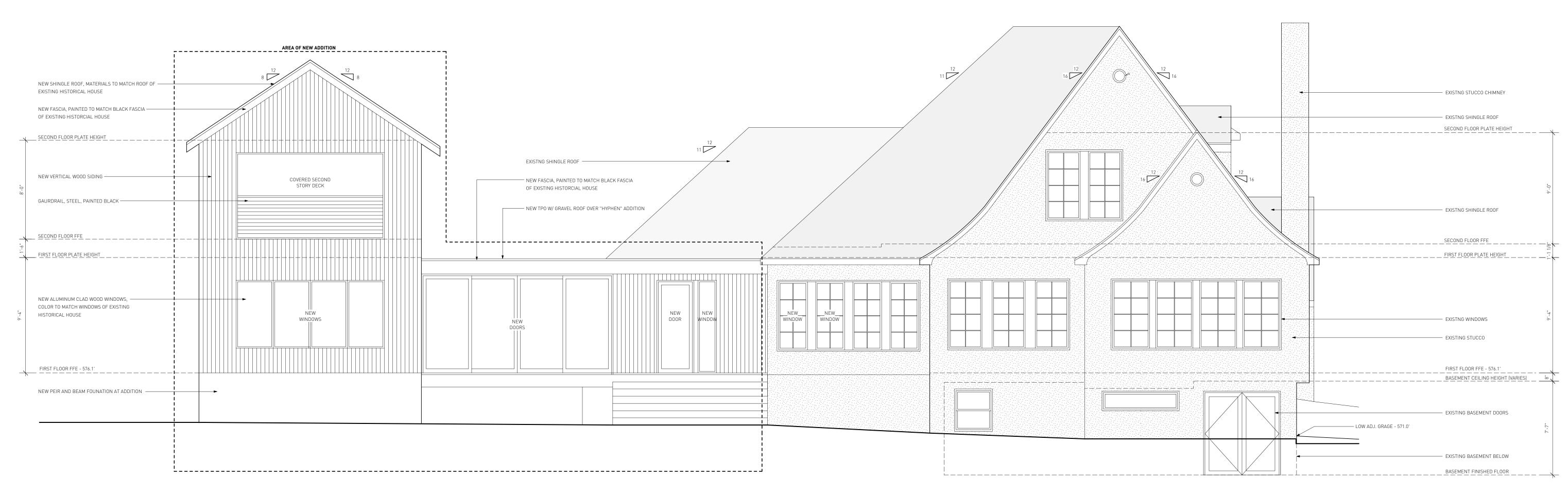
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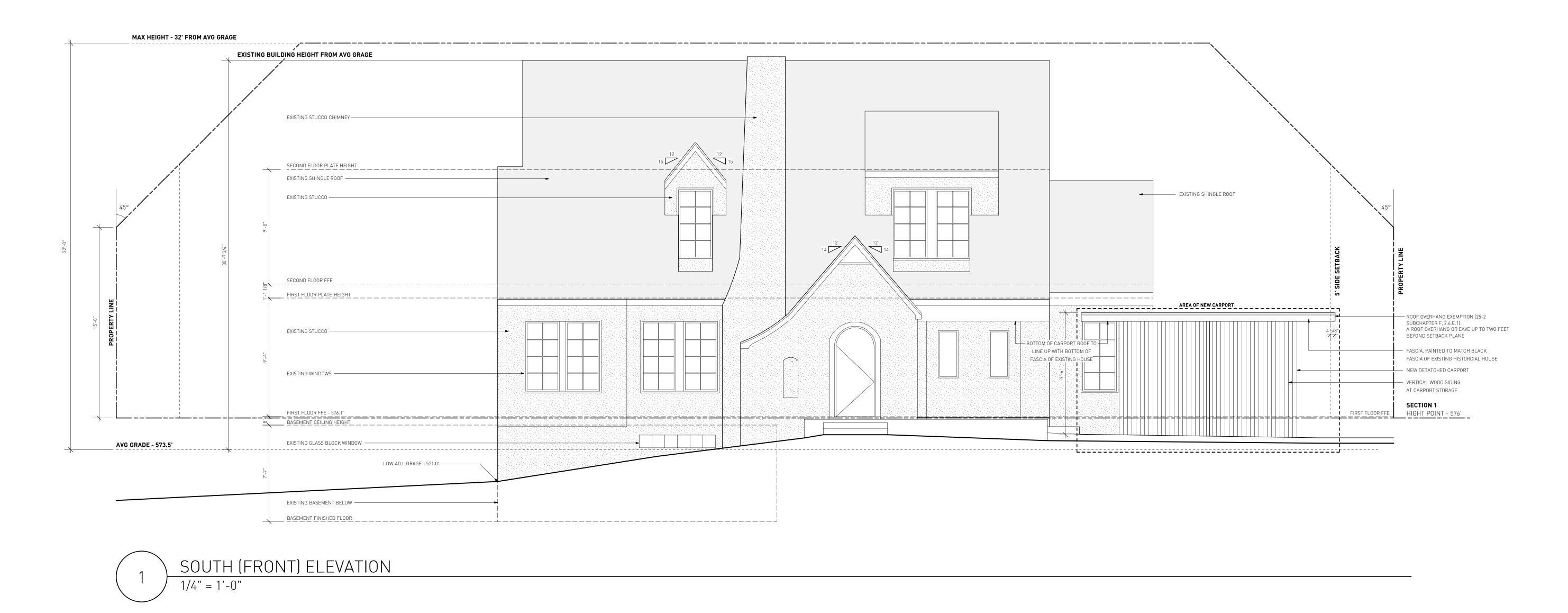
**REVISIONS** 

TITLE SECOND FLOOR PLAN

DATE JUNE 02 2021



# WEST (SIDE) ELEVATION 1/4" = 1'-0"



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SUMMIT VIEW

RESIDENCE

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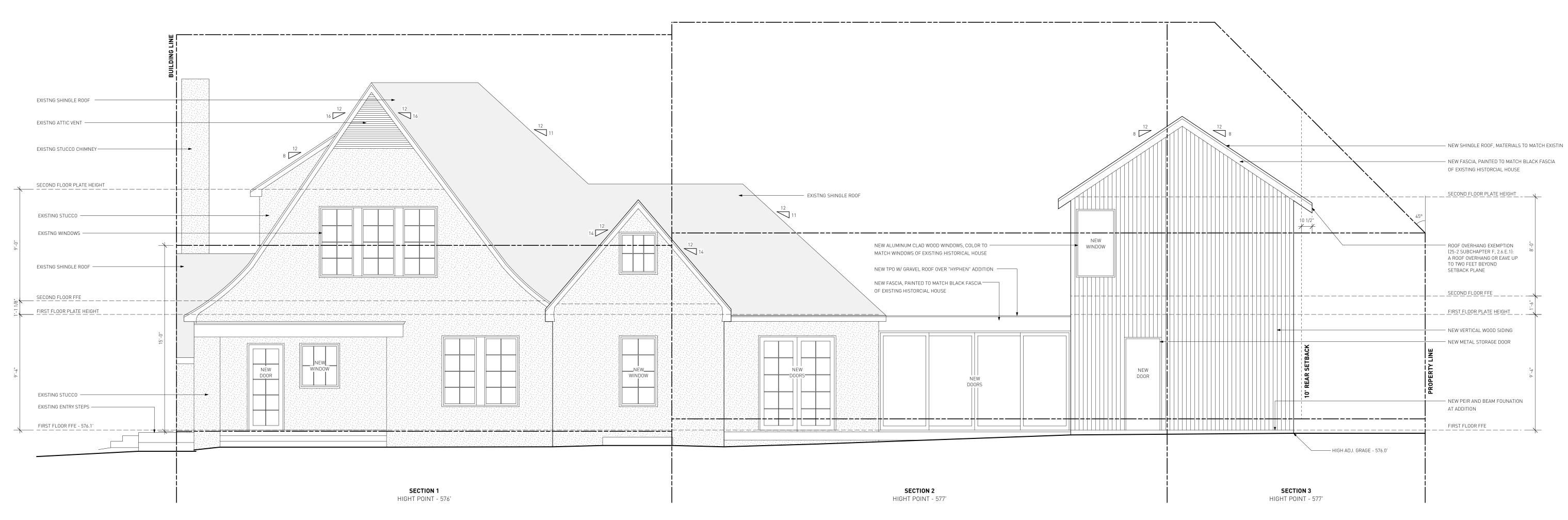
EXTERIOR ELEVATIONS

DATE JUNE 02 2021

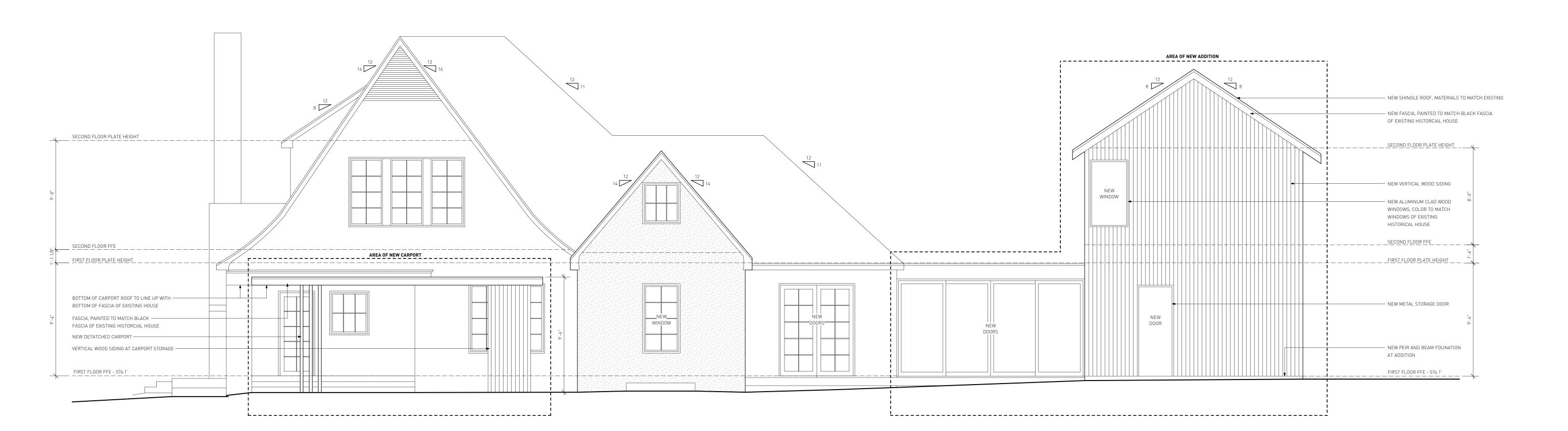
SHEET

TITLE

2.



EAST (SIDE) ELEVATION





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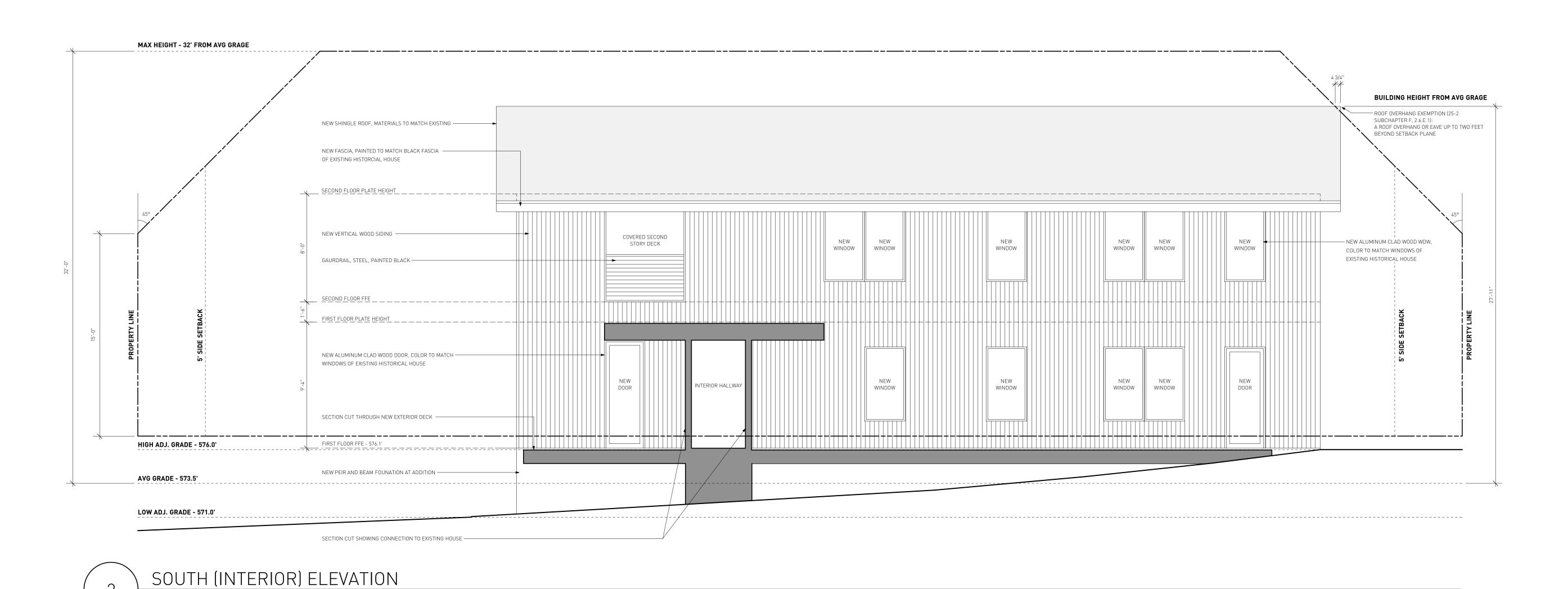
EXTERIOR ELEVATIONS

DATE JUNE 02 2021

SHEET

TITLE

2.2



MAX HEIGHT - 32' FROM AVG GRAGE ROOF OVERHANG EXEMPTION
(25-2 SUBCHAPTER F, 2.6.E.1):
A ROOF OVERHANG OR EAVE UP TO TWO FEET BEYOND SETBACK PLANE NEW SHINGLE ROOF, MATERIALS TO MATCH EXISTING - NEW FASCIA, PAINTED TO MATCH BLACK FASCIA OF EXISTING HISTORCIAL HOUSE SECOND FLOOR PLATE HEIGHT NEW VERTICAL WOOD SIDING -- NEW VERTICAL WOOD SIDING COVERED SECOND NEW | | NEW WINDOW STORY DECK NEW ALUMINUM CLAD WOOD WINDOWS, -— GAURDRAIL, STEEL, COLOR TO MATCH WINDOWS OF EXISTING PAINTED BLACK HISTORICAL HOUSE NEW METAL STORAGE DOOR ———— NEW PEIR AND BEAM FOUNATION — - NEW PEIR AND BEAM FOUNATION AT ADDITION <u>╾</u> HIGH ADJ. GRADE - 576.0' HIGH ADJ. GRAGE - 576.0' ——— AVG GRADE - 573.5' LOW ADJ. GRADE - 571.0'

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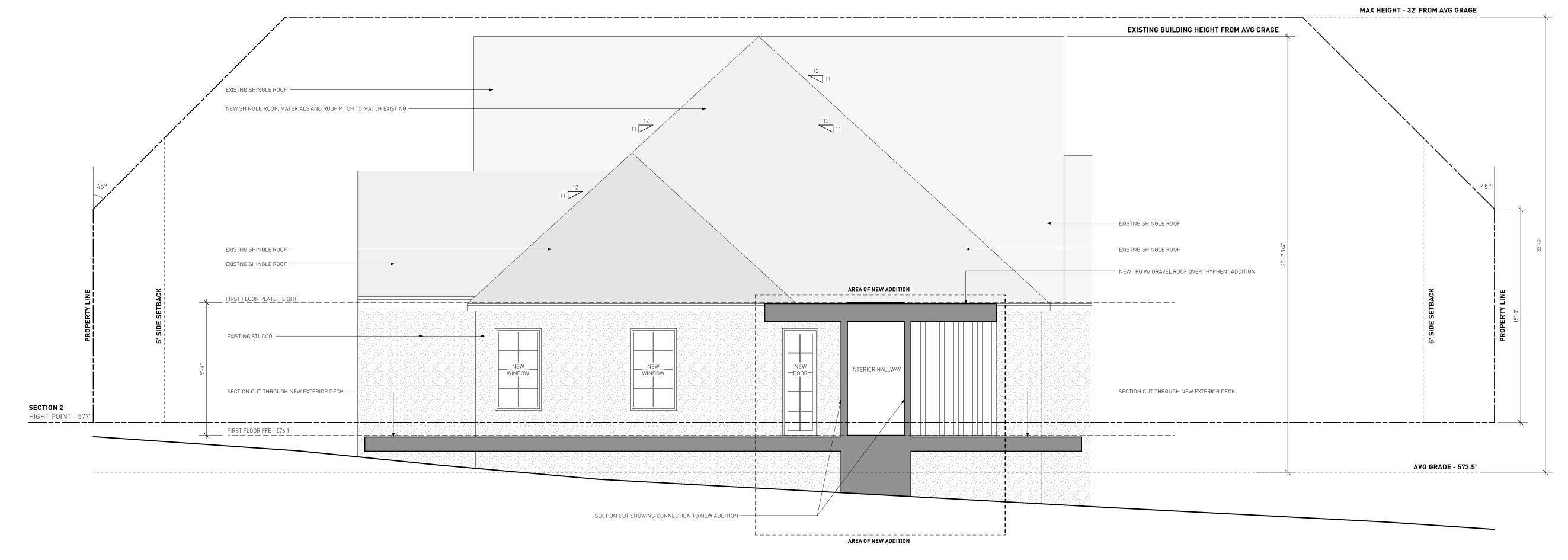
**REVISIONS** 

**EXTERIOR ELEVATIONS** 

**JUNE 02 2021** DATE

SHEET

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## MECHANICAL CONSULTANTS

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CLIENT REVIEW - FEBRUARY 02 2021 CLIENT REVIEW - MARCH 01 2021 CLIENT REVIEW - APRIL 02 2021 HISTORIC REVIEW - JUNE 02 2021

**REVISIONS** 

**EXTERIOR ELEVATIONS** 

DATE **JUNE 02 2021** 

SHEET

TITLE