

SHEET/REVISION INDEX

KEY									
● NEW SHEET									
⌚ REVISED SHEET									
○ NO CHANGE									
⊗ SHEET REMOVED									
1.1 - SITE PLAN	●								
1.2 - EXISTING BASEMENT PLAN	●								
1.3 - EXISTING FIRST FLOOR PLAN	●								
1.4 - EXISTING SECOND FLOOR PLAN	●								
1.5 - EXISTING ROOF PLAN	●								
1.6 - FIRST FLOOR PLAN	●								
1.7 - SECOND FLOOR PLAN	●								
1.8 - ROOF PLAN	●								
2.1 - EXTERIOR ELEVATIONS	●								
2.2 - EXTERIOR ELEVATIONS	●								
2.3 - EXTERIOR ELEVATIONS	●								
2.4 - EXTERIOR ELEVATIONS	●								

DATE

JUNE 02 2021

PROJECT
SUMMIT VIEW
RESIDENCE

1718 SUMMIT VIEW
AUSTIN, TEXAS 78703

CLIENT
NEHA SEMPAT AND NISHANT PATEL

PROJECT DESIGNER
MATT GARCIA DESIGN
CONTACT: NICOLE MARSHALL
EMAIL: mgdnicole@gmail.com
PHONE: 714.492.0936

STRUCTURAL ENGINEER

CONTACT:
EMAIL:
PHONE:

GEOTECHNICAL ENGINEER

CONTACT:
EMAIL:
PHONE:

ARBORIST

CONTACT:
EMAIL:
PHONE:

GENERAL CONTRACTOR

CONTACT:
EMAIL:
PHONE:

LANDSCAPE ARCHITECT

CONTACT:
EMAIL:
PHONE:

MECHANICAL CONSULTANTS

CONTACT:
EMAIL:
PHONE:

ISSUE

CLIENT REVIEW - FEBRUARY 02 2021
CLIENT REVIEW - MARCH 01 2021
CLIENT REVIEW - APRIL 02 2021
HISTORIC REVIEW - JUNE 02 2021

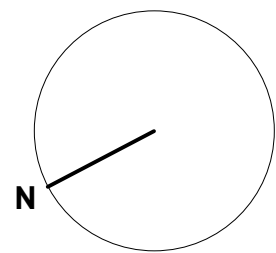
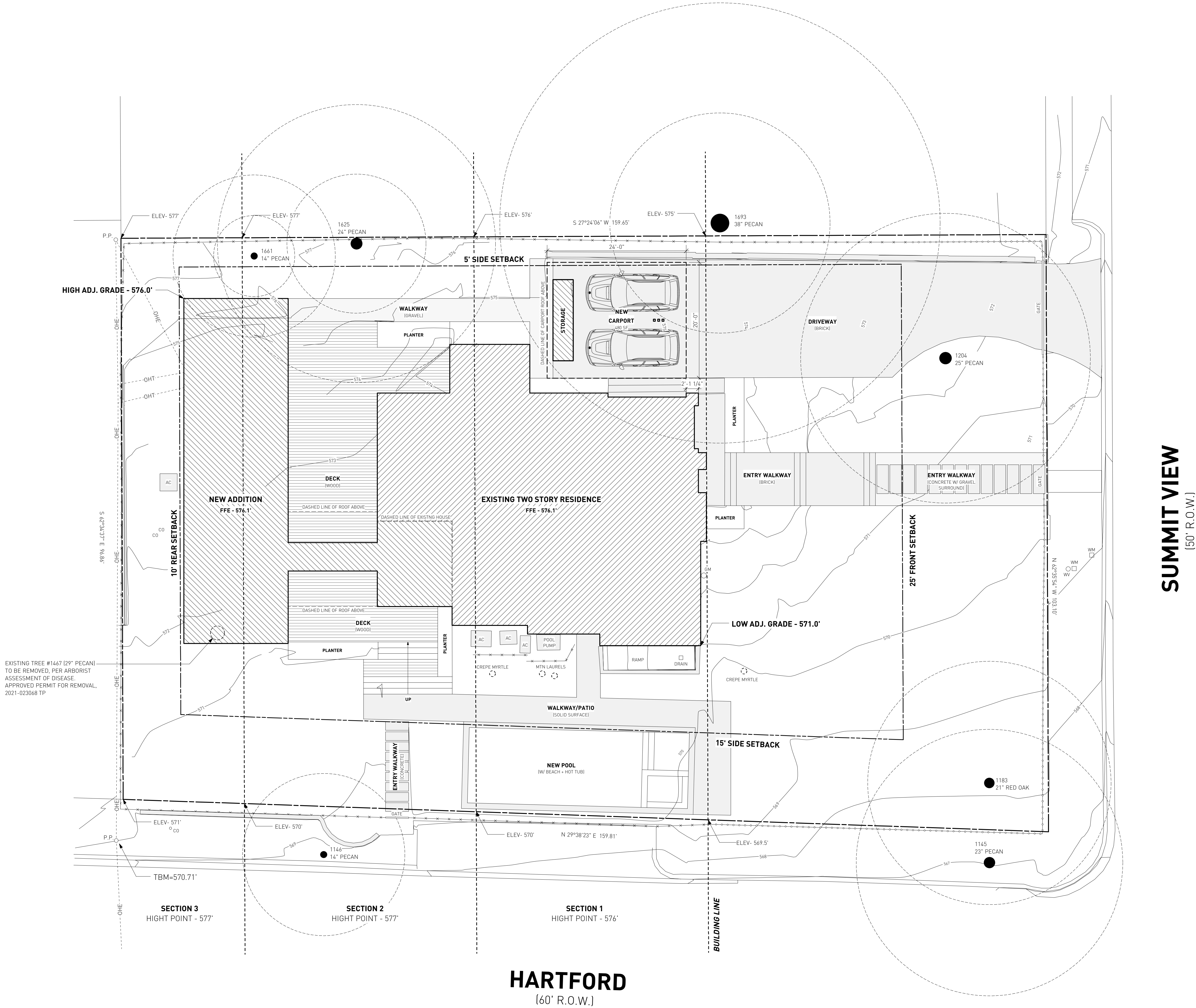
REVISIONS

TITLE SITE PLAN

DATE JUNE 02 2021

SHEET

AREA CALCULATIONS		
LOT	15,944 SF	
FIRST FLOOR EXISTING	2,190 SF	
FIRST FLOOR ADDITION (EXEMPT)	1,380 SF	
SECOND FLOOR EXISTING (EXEMPT)	1,102 SF	
SECOND FLOOR ADDITION (EXEMPT)	690 SF	
SECOND FLOOR BALCONY (EXEMPT)	311 SF	
BASEMENT EXISTING (EXEMPT)	413 SF	
DETACHED GARPORT	488 SF	
COVERED WOOD DECK	177 SF	
TOTAL BUILDING COVERAGE	4,177 SF	
TOTAL % (MAX ALLOW. 40%)	26.2%	
DRIVEWAY	1,180 SF	
AREAS OF CONCRETE/PAVERS	907 SF	
AC PADS	50 SF	
RETAINING WALLS	100 SF	
WOOD DECK/STEPS (8.50%)	538 SF	
POOL COPING	186 SF	
POOL	500 SF	
TOTAL IMPERVIOUS COVER	7,048 SF	
TOTAL % (MAX ALLOW. 40%)	44.3%	
TOTAL FAR	6,270 SF	
TOTAL % (MAX ALLOW. 40%)	39.3%	



PROJECT

SUMMIT VIEW
RESIDENCE

1718 SUMMIT VIEW
AUSTIN, TEXAS 78703

CLIENT
NEHA SEMPAT AND NISHANT PATEL

PROJECT DESIGNER
MATT GARCIA DESIGN
CONTACT: NICOLE MARSHALL
EMAIL: mgdnicole@gmail.com
PHONE: 714.492.0936

STRUCTURAL ENGINEER

CONTACT:
EMAIL:
PHONE:

GEOTECHNICAL ENGINEER

CONTACT:
EMAIL:
PHONE:

ARBORIST

CONTACT:
EMAIL:
PHONE:

GENERAL CONTRACTOR

CONTACT:
EMAIL:
PHONE:

LANDSCAPE ARCHITECT

CONTACT:
EMAIL:
PHONE:

MECHANICAL CONSULTANTS

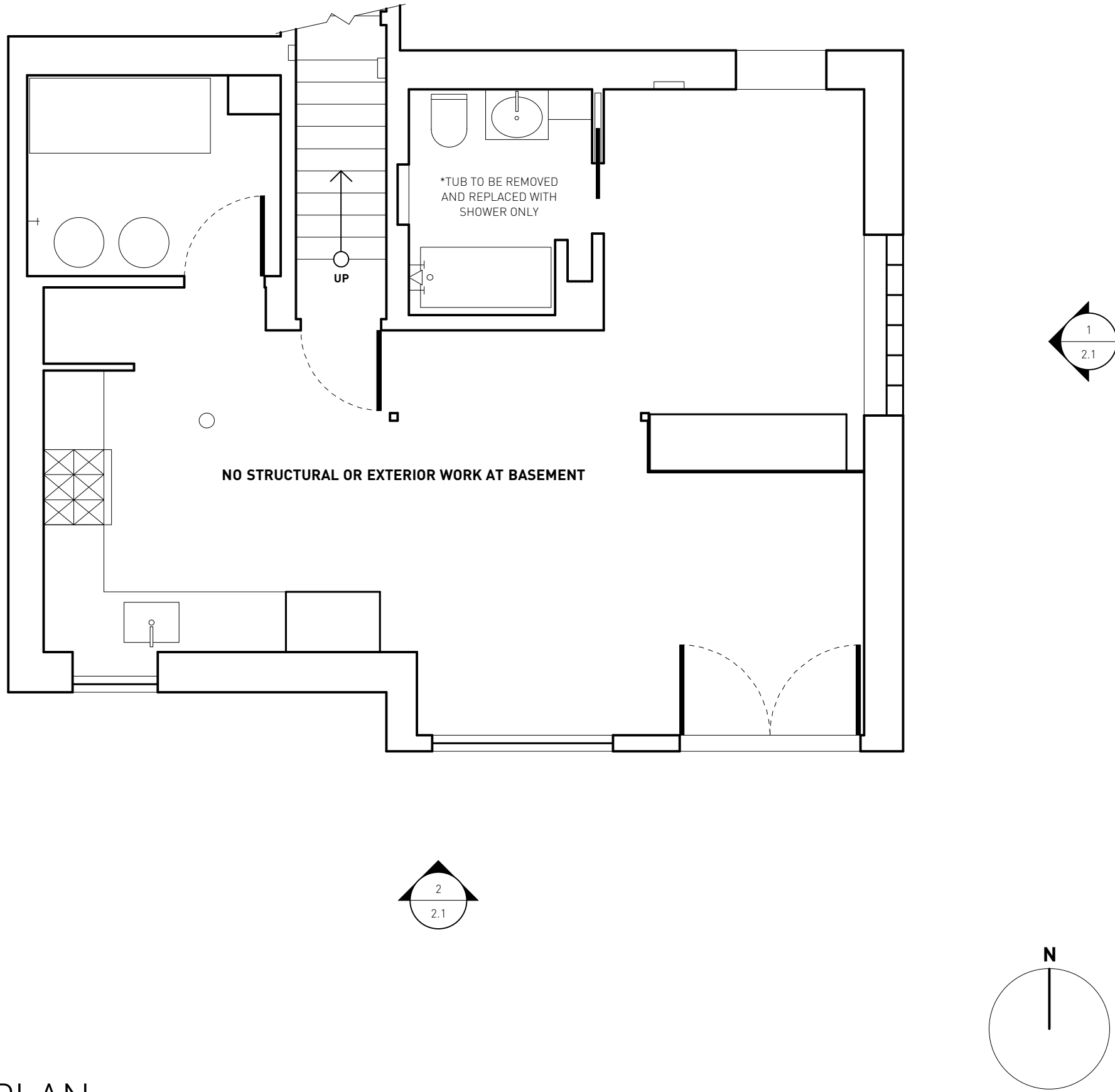
CONTACT:
EMAIL:
PHONE:

The drawings and written material herein constitute original work of the designer, and as an intellectual property and instruments of service, are subject to copyright and may not be reproduced, distributed, published or used in any way without the written express consent of the designer.

ISSUE
CLIENT REVIEW - FEBRUARY 02 2021
CLIENT REVIEW - MARCH 01 2021
CLIENT REVIEW - APRIL 02 2021
HISTORIC REVIEW - JUNE 02 2021

REVISIONS

TITLE	EXISTING BASEMENT PLAN
DATE	JUNE 02 2021
SHEET	



1

EXISTING BASEMENT FLOOR PLAN
1/4" = 1'-0"

PROJECT

SUMMIT VIEW
RESIDENCE

1718 SUMMIT VIEW
AUSTIN, TEXAS 78703

CLIENT
NEHA SEMPAT AND NISHANT PATEL

PROJECT DESIGNER
MATT GARCIA DESIGN
CONTACT: NICOLE MARSHALL
EMAIL: mgdnicole@gmail.com
PHONE: 714.492.0936

STRUCTURAL ENGINEER

CONTACT:
EMAIL:
PHONE:

GEOTECHNICAL ENGINEER

CONTACT:
EMAIL:
PHONE:

ARBORIST

CONTACT:
EMAIL:
PHONE:

GENERAL CONTRACTOR

CONTACT:
EMAIL:
PHONE:

LANDSCAPE ARCHITECT

CONTACT:
EMAIL:
PHONE:

MECHANICAL CONSULTANTS

CONTACT:
EMAIL:
PHONE:

The drawings and written material herein constitute original work of the designer, and as an intellectual property and instruments of service, are subject to copyright and may not be reproduced, distributed, published or used in any way without the written express consent of the designer.

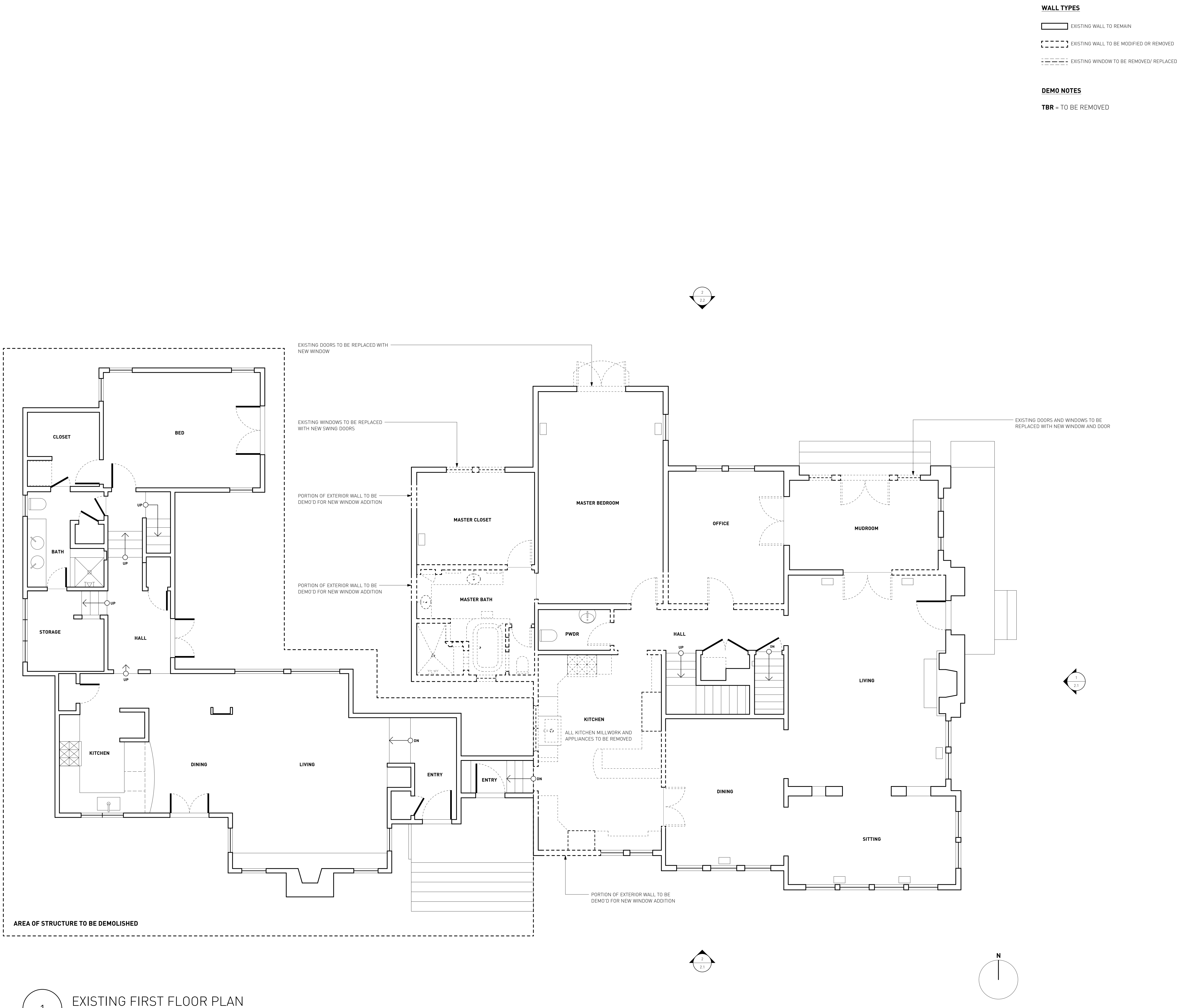
ISSUE
CLIENT REVIEW - FEBRUARY 02 2021
CLIENT REVIEW - MARCH 01 2021
CLIENT REVIEW - APRIL 02 2021
HISTORIC REVIEW - JUNE 02 2021

REVISIONS

TITLE EXISTING FIRST FLOOR PLAN

DATE JUNE 02 2021

SHEET



1

EXISTING FIRST FLOOR PLAN

1/4" = 1'-0"

WALL TYPES

EXISTING WALL TO REMAIN

EXISTING WALL TO BE MODIFIED OR REMOVED

EXISTING WINDOW TO BE REMOVED/ REPLACED

DEMO NOTES

TBR = TO BE REMOVED

MATT GARCIA
DESIGN

1010-B WEST LYNN ST.
AUSTIN, T E X A S 78703

TELEPHONE 210.861.0978

www.mattgarciadesign.com

PROJECT

SUMMIT VIEW
RESIDENCE

1718 SUMMIT VIEW
AUSTIN, TEXAS 78703

CLIENT
NEHA SEMPAT AND NISHANT PATEL

PROJECT DESIGNER
MATT GARCIA DESIGN
CONTACT: NICOLE MARSHALL
EMAIL: mgdnicole@gmail.com
PHONE: 714.492.0936

STRUCTURAL ENGINEER

CONTACT:
EMAIL:
PHONE:

GEOTECHNICAL ENGINEER

CONTACT:
EMAIL:
PHONE:

ARBORIST

CONTACT:
EMAIL:
PHONE:

GENERAL CONTRACTOR

CONTACT:
EMAIL:
PHONE:

LANDSCAPE ARCHITECT

CONTACT:
EMAIL:
PHONE:

MECHANICAL CONSULTANTS

CONTACT:
EMAIL:
PHONE:

The drawings and written material herein constitute original work of the designer, and as an intellectual property and instruments of service, are subject to copyright and may not be reproduced, distributed, published or used in any way without the written express consent of the designer.

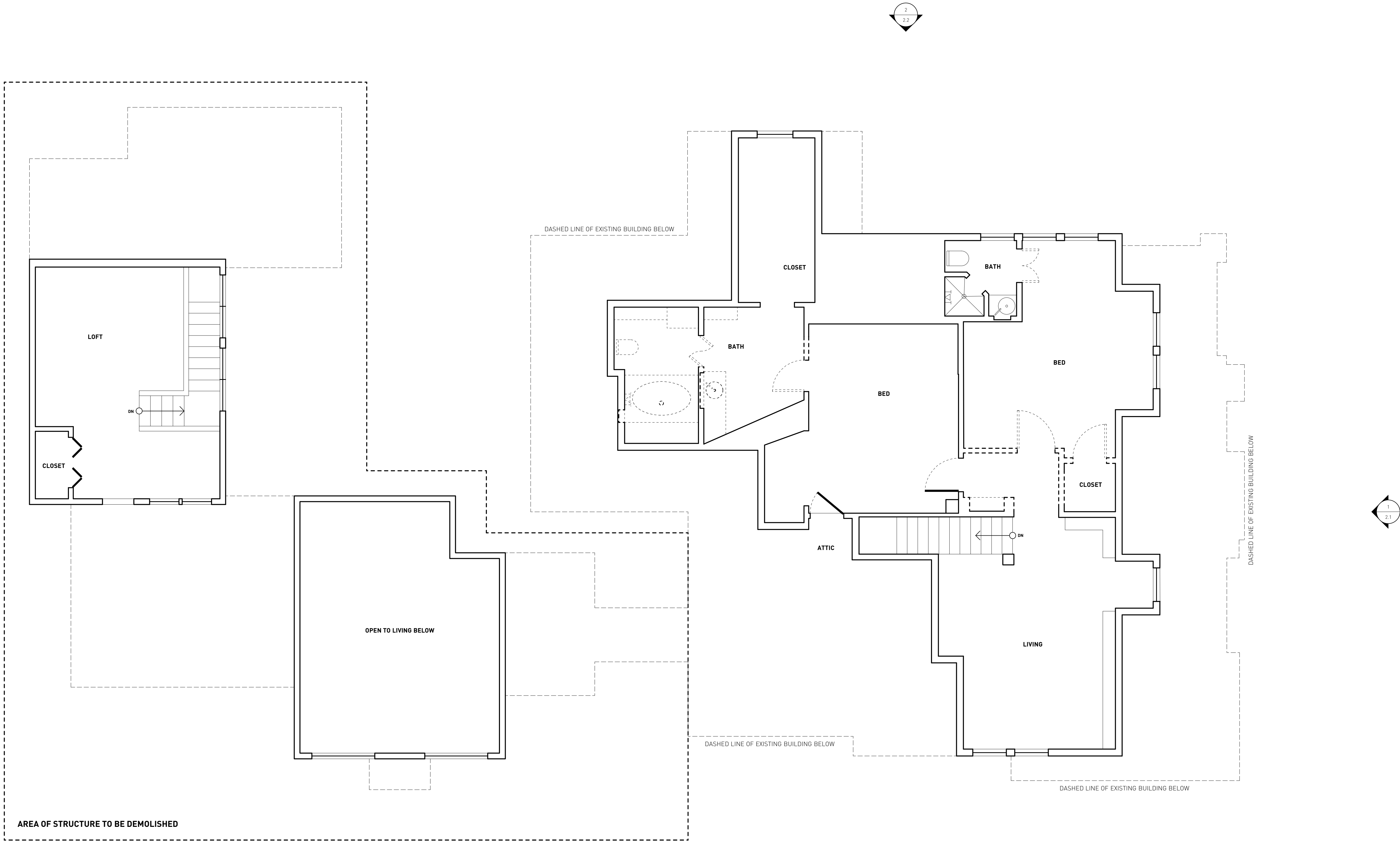
ISSUE
CLIENT REVIEW - FEBRUARY 02 2021
CLIENT REVIEW - MARCH 01 2021
CLIENT REVIEW - APRIL 02 2021
HISTORIC REVIEW - JUNE 02 2021

REVISIONS

TITLE EXISTING SECOND FLOOR PLAN

DATE JUNE 02 2021

SHEET



1 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"

PROJECT

SUMMIT VIEW
RESIDENCE

1718 SUMMIT VIEW
AUSTIN, TEXAS 78703

CLIENT
NEHA SEMPAT AND NISHANT PATEL

PROJECT DESIGNER
MATT GARCIA DESIGN
CONTACT: NICOLE MARSHALL
EMAIL: mgdnicole@gmail.com
PHONE: 714.492.0936

STRUCTURAL ENGINEER

CONTACT:
EMAIL:
PHONE:

GEOTECHNICAL ENGINEER

CONTACT:
EMAIL:
PHONE:

ARBORIST

CONTACT:
EMAIL:
PHONE:

GENERAL CONTRACTOR

CONTACT:
EMAIL:
PHONE:

LANDSCAPE ARCHITECT

CONTACT:
EMAIL:
PHONE:

MECHANICAL CONSULTANTS

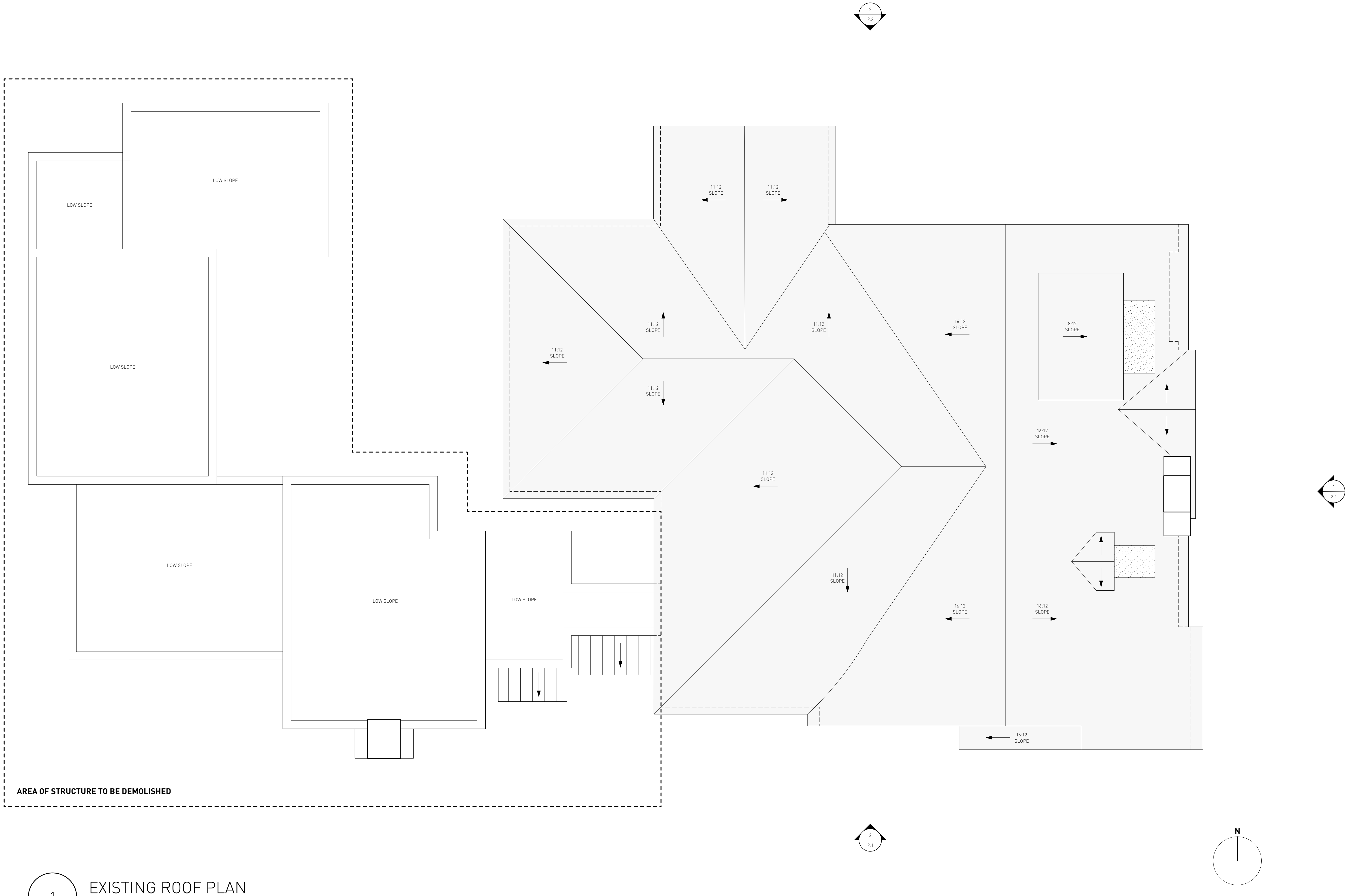
CONTACT:
EMAIL:
PHONE:

The drawings and written material herein
constitute original work of the designer, and
as an intellectual property and instruments
of service, are subject to copyright and may
not be reproduced, distributed, published or
used in any way without the written express
consent of the designer.

ISSUE
CLIENT REVIEW - FEBRUARY 02 2021
CLIENT REVIEW - MARCH 01 2021
CLIENT REVIEW - APRIL 02 2021
HISTORIC REVIEW - JUNE 02 2021

REVISIONS

TITLE	EXISTING ROOF PLAN
DATE	JUNE 02 2021
SHEET	



PROJECT
SUMMIT VIEW
RESIDENCE

1718 SUMMIT VIEW
AUSTIN, TEXAS 78703

CLIENT
NEHA SEMPAT AND NISHANT PATEL

PROJECT DESIGNER
MATT GARCIA DESIGN
CONTACT: NICOLE MARSHALL
EMAIL: mgdnicole@gmail.com
PHONE: 714.492.0936

STRUCTURAL ENGINEER

CONTACT:
EMAIL:
PHONE:

GEOTECHNICAL ENGINEER

CONTACT:
EMAIL:
PHONE:

ARBORIST

CONTACT:
EMAIL:
PHONE:

GENERAL CONTRACTOR

CONTACT:
EMAIL:
PHONE:

LANDSCAPE ARCHITECT

CONTACT:
EMAIL:
PHONE:

MECHANICAL CONSULTANTS

CONTACT:
EMAIL:
PHONE:

The drawings and written material herein
constitute original work of the designer, and
as an intellectual property and instruments
of service, are subject to copyright and may
not be reproduced, distributed, published or
used in any way without the written express
consent of the designer.

ISSUE
CLIENT REVIEW - FEBRUARY 02 2021
CLIENT REVIEW - MARCH 01 2021
CLIENT REVIEW - APRIL 02 2021
HISTORIC REVIEW - JUNE 02 2021

REVISIONS

TITLE FIRST FLOOR PLAN

DATE JUNE 02 2021

SHEET

FLOOR PLAN GENERAL NOTES

1. ALL CONFLICTS/DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO PERFORMANCE OF WORK.
2. DO NOT SCALE DRAWINGS UNDER ANY CIRCUMSTANCES. NOTIFY DESIGNER IF DISCREPANCY EXISTS OR MORE INFORMATION IS NEEDED.
3. ALL WOOD FRAMING DIMENSIONS ARE TAKEN FROM FACE OF FRAMING, UNLESS NOTED OTHERWISE.
4. ALL STEEL FRAMING DIMENSIONS ARE TAKEN FROM CENTER OR COLUMN OR BEAM, UNLESS NOTED OTHERWISE.
5. CONTRACTOR TO CONFIRM SPECS AND DIMENSIONS OF ALL EQUIPMENT PRIOR TO INSTALLATION. NOTIFY DESIGNER IF DISCREPANCY EXISTS.
6. ALL EXTERIOR AND INTERIOR WALLS ARE 2 x 4, UNLESS NOTED OTHERWISE.
7. ALL SUBCONTRACTORS TO REVIEW ALL SHEETS, INCLUDING SHEETS NOT OBVIOUS TO THEIR SPECIFIC TRADE. NOTIFY DESIGNER IF ANY QUESTIONS ARISE.
8. FLOOR AND ROOF TRUSS DIMENSIONS TO BE VERIFIED ON SITE AND BE SIZED TO ACTUAL FOUNDATION DIMENSIONS. DO NOT DETERMINE DIMENSIONS BASED ON THE PLANS ALONE.
9. REFERENCE WALL SECTIONS FOR ALL VERTICAL DIMENSIONS.
10. COORDINATE FLOOR AND WALL FRAMING WITH MECHANICAL, ELECTRICAL AND PLUMBING.
11. INSTALL SOUNDPROOFING FIBERGLASS BATT INSULATION AT WALLS IN THICKNESS TO MATCH FRAMING SIZE AT ALL BEDROOMS AND BATHROOMS.

WALL TYPE

- NEW 2 x 4 STUD WALL
EXISTING 2 x 4 STUD WALL

ABBREVIATIONS

- CL - CENTERLINE
DS - DOWNSPOUT
FD - FLOOR DRAIN
HB - HOSE BIB
TWH - TANKLESS WATER HEATER
S6 - SAFETY GLAZING REQUIRED
T - THERMOSTAT
SP - SHADE POCKET
FS - FLOOR SUPPLY
RA - RETURN AIR
TOS - TOP OF SLAB



1 FIRST FLOOR PLAN
1/4" = 1'-0"

FIRST FLOOR - 3,520 SF
SECOND FLOOR - 1,822 SF
BASEMENT - 613 SF
TOTAL - 5,955 SF

PROJECT
SUMMIT VIEW
RESIDENCE

1718 SUMMIT VIEW
AUSTIN, TEXAS 78703

CLIENT
NEHA SEMPAT AND NISHANT PATEL

PROJECT DESIGNER
MATT GARCIA DESIGN
CONTACT: NICOLE MARSHALL
EMAIL: mgdnicole@gmail.com
PHONE: 714.492.0936

STRUCTURAL ENGINEER

CONTACT:
EMAIL:
PHONE:

GEOTECHNICAL ENGINEER

CONTACT:
EMAIL:
PHONE:

ARBORIST

CONTACT:
EMAIL:
PHONE:

GENERAL CONTRACTOR

CONTACT:
EMAIL:
PHONE:

LANDSCAPE ARCHITECT

CONTACT:
EMAIL:
PHONE:

MECHANICAL CONSULTANTS

CONTACT:
EMAIL:
PHONE:

The drawings and written material herein constitute original work of the designer, and as an intellectual property and instruments of service, are subject to copyright and may not be reproduced, distributed, published or used in any way without the written express consent of the designer.

ISSUE
CLIENT REVIEW - FEBRUARY 02 2021
CLIENT REVIEW - MARCH 01 2021
CLIENT REVIEW - APRIL 02 2021
HISTORIC REVIEW - JUNE 02 2021

REVISIONS

TITLE SECOND FLOOR PLAN

DATE JUNE 02 2021

SHEET

FLOOR PLAN GENERAL NOTES

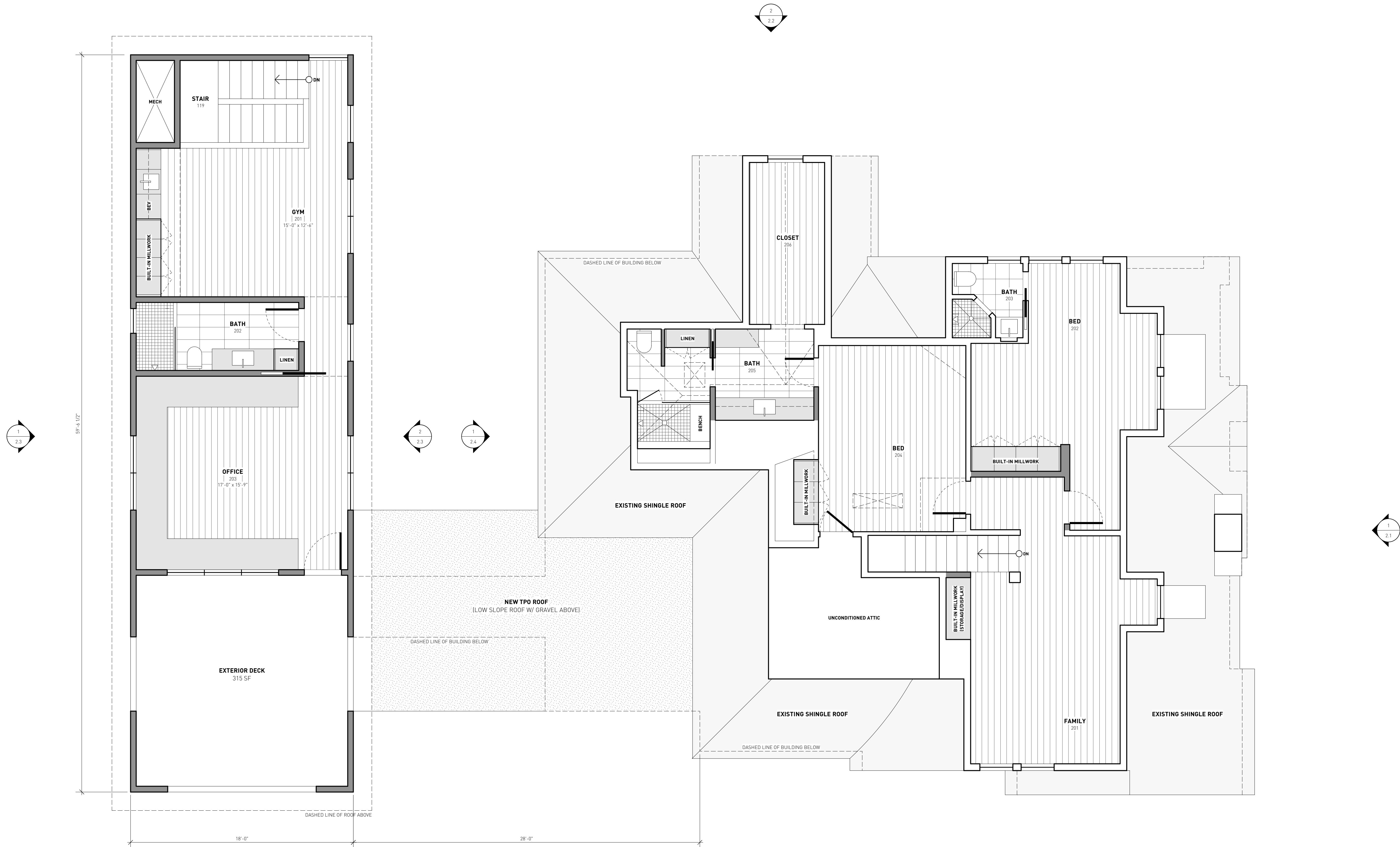
1. ALL CONFLICTS/DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO PERFORMANCE OF WORK.
2. DO NOT SCALE DRAWINGS UNDER ANY CIRCUMSTANCES. NOTIFY DESIGNER IF DISCREPANCY EXISTS OR MORE INFORMATION IS NEEDED.
3. ALL WOOD FRAMING DIMENSIONS ARE TAKEN FROM FACE OF FRAMING, UNLESS NOTED OTHERWISE.
4. ALL STEEL FRAMING DIMENSIONS ARE TAKEN FROM CENTER OR COLUMN OR BEAM, UNLESS NOTED OTHERWISE.
5. CONTRACTOR TO CONFIRM SPECS AND DIMENSIONS OF ALL EQUIPMENT PRIOR TO INSTALLATION. NOTIFY DESIGNER IF DISCREPANCY EXISTS.
6. ALL EXTERIOR AND INTERIOR WALLS ARE 2 x 4, UNLESS NOTED OTHERWISE.
7. ALL SUBCONTRACTORS TO REVIEW ALL SHEETS, INCLUDING SHEETS NOT OBVIOUS TO THEIR SPECIFIC TRADE. NOTIFY DESIGNER IF ANY QUESTIONS ARISE.
8. FLOOR AND ROOF TRUSS DIMENSIONS TO BE VERIFIED ON SITE AND BE SIZED TO ACTUAL FOUNDATION DIMENSIONS. DO NOT DETERMINE DIMENSIONS BASED ON THE PLANS ALONE.
9. REFERENCE WALL SECTIONS FOR ALL VERTICAL DIMENSIONS.
10. COORDINATE FLOOR AND WALL FRAMING WITH MECHANICAL, ELECTRICAL AND PLUMBING.
11. INSTALL SOUNDPROOFING FIBERGLASS BATT INSULATION AT WALLS IN THICKNESS TO MATCH FRAMING SIZE AT ALL BEDROOMS AND BATHROOMS.

WALL TYPE

- NEW 2 x 4 STUD WALL
EXISTING 2 x 4 STUD WALL

ABBREVIATIONS

- CL - CENTERLINE
DS - DOWNSPOUT
FD - FLOOR DRAIN
HB - HOSE BIB
TWH - TANKLESS WATER HEATER
S6 - SAFETY GLAZING REQUIRED
T - THERMOSTAT
SP - SHADE POCKET
FS - FLOOR SUPPLY
RA - RETURN AIR
TOS - TOP OF SLAB



1

SECOND FLOOR PLAN

1/4" = 1'-0"

FIRST FLOOR - 3,520 SF
SECOND FLOOR - 1,822 SF
BASEMENT - 413 SF
TOTAL - 5,955 SF

1718 SUMMIT VIEW
AUSTIN, TEXAS 78703

CLIENT
NEHA SEMPAT AND NISHANT PATEL

PROJECT DESIGNER
MATT GARCIA DESIGN
CONTACT: NICOLE MARSHALL
EMAIL: mgdnicole@gmail.com
PHONE: 714.492.0936

STRUCTURAL ENGINEER

CONTACT:
EMAIL:
PHONE:

GEOTECHNICAL ENGINEER

CONTACT:
EMAIL:
PHONE:

ARBORIST

CONTACT:
EMAIL:
PHONE:

GENERAL CONTRACTOR

CONTACT:
EMAIL:
PHONE:

LANDSCAPE ARCHITECT

CONTACT:
EMAIL:
PHONE:

MECHANICAL CONSULTANTS

CONTACT:
EMAIL:
PHONE:

The drawings and written material herein constitute original work of the designer, and as an intellectual property and instruments of service, are subject to copyright and may not be reproduced, distributed, published or used in any way without the written express consent of the designer.

ISSUE
CLIENT REVIEW - FEBRUARY 02 2021
CLIENT REVIEW - MARCH 01 2021
CLIENT REVIEW - APRIL 02 2021
HISTORIC REVIEW - JUNE 02 2021

REVISIONS

TITLE	SECOND FLOOR PLAN
-------	-------------------

DATE JUNE 02 2021

SHEET

CONTACT:
EMAIL:
PHONE:

ISSUE
CLIENT REVIEW - FEBRUARY 02 2021
CLIENT REVIEW - MARCH 01 2021
CLIENT REVIEW - APRIL 02 2021
HISTORIC REVIEW - JUNE 02 2021

SHEET



1718 SUMMIT VIEW
AUSTIN, TEXAS 78703

CLIENT
NEHA SEMPAT AND NISHANT PATEL

PROJECT DESIGNER
MATT GARCIA DESIGN
CONTACT: NICOLE MARSHALL
EMAIL: mgdnicole@gmail.com
PHONE: 714.492.0936

STRUCTURAL ENGINEER

CONTACT: _____
EMAIL: _____
PHONE: _____

GEOTECHNICAL ENGINEER

CONTACT:
EMAIL:
PHONE:

ARBORIST

CONTACT:
EMAIL:
PHONE:

GENERAL CONTRACTOR

CONTACT:
EMAIL:
PHONE:

LANDSCAPE ARCHITECT

CONTACT:
EMAIL:
PHONE:

MECHANICAL CONSULTANTS

CONTACT:
EMAIL:
PHONE:

The drawings and written material herein constitute original work of the designer, and as an intellectual property and instruments of service, are subject to copyright and may not be reproduced, distributed, published or used in any way without the written express consent of the designer.

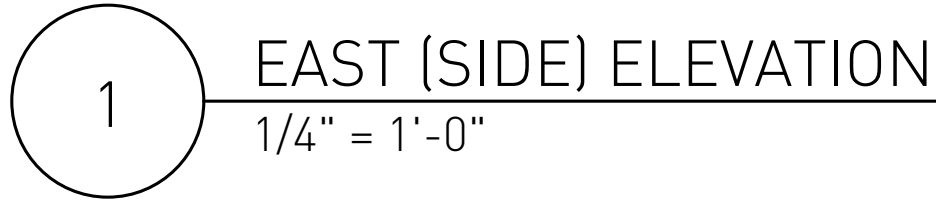
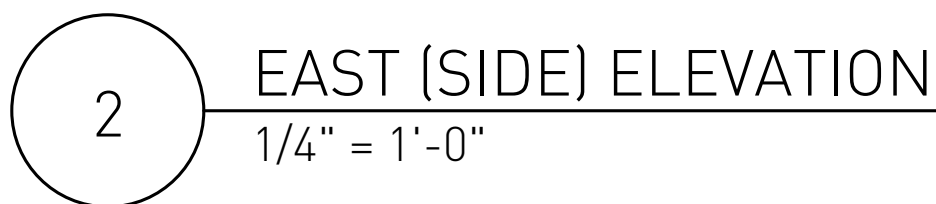
ISSUE
CLIENT REVIEW - FEBRUARY 02 2021
CLIENT REVIEW - MARCH 01 2021
CLIENT REVIEW - APRIL 02 2021
HISTORIC REVIEW - JUNE 02 2021

REVISIONS

TITLE	EXTERIOR ELEVATIONS
-------	---------------------

DATE JUNE 02 2021

SHEET



PROJECT

SUMMIT VIEW
RESIDENCE

1718 SUMMIT VIEW
AUSTIN, TEXAS 78703

CLIENT
NEHA SEMPAT AND NISHANT PATEL

PROJECT DESIGNER
MATT GARCIA DESIGN
CONTACT: NICOLE MARSHALL
EMAIL: mgdnicole@gmail.com
PHONE: 714.492.0936

STRUCTURAL ENGINEER

CONTACT:
EMAIL:
PHONE:

GEOTECHNICAL ENGINEER

CONTACT:
EMAIL:
PHONE:

ARBORIST

CONTACT:
EMAIL:
PHONE:

GENERAL CONTRACTOR

CONTACT:
EMAIL:
PHONE:

LANDSCAPE ARCHITECT

CONTACT:
EMAIL:
PHONE:

MECHANICAL CONSULTANTS

CONTACT:
EMAIL:
PHONE:

The drawings and written material herein constitute original work of the designer, and as an intellectual property and instruments of service, are subject to copyright and may not be reproduced, distributed, published or used in any way without the written express consent of the designer.

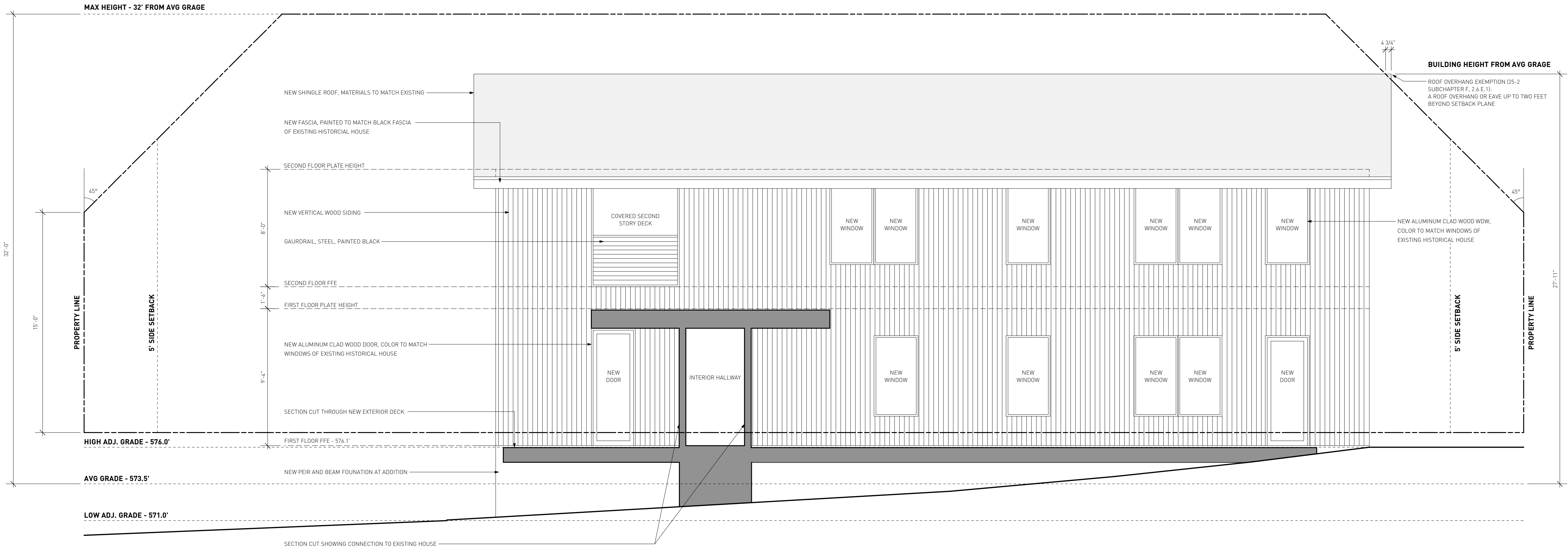
ISSUE
CLIENT REVIEW - FEBRUARY 02 2021
CLIENT REVIEW - MARCH 01 2021
CLIENT REVIEW - APRIL 02 2021
HISTORIC REVIEW - JUNE 02 2021

REVISIONS

TITLE
EXTERIOR ELEVATIONS

DATE
JUNE 02 2021

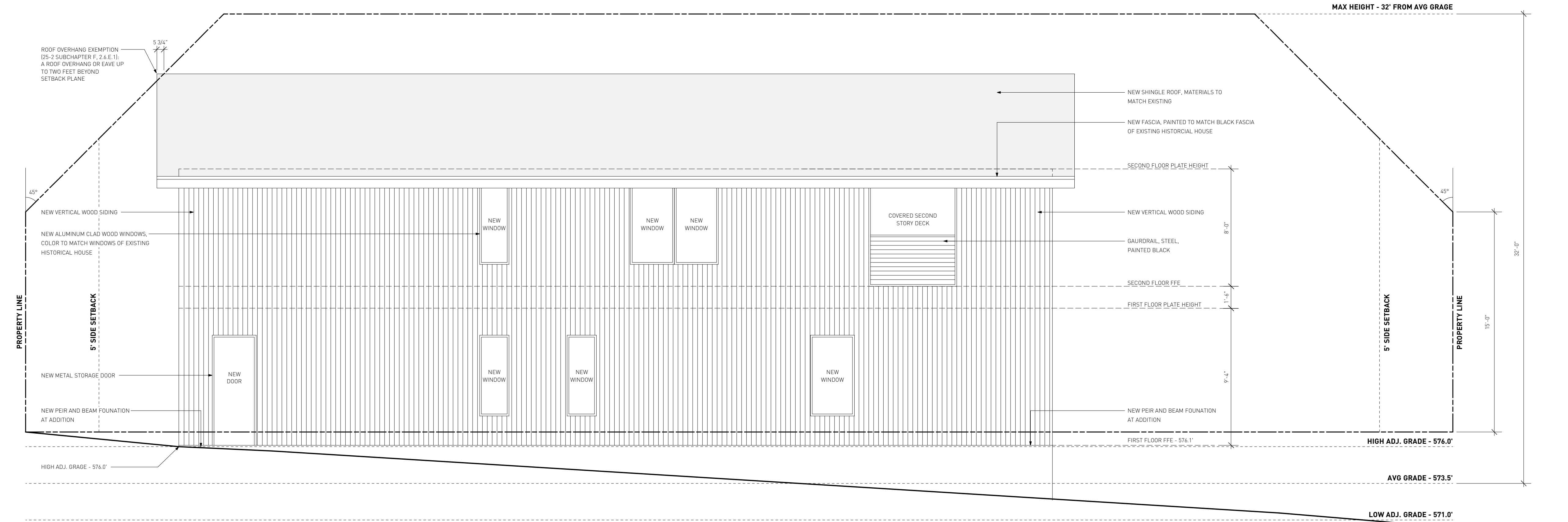
SHEET



2

SOUTH (INTERIOR) ELEVATION

1/4" = 1'-0"



1

NORTH (REAR) ELEVATION

1/4" = 1'-0"

PROJECT

SUMMIT VIEW
RESIDENCE

1718 SUMMIT VIEW
AUSTIN, TEXAS 78703

CLIENT
NEHA SEMPAT AND NISHANT PATEL

PROJECT DESIGNER
MATT GARCIA DESIGN
CONTACT: NICOLE MARSHALL
EMAIL: mgdnicole@gmail.com
PHONE: 714.492.0936

STRUCTURAL ENGINEER

CONTACT:
EMAIL:
PHONE:

GEOTECHNICAL ENGINEER

CONTACT:
EMAIL:
PHONE:

ARBORIST

CONTACT:
EMAIL:
PHONE:

GENERAL CONTRACTOR

CONTACT:
EMAIL:
PHONE:

LANDSCAPE ARCHITECT

CONTACT:
EMAIL:
PHONE:

MECHANICAL CONSULTANTS

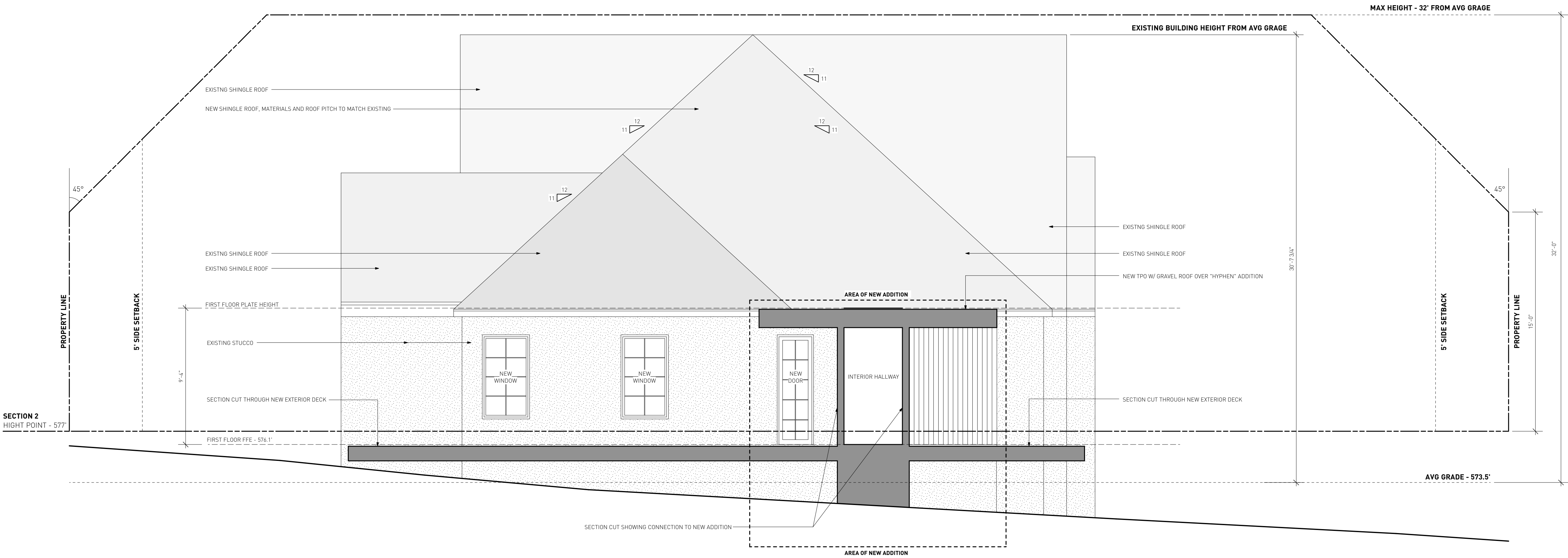
CONTACT:
EMAIL:
PHONE:

The drawings and written material herein constitute original work of the designer, and as an intellectual property and instruments of service, are subject to copyright and may not be reproduced, distributed, published or used in any way without the written express consent of the designer.

ISSUE
CLIENT REVIEW - FEBRUARY 02 2021
CLIENT REVIEW - MARCH 01 2021
CLIENT REVIEW - APRIL 02 2021
HISTORIC REVIEW - JUNE 02 2021

REVISIONS

TITLE	EXTERIOR ELEVATIONS
DATE	JUNE 02 2021
SHEET	



1

NORTH (INTERIOR) ELEVATION
1/4" = 1'-0"