

Northwood Remodel

Austin, Texas
Travis County

VICINITY MAP



ABBREVIATIONS

AD	AREA DRAIN	MFCTR	MANUFACTURER
ADJ	ADJUSTABLE	MIN	MINIMUM
APF	ABOVE FINISH FLOOR	MIR	MIRROR
APPROX	APPROXIMATE	MISC	MISCELLANEOUS
		MTD	MOUNTED
		MTL	METAL
		MUL	MULLION
BLDG	BUILDING		
BOB	BOTTOM OF BEAM		
		N	NORTH
		NTS	NOT IN CONTRACT
		NOM	NOT TO SCALE
			NOMINAL
CB	CATCH BASIN		
CJ	CEILING JOIST		
CL	CENTERLINE		
CAB	CABINET		
CLG	CEILING		
CLKS	CEILING CAULKING		
CLO	CLOSET		
CNTR	COUNTER		
COL	COLUMN		
CONC	CONCRETE		
CONSTR	CONSTRUCTION		
CONT	CONTINUOUS		
CRPT	CARPET		
CTR	CENTER OR COUNTER		
CTSK	COUNTERSUNK		
D	DIAMETER		
DF	DOUGLASS FIR		
DO	DOOR OPENING		
DS	DOWNSPOUT		
DEPT	DEPARTMENT		
DET	DETAIL		
DIA	DIAMETER		
DIM	DIMENSION		
DN	DOWN		
DR	DOOR		
DTL	DETAIL		
DW	DISHWASHER		
DWG	DRAWING		
DWR	DRAWER		
EG	EXISTING GRADE		
EXG	EXISTING		
EJ	EXPANSION		
ELEV	ELEVATION		
EQ	EQUAL		
EQUIP	EQUIPMENT		
EXP	EXPOSED		
EXT	EXTERIOR		
FA	FIRE ALARM		
FD	FLOOR DRAIN		
FFE	FINISH FACE		
FOC	FACE OF CONCRETE		
FOF	FACE OF FINISH		
FOSS	FACE OF STUCCO		
FDN	FOUNDATION		
FIN	FINISH		
FLR	FLOOR		
FRZ	FREEZER		
FT	FOOT OR FEET		
FTG	FOOTING		
FURR	FURRING		
GB	GRAB BAR		
GC	GENERAL CONTRACTOR		
GA	GAUGE		
GALV	GALVANIZED		
GL	GLASS OR GLAZING		
GND	GROUND		
GR	GRADE		
GWB	GYPSPUM WALL BOARD		
HB	HOSE BIBB		
HC	HANDICAP		
HM	HOLLOW METAL		
HDW	HARDWARE		
HDWD	HARDWOOD		
HDWR	HARDWARE		
HNDCP	HANDICAP		
HORIZ	HORIZONTAL		
HR	HOUR		
HT	HEIGHT		
ID	INTERIOR DESIGNER		
IN	INCHES		
INSUL	INSULATION		
INT	INTERIOR		
JST	JOIST		
JT	JOINT		
KIT	KITCHEN		
LIN	LINEN CLOSET		
LAB	LEADER BOX		
LAM	LABORATORY		
LAV	LAVATORY		
LKR	LOCKER		
LT	LIGHT		
LTWT	LIGHTWEIGHT		
MC	MEDICINE CABINET		
MO	MASONRY OPENING		
MECH	MECHANICAL		



Conceptual Rendering

PROJECT LEGEND

EXISTING FRAMING WALL	=====
NEW FRAMING WALL	=====
EXISTING 5.5" MASONRY	=====
NEW 5.5" MASONRY	=====

PROJECT SYMBOLS

ELEVATION	
SECTION	
INTERIOR ELEVATION	
REVISION NUMBER	

PROJECT DATA

PROJECT ADDRESS	XXXX AUSTIN, TX XXXXX
COUNTY	TRAVIS
H.O.A. / P.O.A.	N/A
ZONING	XXXX
CONSTRUCTION	TYPE-V
VISITABILITY	DOES NOT APPLY -- REMODEL
McMANSION	LOT AREA = XXXX SQ. FT. ALLOWABLE F.A.R. = XXXX SQ. FT. (40%) PROPOSED F.A.R. = XXXX SQ. FT. (XX%)

MAXIMUM IMPERVIOUS COVER

LOT AREA = XXXX SQ. FT.	ALLOWABLE F.A.R. = XXXX SQ. FT. (45%)
PROPOSED I.C. = XXXX SQ. FT. (XX%)	

MAXIMUM BUILDING COVERAGE

LOT AREA = XXXX SQ. FT.	ALLOWABLE B.C. = XXXX SQ. FT. (40%)
PROPOSED B.C. = XXXX SQ. FT. (XX%)	

PROJECT DIRECTORY

OWNER	CONOR CIVINS 1501 NORTHWOOD ROAD AUSTIN, TEXAS 78703
SURVEYOR	HOLT CARSON, INC. 1904 FORTVIEW RD. AUSTIN, TX 78704 P: (512) 442-0990
GENERAL CONTRACTOR	T.B.D.
STRUCTURAL	T.B.D.
GEOTECHNICAL	T.B.D.
INTERIORS	T.B.D.

INDEX OF DRAWINGS

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6/14/2021

Project Number : 2019.07
Project Status : DD

Northwood Remodel

1501 Northwood Road Austin, TX 78703

Issue Date : T.B.D.

DRAWN BY: JWS
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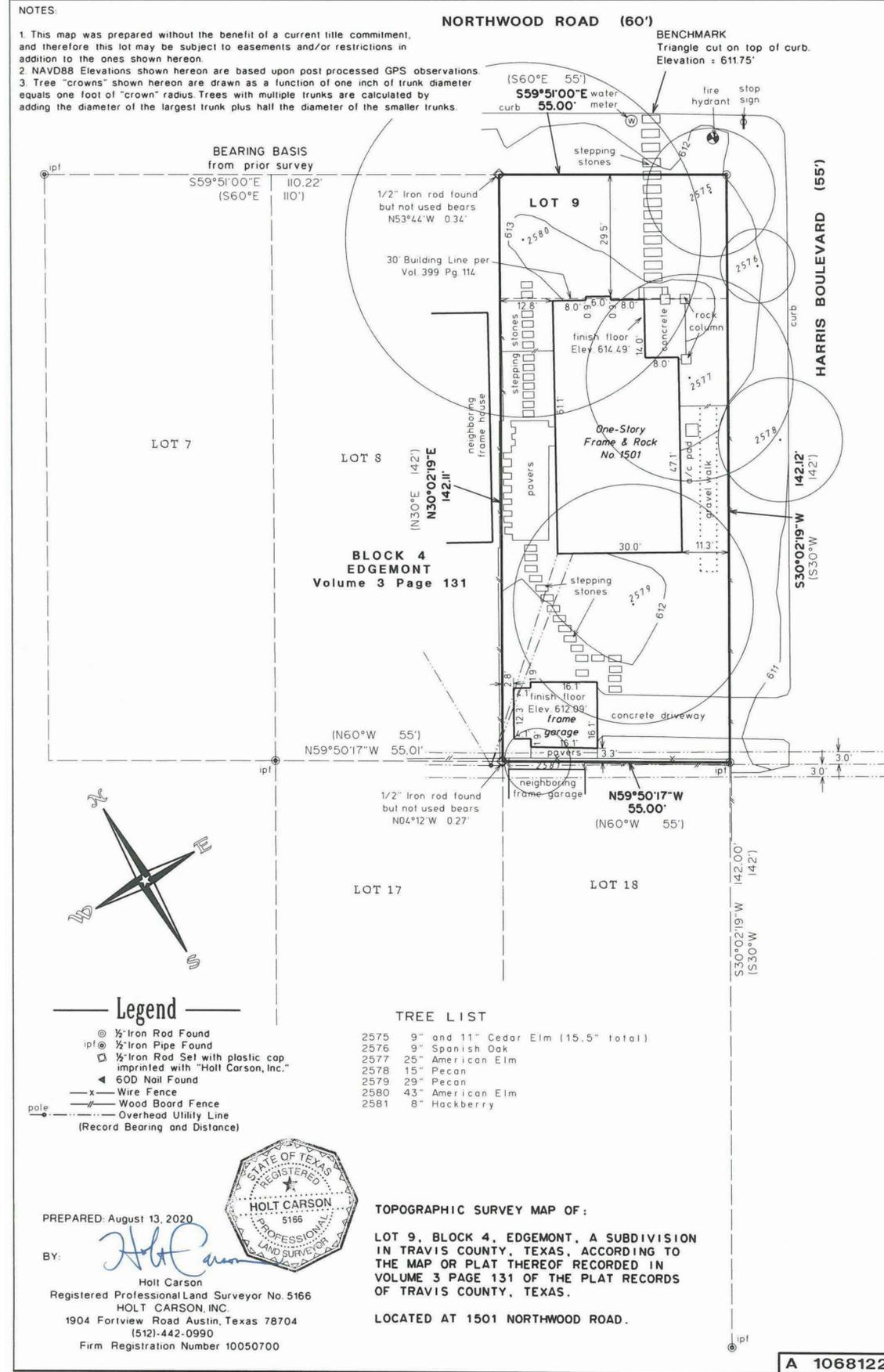
COVER SHEET

PROGRESS SET
PHASE: DD
NOT FOR CONSTRUCTION

A-1.1

NOTES:

1. This map was prepared without the benefit of a current title commitment, and therefore this lot may be subject to easements and/or restrictions in addition to the ones shown hereon.
2. NAVD88 Elevations shown hereon are based upon post processed GPS observations.
3. Tree "crowns" shown hereon are drawn as a function of one inch of trunk diameter equals one foot of "crown" radius. Trees with multiple trunks are calculated by adding the diameter of the largest trunk plus half the diameter of the smaller trunks.



Legend

- ⊙ 1/2" Iron Rod Found
- ipf 1/2" Iron Pipe Found
- ⊠ 1/2" Iron Rod Set with plastic cap, imprinted with "Holt Carson, Inc."
- ◀ 60D Nail Found
- x— Wire Fence
- Wood Board Fence
- Overhead Utility Line (Record Bearing and Distance)

TREE LIST

2575	9" and 11" Cedar Elm (15.5" total)
2576	9" Spanish Oak
2577	25" American Elm
2578	15" Pecan
2579	29" Pecan
2580	43" American Elm
2581	8" Hackberry

PREPARED: August 13, 2020

BY: *Holt Carson*
 Holt Carson
 Registered Professional Land Surveyor No. 5166
 HOLT CARSON, INC.
 1904 Fortview Road Austin, Texas 78704
 (512)-442-0990
 Firm Registration Number 10050700



TOPOGRAPHIC SURVEY MAP OF:

LOT 9, BLOCK 4, EDMONT, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3 PAGE 131 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

LOCATED AT 1501 NORTHWOOD ROAD.

A 1068122

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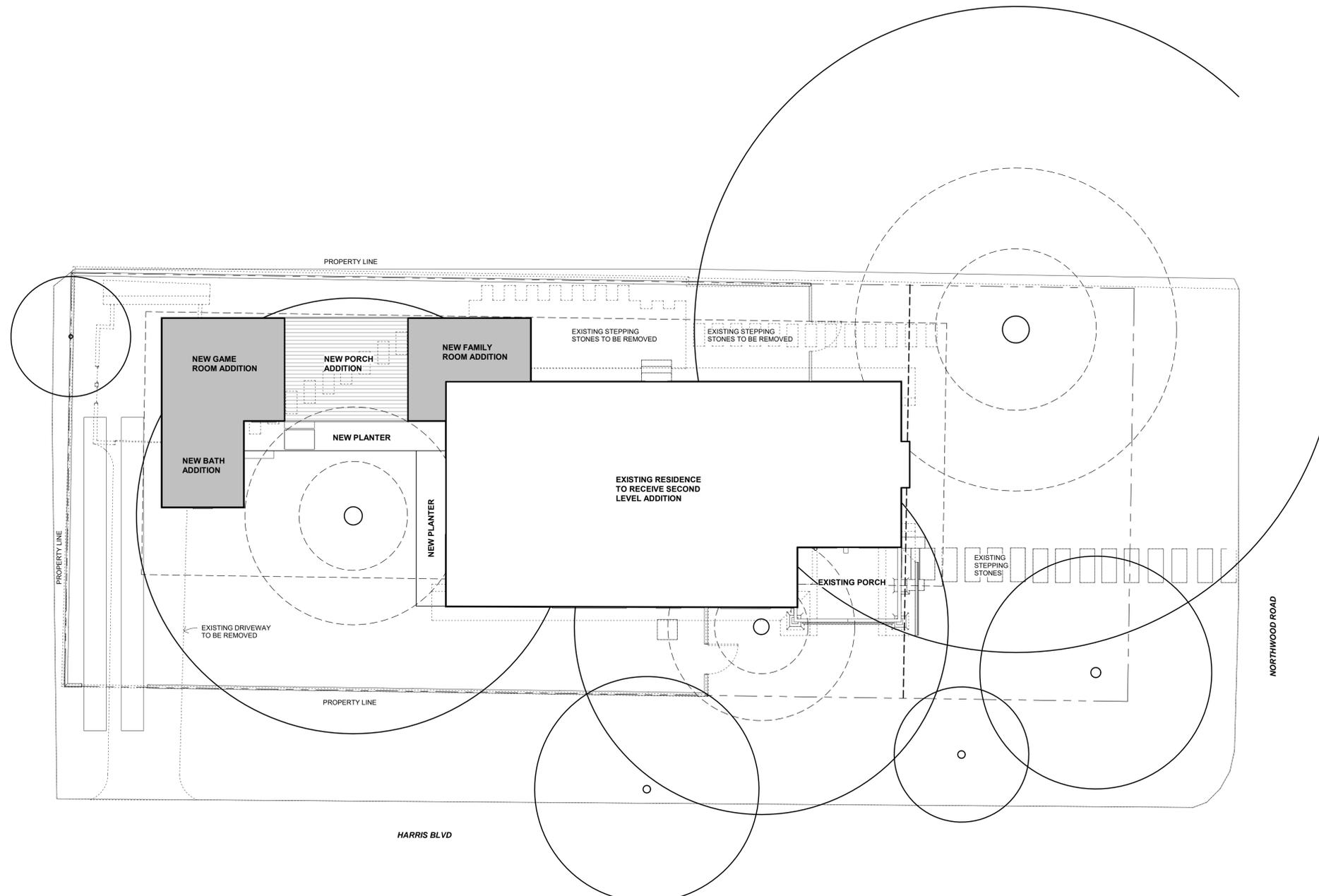
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SURVEY

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1 PROPOSED SITE PLAN
1/8" = 1'-0"

LEGAL DESCRIPTION

LOT 7, BLOCK 5, OF COLORADO FOOTHILLS, SECTION THREE, A SUBDIVISION OF PLAT RECORDS IN TRAVIS COUNTY, TEXAS ACCORDING TO MAP OR PLAT RECORDED IN VOLUME 5, PAGE 146 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

GENERAL NOTES - PLOT PLAN

1. THE BUILDER IS REQUIRED TO VERIFY ALL EXISTING UTILITIES, METES AND BOUNDS, BUILDING LINES, AND EASEMENTS SHOWN ON THE SURVEY. THIS IS TO BE VERIFIED PRIOR TO MAKING ANY IMPROVEMENTS.
2. ALL STAGING AREAS, PORTA-POTTYS, DUMPSTERS, SILT-FENCING, AND OTHER CONSTRUCTION-RELATED OBJECTS ARE TO BE LOCATED PER TRAVIS COUNTY REQUIREMENTS AS DICTATED BY THE BUILDING PERMIT.
3. A TRAVIS COUNTY APPROVED PERMIT SET OF DRAWINGS IS TO BE ON SITE AT ALL TIMES.
4. CAREFULLY PROTECT ALL TREES AND EXISTING VEGETATION ON THE PROPERTY THAT ARE TO REMAIN PER THE BUILDING PERMIT. VERIFY WITH OWNER FOR ANY TREES THAT WILL REMAIN.
5. THE BUILDER IS RESPONSIBLE FOR MAINTAINING AND CLEAN BUILDING SITE DURING CONSTRUCTION.
6. THE BUILDER IS RESPONSIBLE FOR KEEPING CONSTRUCTION NOISE TO REASONABLE LEVELS. CONSTRUCTION IS ONLY ALLOWED DURING TRAVIS COUNTY APPROVED TIMES.
7. FINISH FLOOR ELEVATIONS (F.F.E.) ARE SHOWN ON THE PLOT PLAN. THE NEW FINISH FLOOR ELEVATION SHALL BE A MINIMUM OF 1" ABOVE EXISTING GRADE AT THE FRONT OF THE HOUSE.
8. IT IS ASSUMED THAT THE LOCATIONS OF ALL UTILITIES NOT SHOWN ON THE PLOT PLAN WILL REMAIN IN THE SAME LOCATION UNLESS IT IS NOT POSSIBLE. VERIFY WITH OWNER.
9. THE BUILDER IS RESPONSIBLE FOR MAINTAINING CONSISTENT DRAINAGE AWAY FROM THE NEW HOUSE TO CODE.
10. THE FINAL LOCATION OF THE NEW HOUSE SHALL BE STAKED ON SITE BY A SURVEYOR PER THE PLOT PLAN. HOUSE MUST BE LOCATED WITHIN THE BUILDABLE AREA ON THE PROPERTY AND NOT IN ANY EASEMENTS.

SITE LEGEND

- CONSTRUCTION DUMPSTER [D]
- CHEMICAL TOILET [T]
- MATERIALS STAGING AREA [S]
- TREE PROTECTION FENCE [D]
- SILT FENCE [E]
- CONSTRUCTION FENCE [F]
- GAS [G]
- SEWER [SS]
- WATER [W]
- TELEPHONE [T]
- ELECTRICAL [E]
- WASTE WATER [WW]
- HVAC EQUIPMENT [H]
- POOL EQUIPMENT [P]
- EXISTING HOUSE TO BE DEMOD [---]
- OVERHEAD POWER LINES [---]
- CONSTRUCTION ACCESS ROUTE [---]
- TREE FENCE [---]

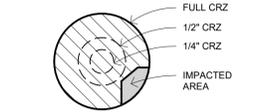
TREES

TREE LIST			
T786	17" TALO	T801	11" HACK
T787	10" ELM	T802	9" HACK
T788	16" OAK	T803	10" OAK
T789	20" OAK	T804	8" HACK
T790	16" OAK	T805	7" HACK
T791	40" M.S. OAK	T809	13" PECAN
T792	7" OAK	T810	14" PECAN
T793	26" TALO	T811	18" OAK
T794	11" HACK	T6688	19" ELM
T795	15" M.S. HACK	T6690	28" M.S. HACK
T796	8" HACK	T6691	9" HACK
T797	7" PECAN		
T798	13" PECAN		
T799	9" PECAN		
T800	9" PECAN		

TREES TO BE REMOVED

T786	17" TALO	T799	9" PECAN
T787	10" ELM	T809	13" PECAN
T792	7" OAK	T810	14" PECAN
T797	7" PECAN	T811	18" OAK
T798	13" PECAN		

PROTECTED TREE GRAPHICS



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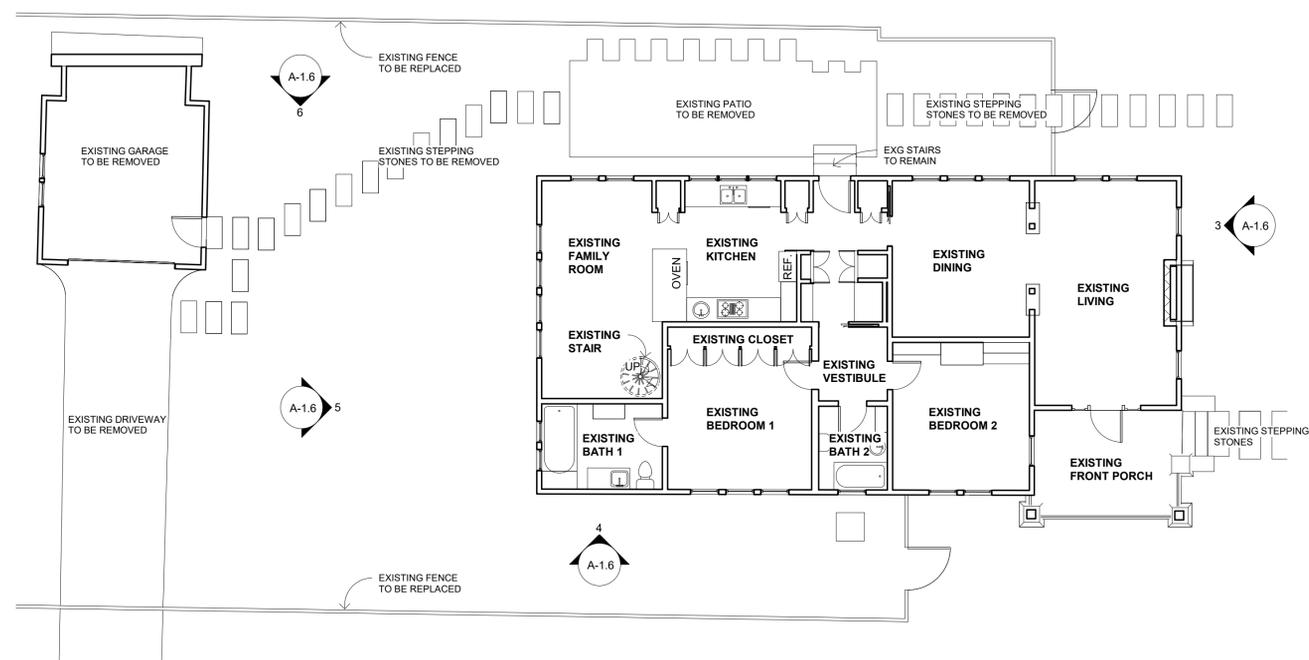
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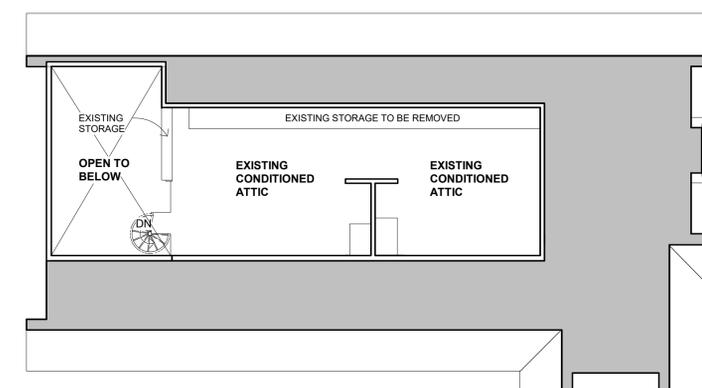
SITE PLAN

A-1.5

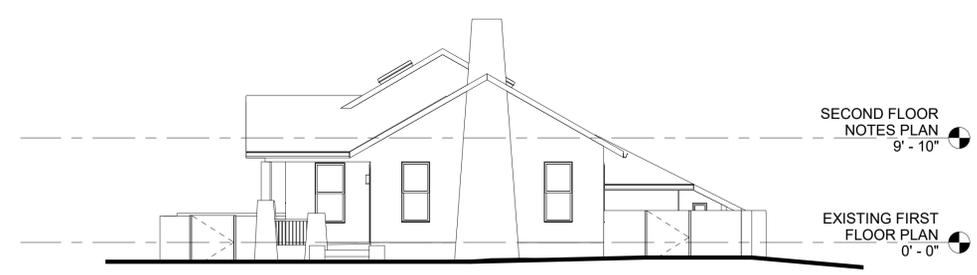
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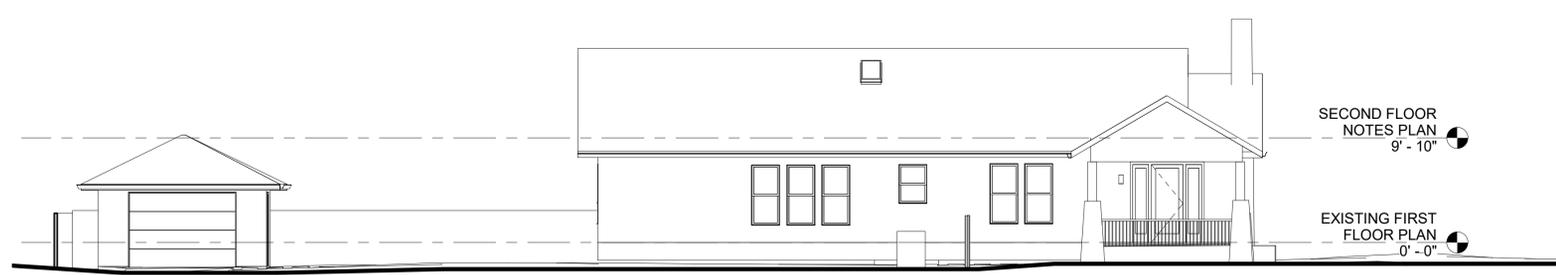
1. EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"



2. SECOND FLOOR NOTES PLAN
1/8" = 1'-0"



3. EXISTING FRONT ELEVATION
1/8" = 1'-0"



4. EXISTING LEFT SIDE ELEVATION
1/8" = 1'-0"



5. EXISTING REAR ELEVATION
1/8" = 1'-0"



6. EXISTING RIGHT SIDE ELEVATION
1/8" = 1'-0"

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GOOGLE EARTH VIEW FROM NORTHWOOD



GOOGLE EARTH VIEW FROM HARRIS



VIEW FROM CORNER OF HARRIS AND NORTHWOOD



VIEW FROM NORTHWOOD



VIEW FROM EXISTING DRIVEWAY AT HARRIS



VIEW OF EXISTING REAR YARD



VIEW OF EXISTING REAR YARD



VIEW OF EXISTING SIDE YARD



VIEW OF EXISTING DOUBLE HEIGHT SPACE BELIEVED TO BE A CONVERTED REAR PORCH



VIEW OF EXISTING DOUBLE HEIGHT SPACE BELIEVED TO BE A CONVERTED REAR PORCH

① EXISTING CONDITIONS PHOTOS
1/8" = 1'-0"

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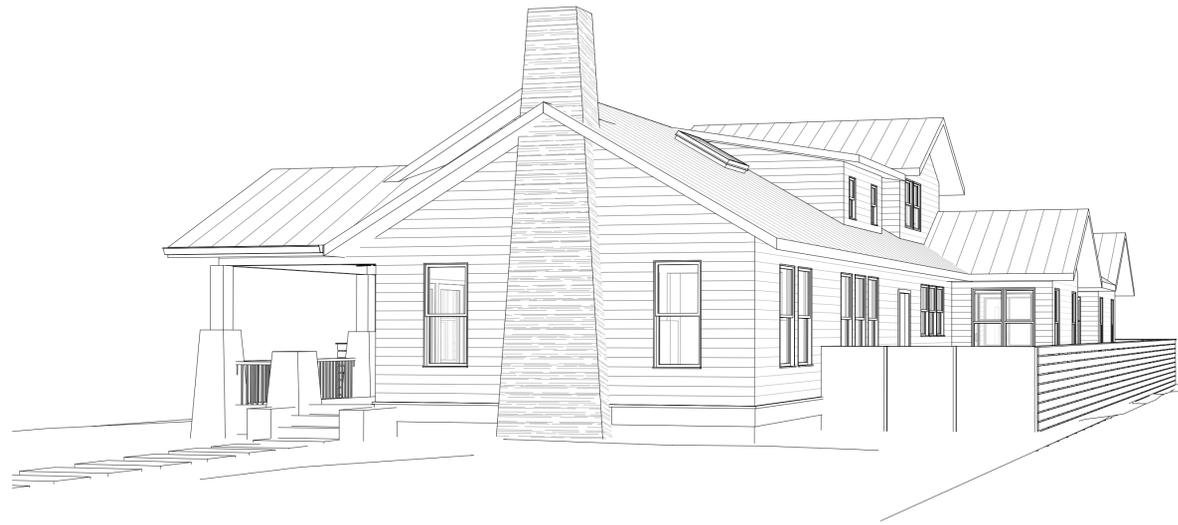
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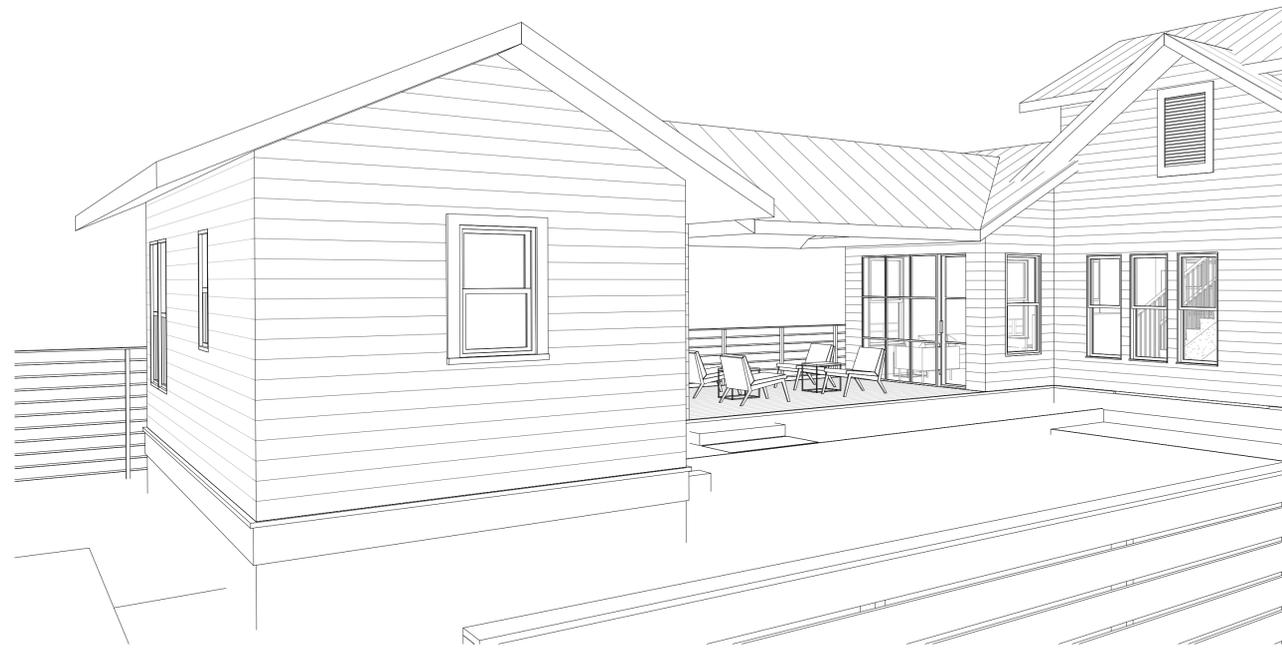
EXISTING PHOTOS



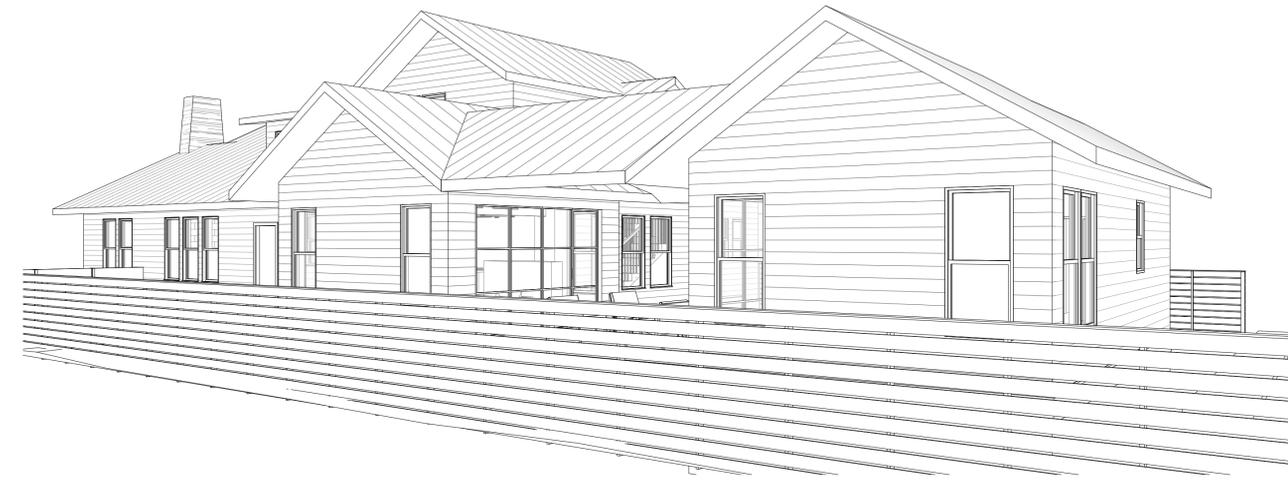
① 3D SIDE YARD VIEW FROM NORTHWOOD



② 3D CORNER VIEW FROM NORTHWOOD



③ 3D VIEW OF REAR ADDITION



④ 3D VIEW FROM REAR SIDE YARD

GENERAL NOTES

1. THESE DRAWINGS MAY NOT ADDRESS ALL OF THE REQUIREMENTS IN THE BUILDING CODES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO KNOW THE CODES WHICH HAVE AUTHORITY OVER THIS PROJECT. CONSTRUCTION MUST COMPLY WITH THOSE CODES. THE CONTRACTOR MUST FOLLOW THE BUILDING AND PERFORMANCE STANDARDS THAT HAVE AUTHORITY OVER THIS PROJECT WHICH ARE PROTECTED BY THE DECEPTIVE TRADE PRACTICES ACT OF TEXAS, THE RESIDENTIAL CONSTRUCTION LIABILITY ACT OF TEXAS, OR ANY SUCCESSOR.
2. DO NOT SCALE THESE DRAWINGS. IN THE EVENT OF ERROR OR OMISSION, CONTACT THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. ALL SUB-CONTRACTORS TO VERIFY ALL DIMENSIONS AND ACTUAL FIELD DIMENSIONS WITH PLANS. REPORT ANY VARIATIONS TO GENERAL CONTRACTOR IMMEDIATELY.
4. A COPY OF THE PROJECT SPECIFICATIONS IS INCLUDED IN THESE PLANS. IF NOT, CONTACT THE GENERAL CONTRACTOR. ALL SUB-CONTRACTORS TO COMPARE THE SPECS TO THE PLANS. IN THE EVENT OF A DISCREPANCY BETWEEN THE SPECS AND THE PLANS, THE SPECS SHALL OVERRULE THE PLANS.
5. FOUNDATION CONTRACTOR TO COMPARE FOUNDATION PLANS FROM STRUCTURAL ENGINEER TO ARCHITECTURAL PLANS. ANY DISCREPANCY TO BE REPORTED TO GENERAL CONTRACTOR. THESE PLANS SHALL OVERRULE THE FOUNDATION PLAN IN TERMS OF LAYOUT, DIMENSIONS, AND BRICK LEDGES.
6. ALL SUB-CONTRACTORS TO VERIFY WITH GENERAL CONTRACTOR THAT NO CHANGE ORDER OR ADDENDUM HAVE BEEN ISSUED THAT MAY MODIFY THE SCOPE OF WORK ON THESE PLANS.
7. ALL WORK TO BE DONE IN A TIMELY AND WORKMAN-LIKE MANNER.
8. PROVIDE 3/4" PLYWOOD IN ATTIC FOR HVAC UNITS(S), IF IN ATTIC. PROVIDE REQUIRED ELECTRICAL, MECHANICAL, AND PLUMBING.
9. PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE, EVEN IF NOT SHOWN ON PLANS.
10. INSULATE ALL HB FOR FREEZE CONDITIONS.
11. HVAC ZONES & UNITS: SEE SPECIFICATIONS
12. WH ZONE 1: VERIFY WITH OWNER
13. ALL CEILING HEIGHTS SHOWN ON FLOOR PLANS ARE MEASURED FROM THE FINISH FLOOR OF THE HOUSE TO THE FINISH MATERIAL. FINISH FLOOR IS TOP OF FINISH MATERIAL, NOT TOP OF SLAB OR STRUCTURE.

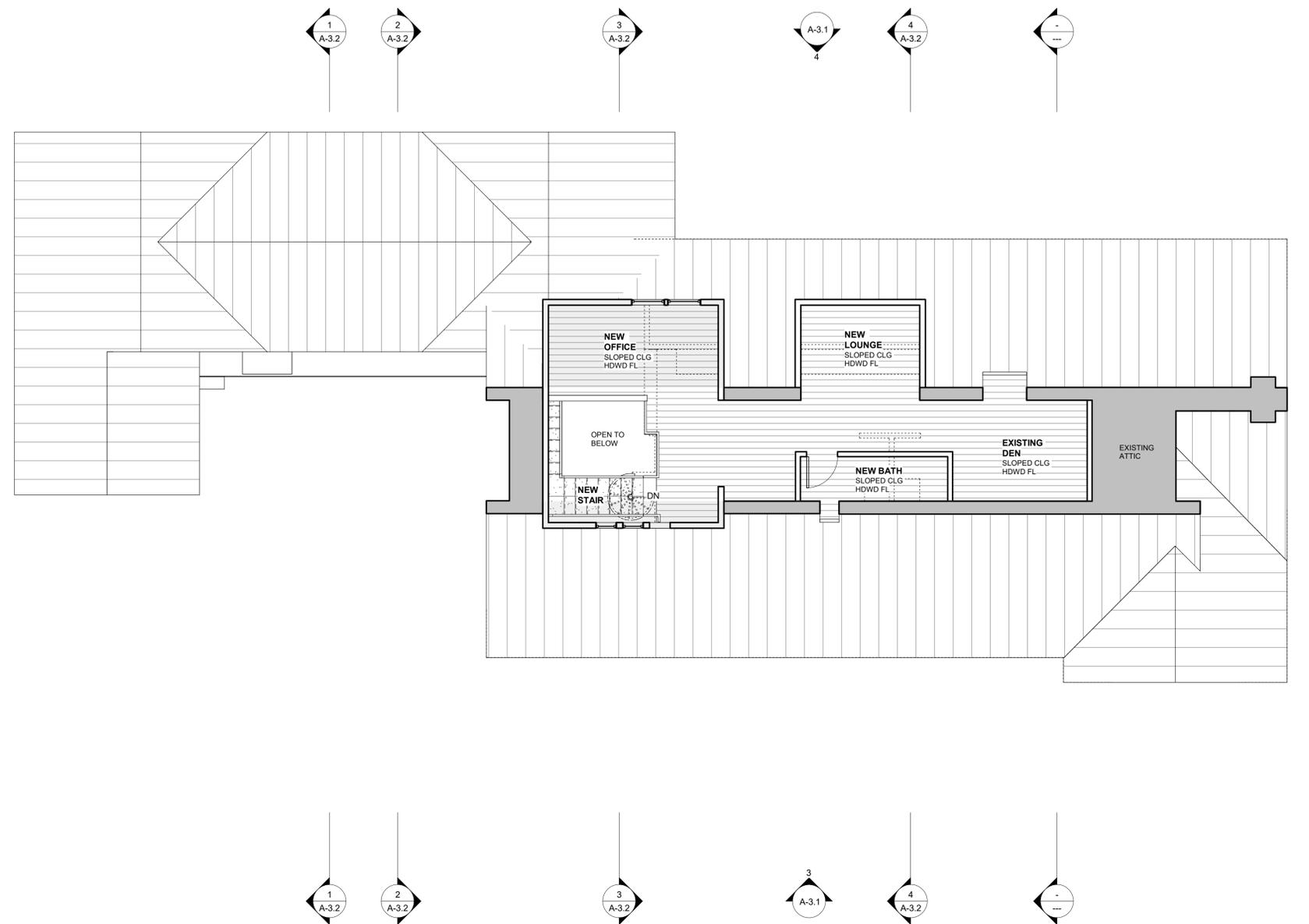
WALL LEGEND

EXISTING 2x4 FRAMING WALL	
EXISTING 5.5" MASONRY	
EXISTING HOUSE	
NEW 2x6 FRAMING WALL	
NEW 5.5" MASONRY WALL	
EXISTING AREA	
ADDITION AREA	
CANTILEVERED AREA	
SOUND INSULATION	

BUILDING AREA

CONDITIONED AREA:	
MAIN LEVEL	3,355 SQ. FT.
SECOND LEVEL	352 SQ. FT.
TOTAL CONDITIONED	3,707 SQ. FT.
NON-CONDITIONED AREAS:	
COVERED PORCHES	753 SQ. FT.
MECHANICAL & STORAGE	50 SQ. FT.
CARPORT	397 SQ. FT.
BRICK LEDGE	95 SQ. FT.
TOTAL NON-CONDITIONED:	1,295 SQ. FT.
TOTAL COVERED AREA:	5,002 SQ. FT.

NOTE: CONDITIONED AREA IS CALCULATED TO THE OUTSIDE OF FRAMING.



A-3.1 2

1 A-3.1

1 PROPOSED SECOND FLOOR PLAN
3/16" = 1'-0"

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SECOND FLOOR PLAN

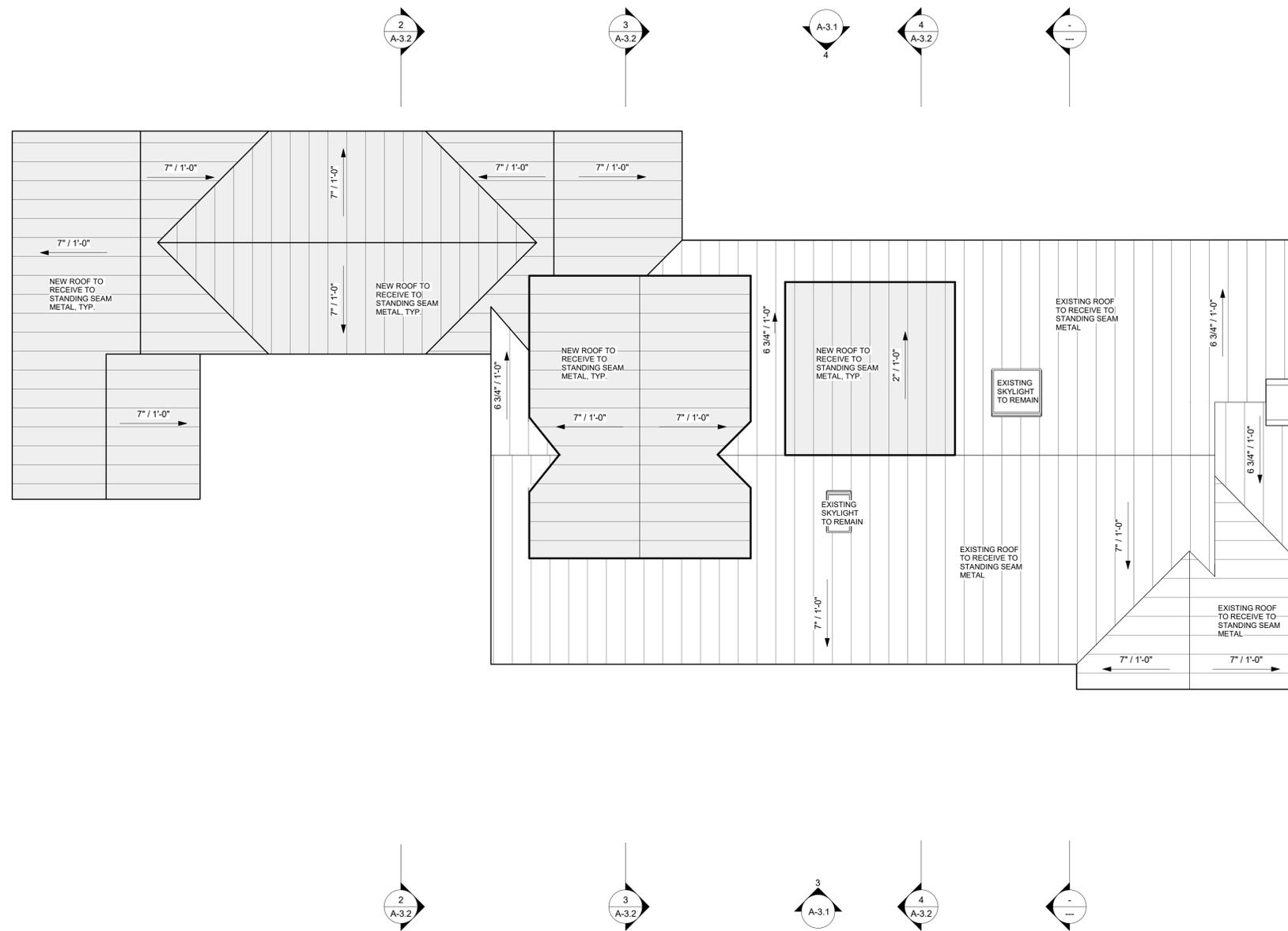
A-2.2

ROOF GENERAL NOTES

1. THESE DRAWINGS MAY NOT ADDRESS ALL OF THE REQUIREMENTS IN THE BUILDING CODES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO KNOW THE CODES WHICH HAVE AUTHORITY OVER THIS PROJECT. CONSTRUCTION MUST COMPLY WITH THOSE CODES. THE CONTRACTOR MUST FOLLOW THE BUILDING AND PERFORMANCE STANDARDS THAT HAVE AUTHORITY OVER THIS PROJECT WHICH ARE PROTECTED BY THE DECEPTIVE TRADE PRACTICES ACT OF TEXAS, THE RESIDENTIAL CONSTRUCTION LIABILITY ACT OF TEXAS, OR ANY SUCCESSOR.
2. DO NOT SCALE THESE DRAWINGS. IN THE EVENT OF ERROR OR OMISSION, CONTACT THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. ALL SUB-CONTRACTORS TO VERIFY ALL DIMENSIONS AND ACTUAL FIELD DIMENSIONS WITH PLANS. REPORT ANY VARIATIONS TO GENERAL CONTRACTOR IMMEDIATELY.
4. REFER TO DETAIL SHEETS WALL SECTION SHEETS IN ADDITION TO THE ROOF PLAN.
5. SKYLIGHTS - FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR SKYLIGHT FLASHING AND WATERPROOFING DETAILS.
6. THRU-WALL FLASHING IS REQUIRED AT ALL MASONRY LOCATIONS OVER ROOFS.
7. PLATE HEIGHT IS CALCULATED FROM THE TOP OF STUD WALL TO THE FINISH FLOOR, NOT TOP OF SLAB.
8. VERIFY WITH BUILDER FOR ANY ROOF VENT REQUIREMENTS. ROOFING CONTRACTOR SHALL CALCULATE REQUIRED AREA OF ROOF VENTS AND INSTALL AS NECESSARY. ALL PLUMBING ROOF VENTS SHALL BE AT THE REAR OF THE HOUSE IN LOW VISIBILITY LOCATIONS.
9. ALL CHIMNEYS SHALL BE WEATHER-SEALED AND WATER TIGHT BY THE ROOFING CONTRACTOR. CONTRACTOR SHALL VERIFY WITH WATERPROOFING CONSULTANT FOR BEST PRACTICES IF NECESSARY.

ROOF LEGEND

- DOWNSPOUT — DS
- GUTTER — — — —
- ADDITION AREA



A-3.1

A-3.1

1 PROPOSED ROOF PLAN
3/16" = 1'-0"

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ROOF PLAN

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1 PROPOSED FRONT ELEVATION
3/16" = 1'-0"



2 PROPOSED REAR ELEVATION
3/16" = 1'-0"



3 PROPOSED LEFT SIDE ELEVATION
3/16" = 1'-0"



4 PROPOSED RIGHT-YARD ELEVATION
3/16" = 1'-0"

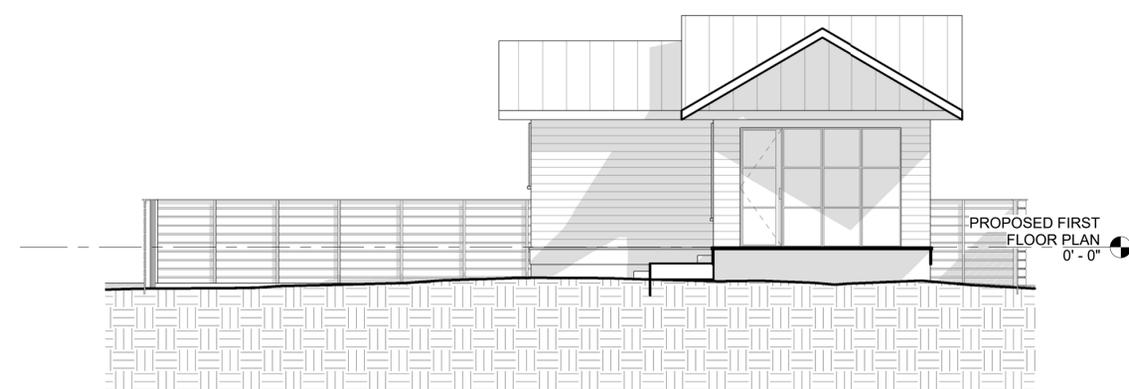
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SECTIONS



1 SECTION A-A
3/16" = 1'-0"

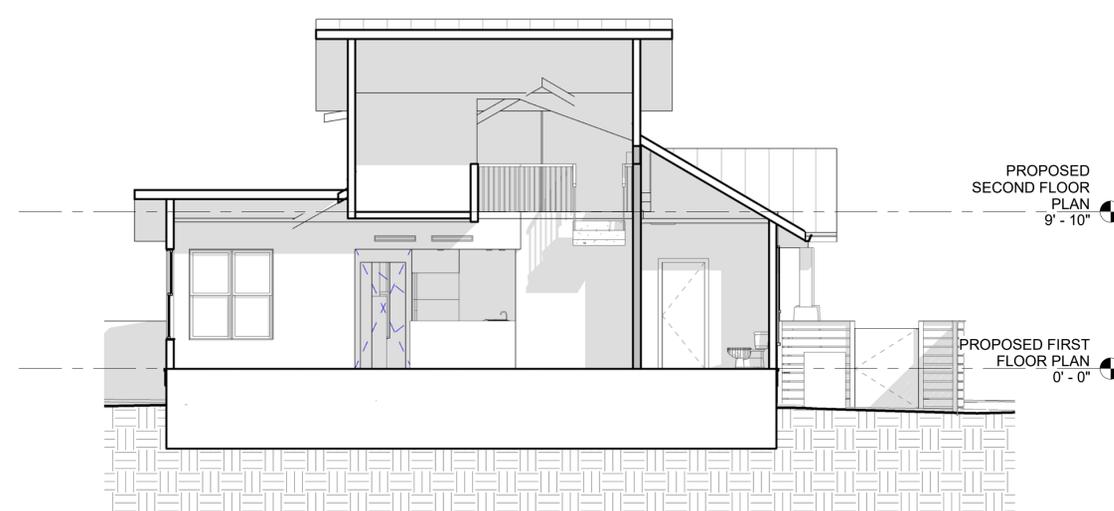
PROPOSED FIRST
FLOOR PLAN
0' - 0"



2 SECTION B-B
3/16" = 1'-0"

PROPOSED
SECOND FLOOR
PLAN
9' - 10"

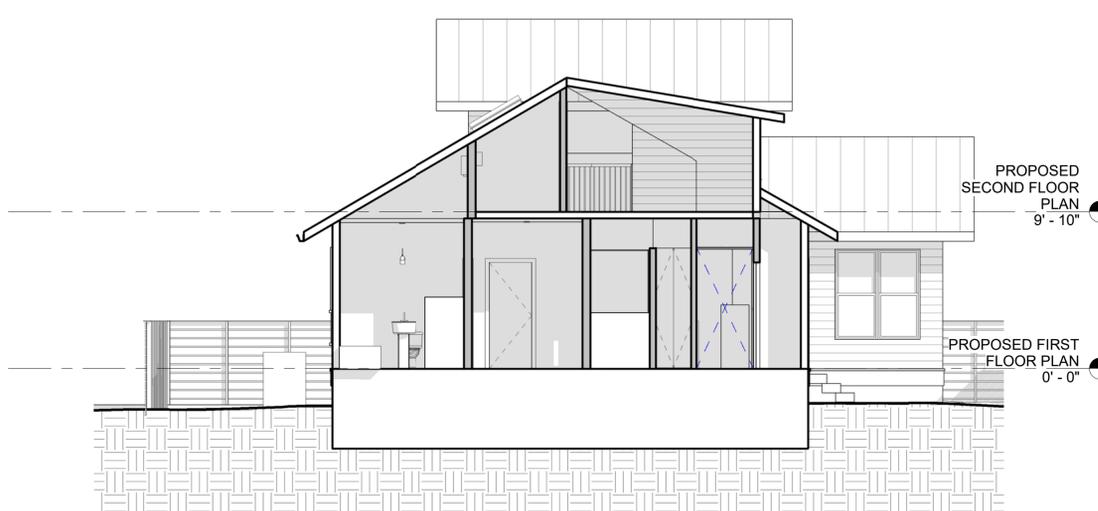
PROPOSED FIRST
FLOOR PLAN
0' - 0"



3 SECTION C-C
3/16" = 1'-0"

PROPOSED
SECOND FLOOR
PLAN
9' - 10"

PROPOSED FIRST
FLOOR PLAN
0' - 0"



4 SECTION D-D
3/16" = 1'-0"

PROPOSED
SECOND FLOOR
PLAN
9' - 10"

PROPOSED FIRST
FLOOR PLAN
0' - 0"