

GENERAL
NOTES

SITE PLAN NOTES:
1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS OF THE VERSION OF THE INTERNATIONAL RESIDENTIAL CODE AND ALL OTHER APPLICABLE LOCAL CODES AND ORDINANCES AS OF THE DATE OF THESE DRAWINGS.
2. PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
3. FINISH GRADING TO PROVIDE POSITIVE DRAINAGE AWAY FROM SLAB.



LEGEND:

() Record Call
B.L. Building Setback Line
P.U.E. Public Utility Easement
FIR Set Iron Rod With Cap
FIRC Found Iron Rod With Cap
FIP Found Iron Pipe
CC Calculated Corner

⊙ Water Meter
⊙ Water Valve
⊙ Gas Meter
⊙ Cleanout
⊙ Electric Meter
—●— Utility Pole/Guy Anchor
—OH— Overhead Power Line
★#47.90 Tree & Number
▲ Benchmark
Set Triangle On Curb
Navd88 Elevation 597.72'

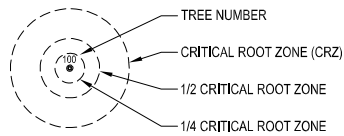
TREE LIST:

TREE #	TYPE AND SIZE
47	Live Oak, 21", 13"
90	Live Oak, 35"

SURVEYOR'S NOTES:

- Bearing based on the Texas Coordinate System of 1983 (NAD83) Central Texas Zone, based on local GPS observations.
- The tree circles shown hereon have one (1) foot radius drawn for every one (1) inch of measured trunk diameter. Generally trunk diameter is measured at a distance of 4.5 feet above ground level. Multi-trunk trees are displayed using the following formula: Sum of the largest trunk + 1/2 of the sum of smaller trunks.

TREE LEGEND:



INDEX OF DRAWINGS:

ARCHITECTURAL:

- A0.1 SITE PLAN, COVER SHEET
A0.2 TREE PROTECTION AND EROSION CONTROL DETAILS

- A1.1 ENTRY LEVEL FLOOR PLAN & DETACHED GARAGE
A1.2 UPPER LEVEL FLOOR PLAN
A1.3 ROOF PLAN
A1.4 ENTRY LEVEL REFLECTIVE CEILING
A1.5 UPPER LEVEL REFLECTIVE CEILING

- A2.1 FRONT ELEVATION
A2.2 RIGHT ELEVATION
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A2.4 LEFT ELEVATION
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W/ GARAGE BUILDING SECTIONS
A2.6 BUILDING SECTIONS
A2.7 BUILDING SECTIONS
A2.8 BUILDING SECTIONS

- A3.1 INTERIOR ELEVATIONS
A3.2 INTERIOR ELEVATIONS
A3.3 INTERIOR ELEVATIONS
A3.4 INTERIOR ELEVATIONS
A3.5 INTERIOR ELEVATIONS

- A5.1 DOOR & WINDOW SCHEDULE

ELECTRICAL:

- E1.1 ENTRY LEVEL ELECTRICAL PLAN
E1.2 UPPER LEVEL ELECTRICAL PLAN

STRUCTURAL:

- S1.1 TBD

ORIGINAL SURVEY BY:

07.30.2020 By Waterloo Surveying, Inc

Waterloo Surveyors, Inc.
PO Box 160176, Austin TX 78716-0176
(512) 481-9602

Firm Registration Number 10124400

OWNER:

John Robert Pitts, Jr.
512.413.1062 johnrpittsjr@gmail.com

ARCHITECT:

Clint Garwood | Garwood Architecture, PLLC
512.730.3747 clint@garwoodarchitecture.com

GENERAL CONTRACTOR:

Brandon Drake | Brandon Drake Construction
512.538.5217 drake@drakebuild.com



• PITTS RESIDENCE •

SITE INFORMATION:

LEGAL DESCRIPTION:

The east 65 feet of Lot 8, Block 29, Section 10 of Pemberton Heights, according to the map or plat thereof recorded in Volume 4, Page 154, Plat Records of Travis County, Texas.

PHYSICAL ADDRESS:

1512 Gaston Avenue
Austin, Texas 78703

Existing Lot Area (sq ft): 9,126
Zoning: SF-3-H-NP

BUILDING AND SITE AREA:

Area Description	Exist Sq Ft	New/Added Sq Ft	Total Sq Ft
a. 1st floor conditioned area	—	1818	1818
b. 2nd floor conditioned area	—	1671	1671
c. 3rd floor conditioned area	—	—	—
d. Basement	—	—	—
e. Attached Covered Parking (garage or carport)	—	—	—
f. Detached Covered Parking (garage or carport)	—	342	342
g. Covered Wood Decks (counted at 100%)	—	—	—
h. Covered Patio (Outdoor Living & Breezeway)	—	488	488
i. Covered Porch (Entry Porch)	—	16	16
j. Balcony	—	—	—
k. Other-Specify:	—	—	—
Total Building Area (TBA) (add: a through k)	—	4335	4335
Total Building Coverage (TBC) (from TBA subtract, if applicable: b, c, d and j)	(A) —	2664	(B) 2664
l. Driveway	—	1190	1190
m. Sidewalks (conc stepping stones)	—	11	11
n. Uncovered Patio	—	54	54
o. Uncovered Wood Decks (counted at 50%)	—	—	—
p. AC pads	—	11	11
q. Other (Retaining Walls)	122	42	164
Total Site Impervious Coverage (add: TBC and l through q)	(C) 122	3972	(D) 4094
r. Pool	—	—	—
s. Spa	—	—	—
Total Lot Size: 9,126 sq ft	Maximum allowed impervious coverage: 4107 sq ft (45%)		

Building Coverage Information

Existing Building Coverage (See above A) 0000 sq ft % of lot size: 00.00 %
Proposed Building Coverage (See above B) 2664 sq ft % of lot size: 29.19 %

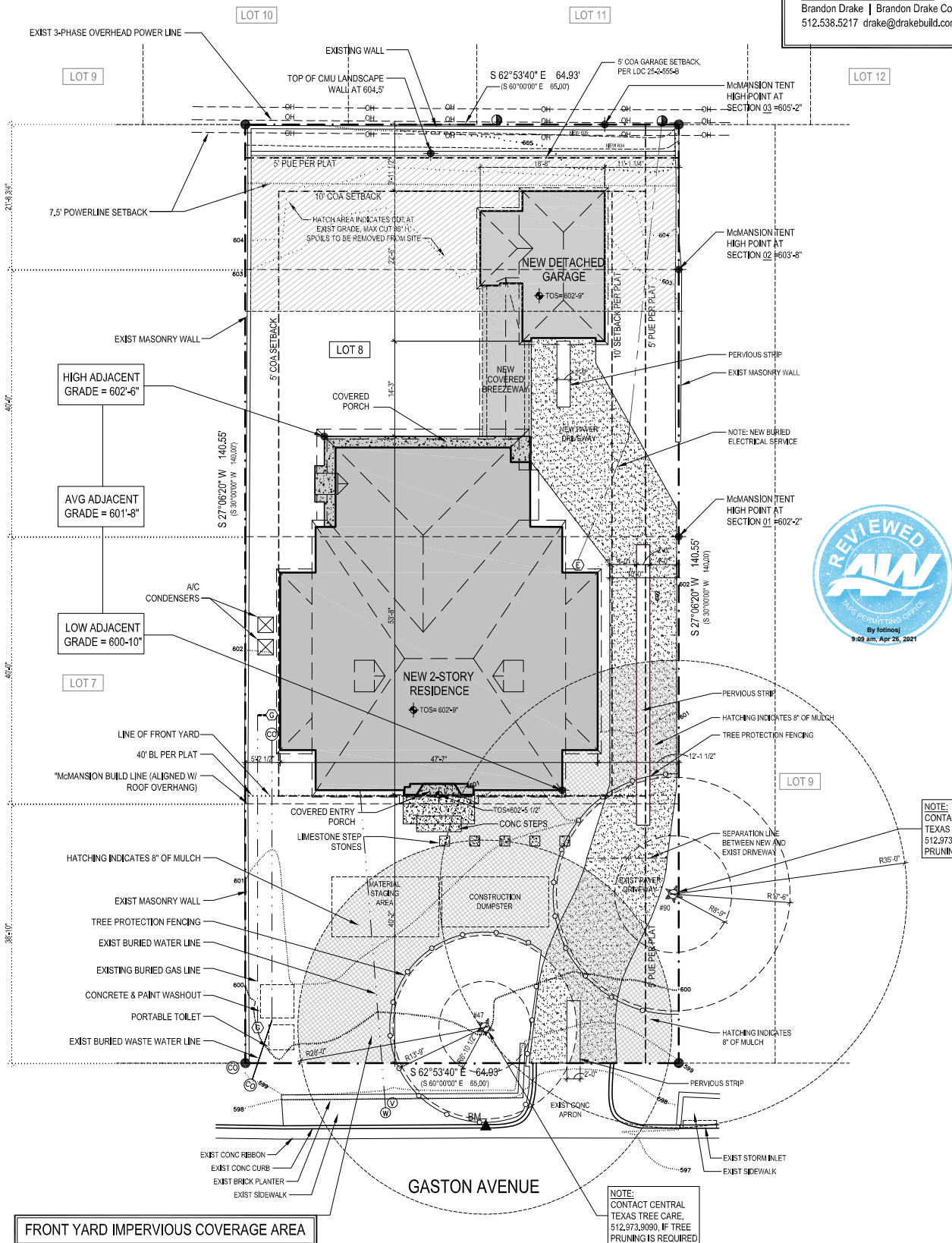
Impervious Coverage Information

Existing Impervious Coverage (See above C) 122 sq ft % of lot size: 01.34 %
Proposed Impervious Coverage (See above D) 4094 sq ft % of lot size: 44.86 %

GROSS FLOOR AREA:

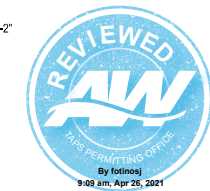
	Exist Sq Ft to remain	New / Added Sq Ft	Proposed Exemptions	Applied Exemption Sq Ft	Total Sq Ft
1st Floor	—	1818			1818
2nd Floor	—	1671			1671
3rd Floor	—	—			—
Areas w/ ceilings > 15'	—	—	Must follow article 3.3.5		—
Ground Floor Entry Porch	—	16	☒ Full Porch sq ft (3.3.3 A) ☐ 200 sq ft (3.3.3 A.2)	16	—
Ground Floor Rear Porch	—	337	☒ Full Porch sq ft (3.3.3 A) ☐ 200 sq ft (3.3.3 A.2)	200	137
Ground Floor Breezeway	—	151	☒ Full Porch sq ft (3.3.3 A) ☐ 200 sq ft (3.3.3 A.2)	151	—
Basement	—	—	Must follow article 3.3.3, B		—
Attic	—	—	Must follow article 3.3.3, C		—
Attached Garage	—	—	☐ 200 sq ft (3.3.2 B, 1)		—
Detached Garage	—	342	☒ 450 sq ft (3.3.2 A1 / 2a) ☐ 200 sq ft (3.3.2 B2a / 2b)	342	—
Attached Carport	—	—	☒ 450 sq ft (3.3.2 A, 3) ☐ 200 sq ft (3.3.2 B, 1)		—
Detached Carport	—	—	☐ 450 sq ft (3.3.2 A, 1)		—
Detached Accessory Building(s)	—	—			—
Totals		4351		Total Gross Floor Area:	3626

(Total Gross Floor Area / Lot Area) x 100 = Floor-To-Area Ratio: 39.73%



FRONT YARD IMPERVIOUS COVERAGE AREA

MAXIMUM ALLOWED FRONT YARD AREA: 1043 sq ft (40%)
TOTAL FRONT YARD AREA: 2607 sq ft (100%)
IMPERVIOUS COVERAGE (driveways & walks): 558 sq ft (21.40%)



SITE PLAN

SCALE: 1" = 20'-0"

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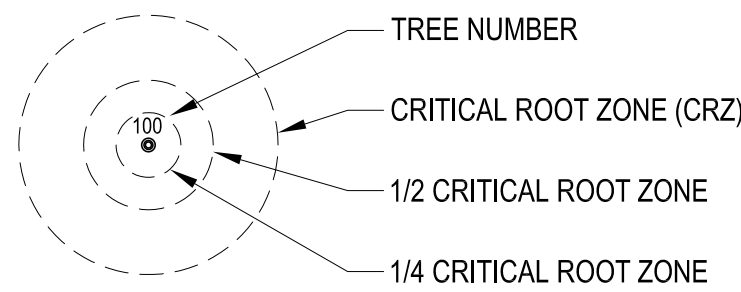
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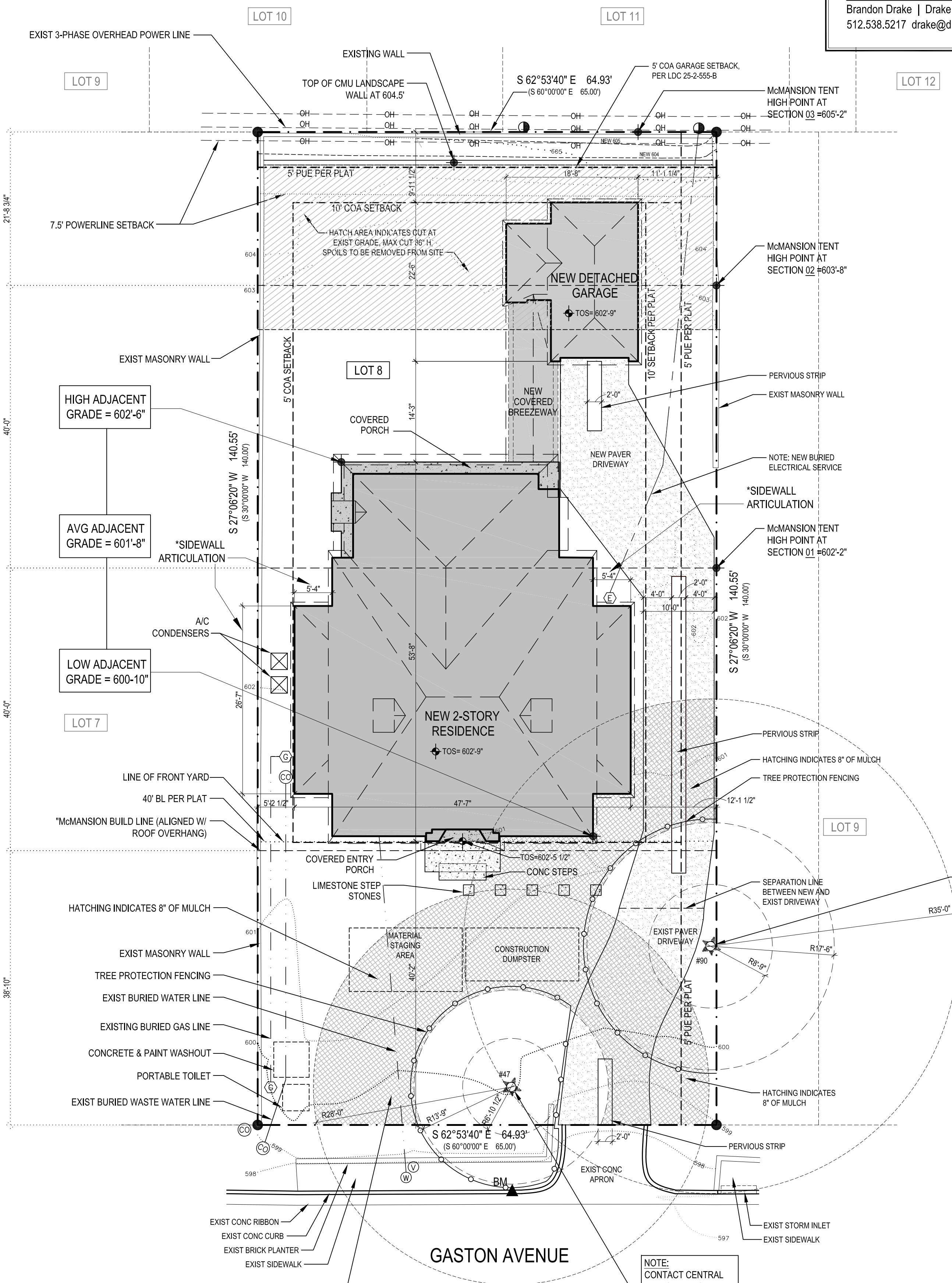
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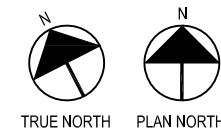
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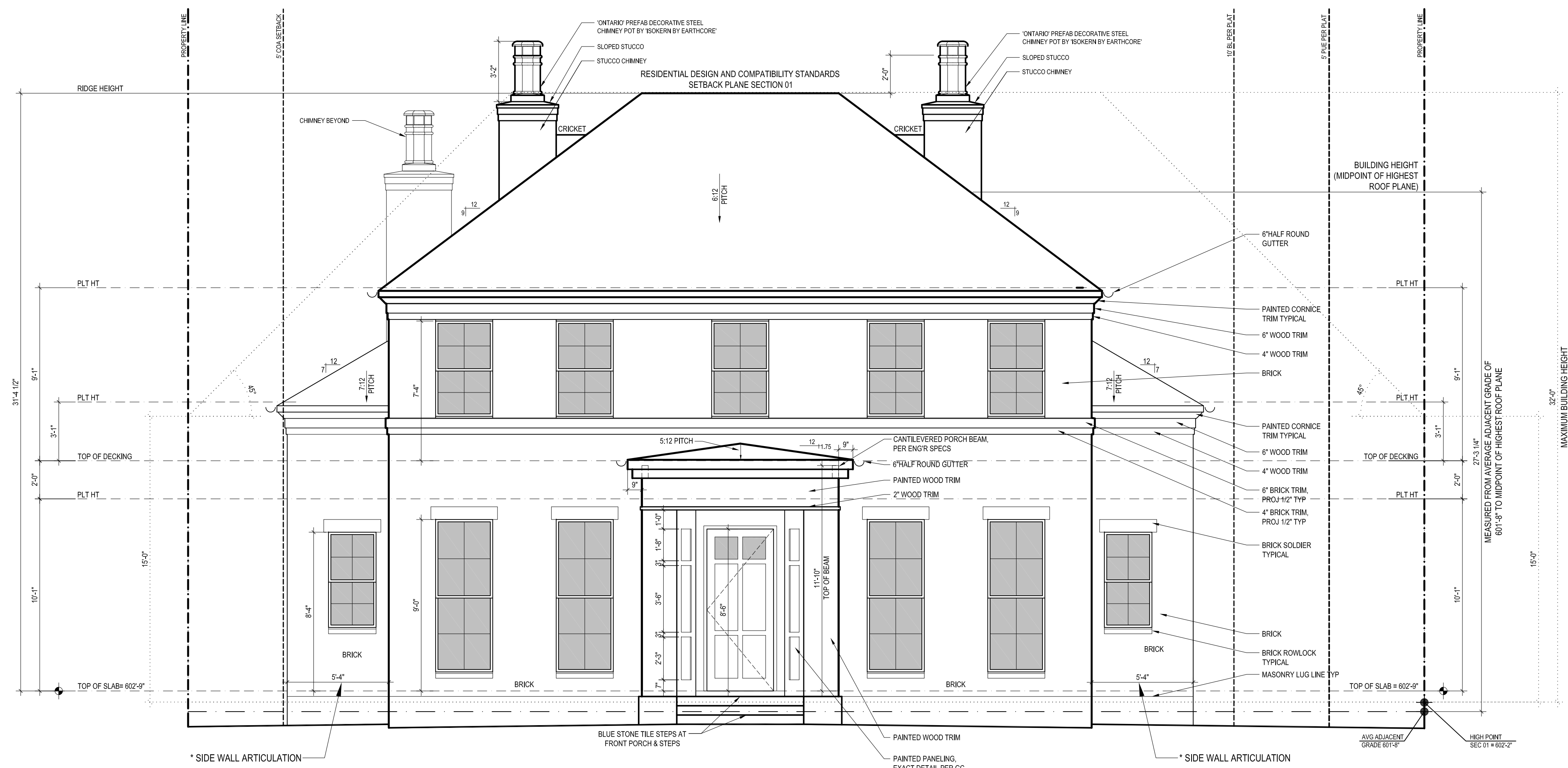


SITE PLAN

SCALE: 1" = 20'-0"



FRONT VIEW RENDERING



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ALL DRAWINGS AND DOCUMENTS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF GARWOOD ARCHITECTURE, PLLC. THE USE OR REPRODUCTION OF THESE DRAWINGS FOR CONSTRUCTION OTHER THAN THAT WHICH IS DESCRIBED HEREIN, IS PROHIBITED WITHOUT WRITTEN CONSENT OF GARWOOD ARCHITECTURE, PLLC.

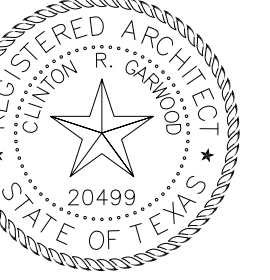


04.27.2021

Pitts Residence 1512 Gaston Avenue Austin, Texas 78703			
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	ISSUED FOR REVIEW	04.27.2021	
SHEET TITLE FRONT ELEVATION			
SHEET A2.1			



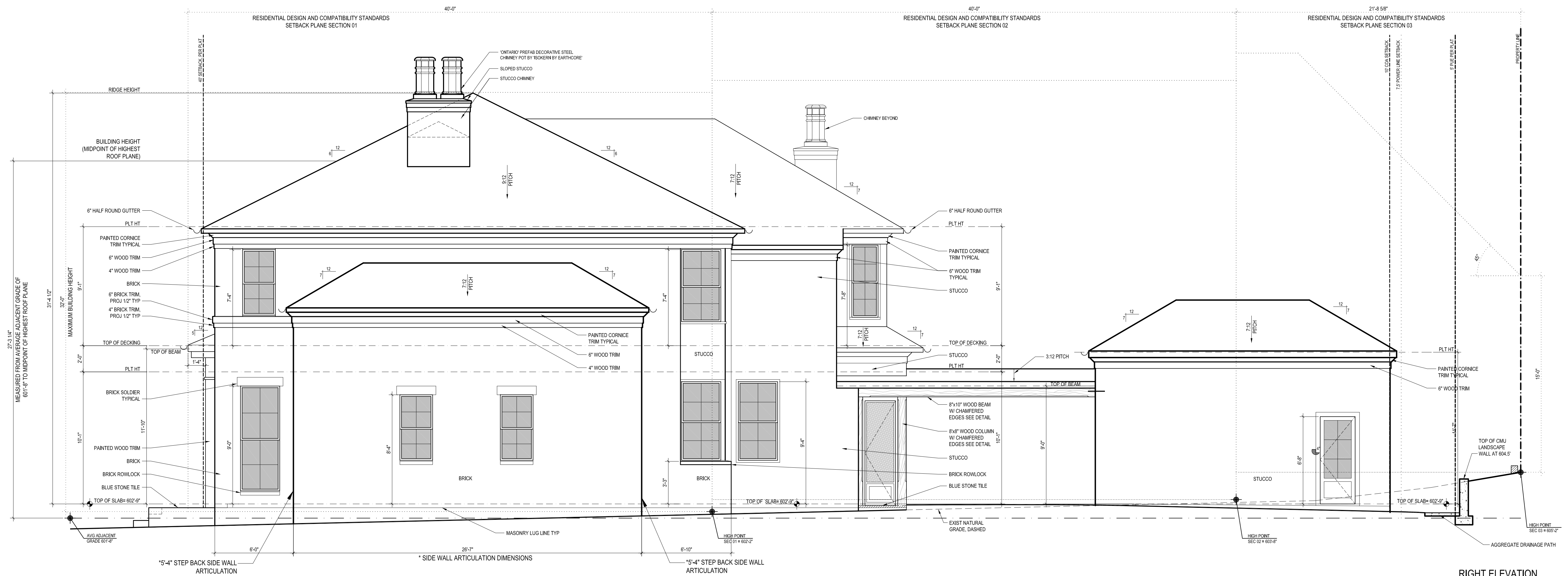
2021
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NO REUSE OR REPRODUCTION OF
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04.27.2021



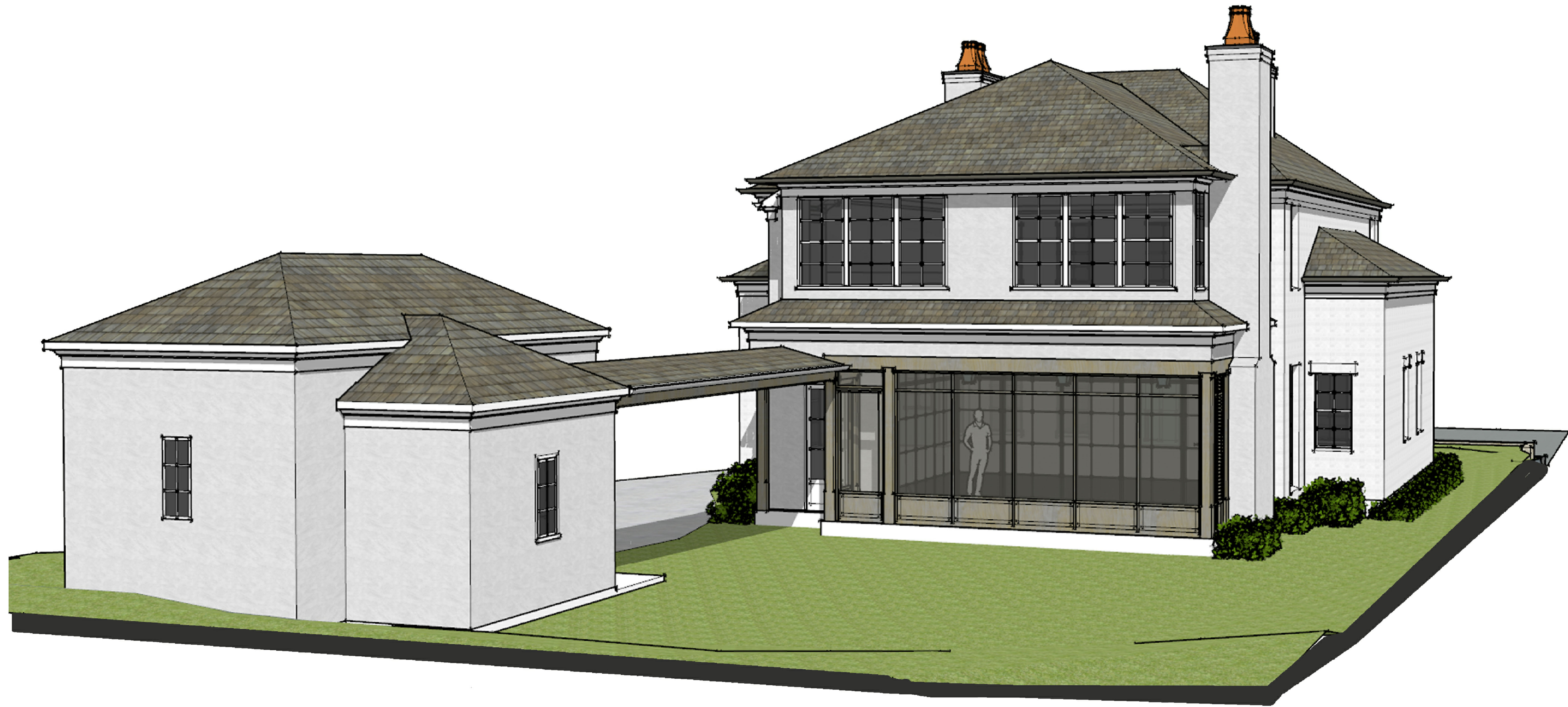
RIGHT VIEW RENDERING



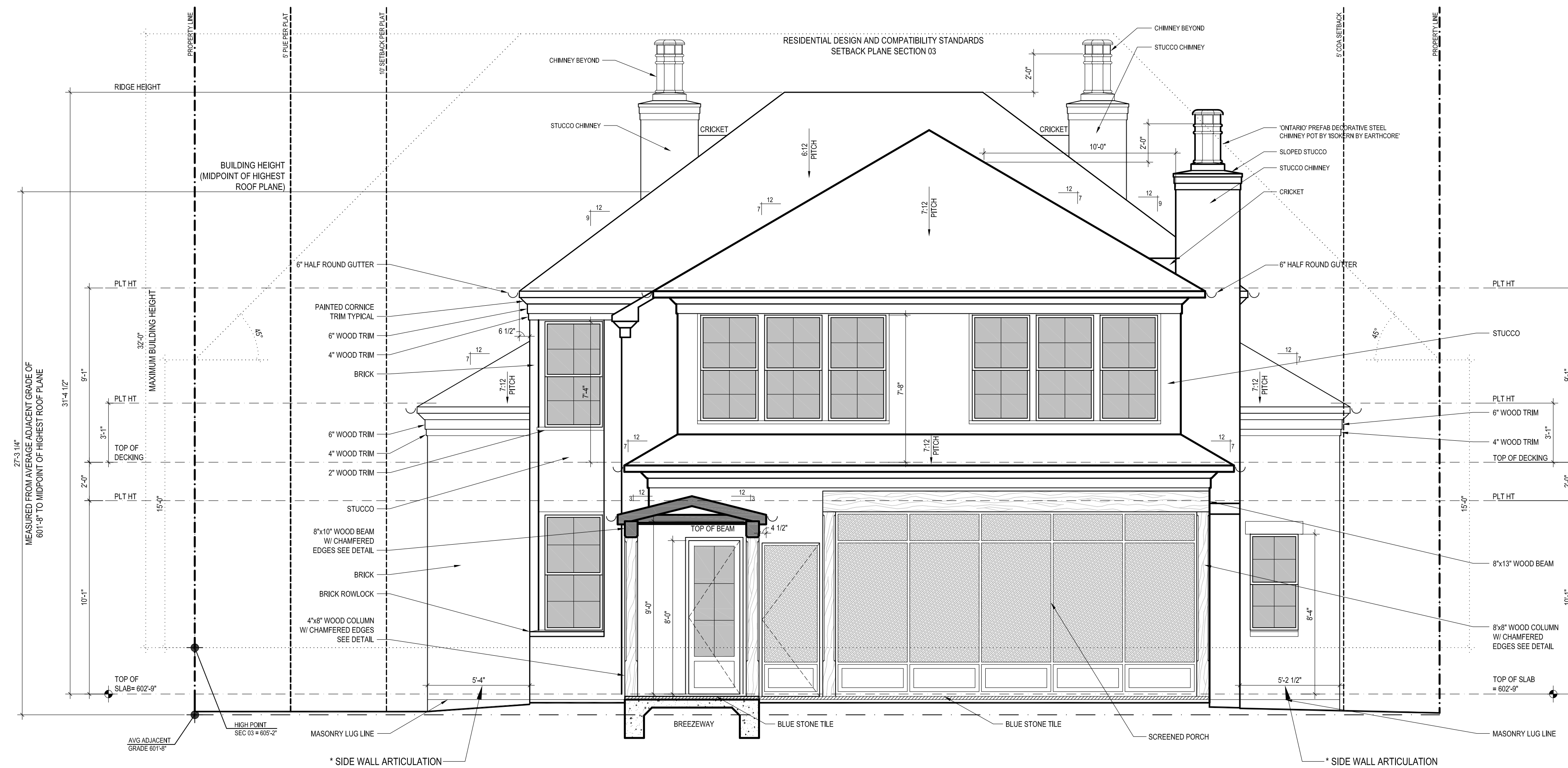
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

Pitts Residence 1512 Gaston Avenue Austin, Texas 78703			
REV	DESCRIPTION	DATE	DRAWN BY: CJC/SS
	ISSUED FOR REVIEW	04.27.2021	
SHEET TITLE			DRAWN BY: CJC/SS
RIGHT ELEVATION			
SHEET			
A2.2			



REAR VIEW RENDERING



REAR ELEVATION

SCALE: 1/4" = 1'-0"



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Pitts
esidence

12 Gaston Avenue
Austin, Texas 78703

REV	DESCRIPTION	DATE
	ISSUED FOR REVIEW	04-27-2021
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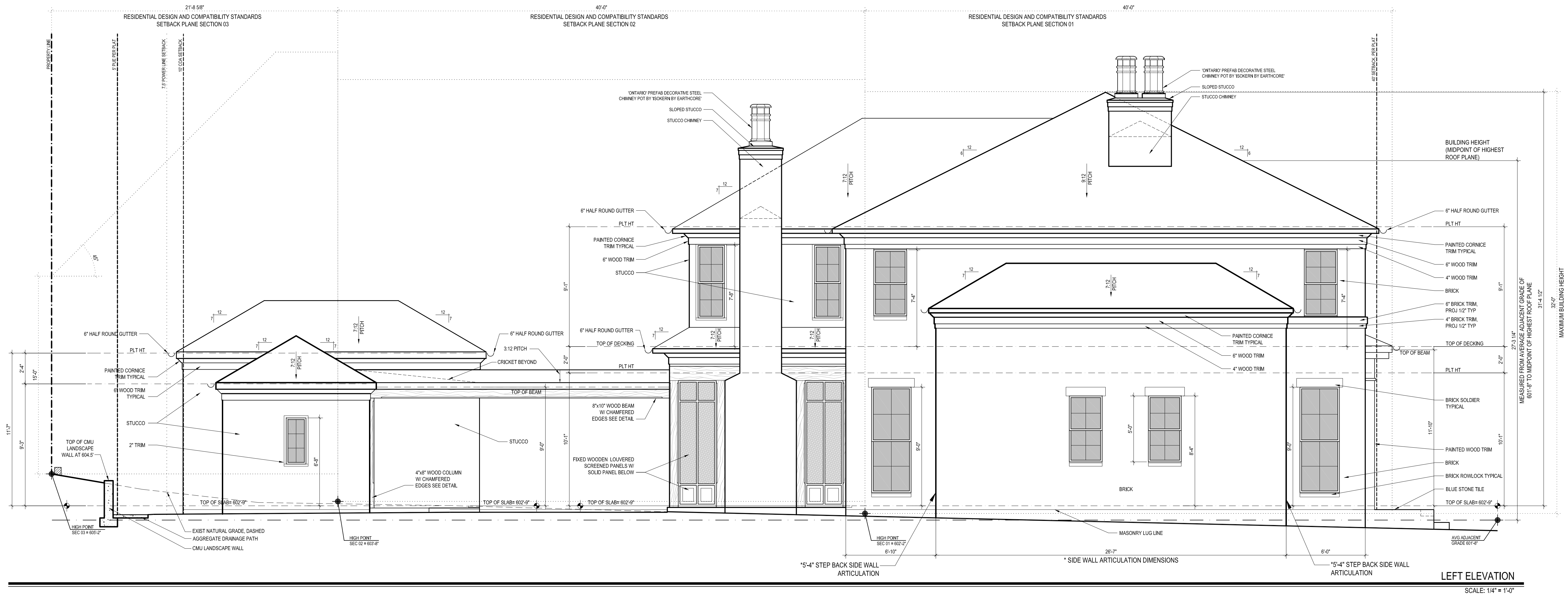
SHEET TITLE
REAR
ELEVATION

SHEET

A2.3



LEFT VIEW RENDERING



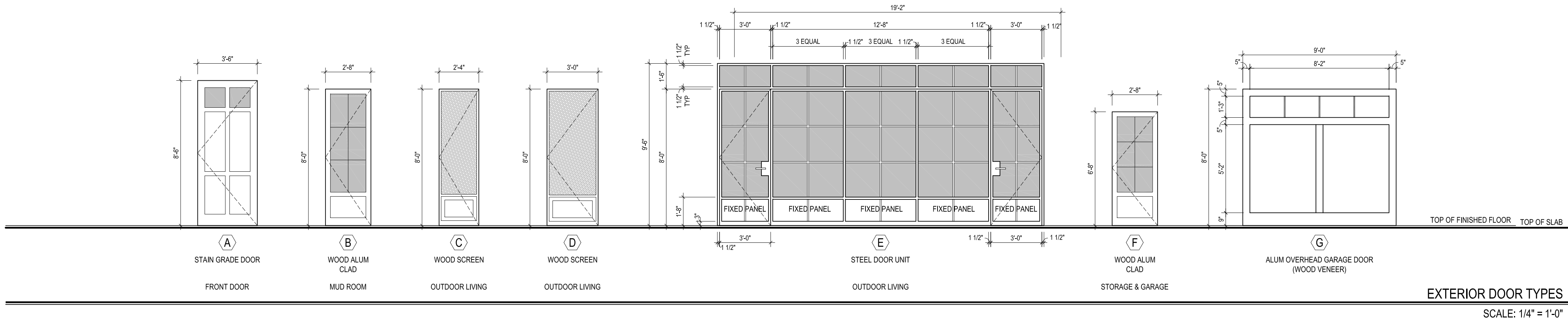
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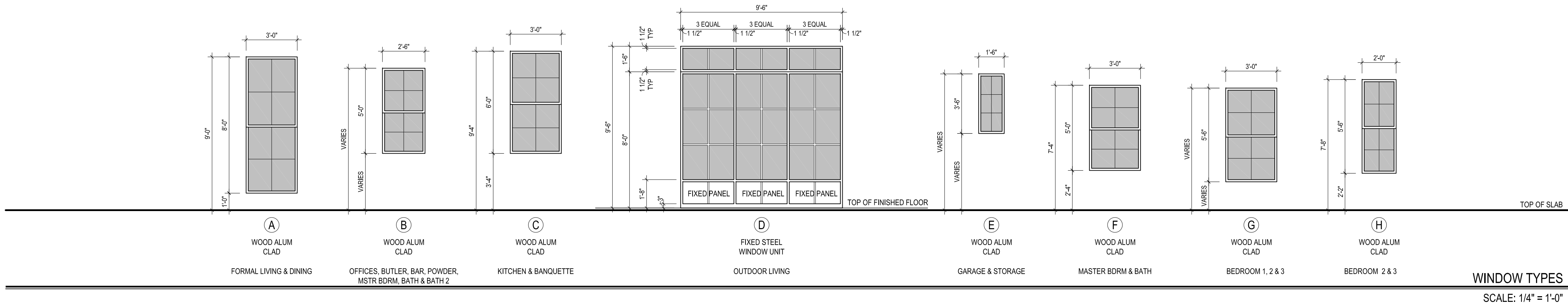
Pitts Residence 1512 Gaston Avenue Austin, Texas 78705			
REV	DESCRIPTION	DATE	DRAWN BY: CRC / SS
	ISSUED FOR REVIEW	04.27.2021	
SHEET TITLE			A2.4
LEFT ELEVATION			
SHEET			

GENERAL NOTES



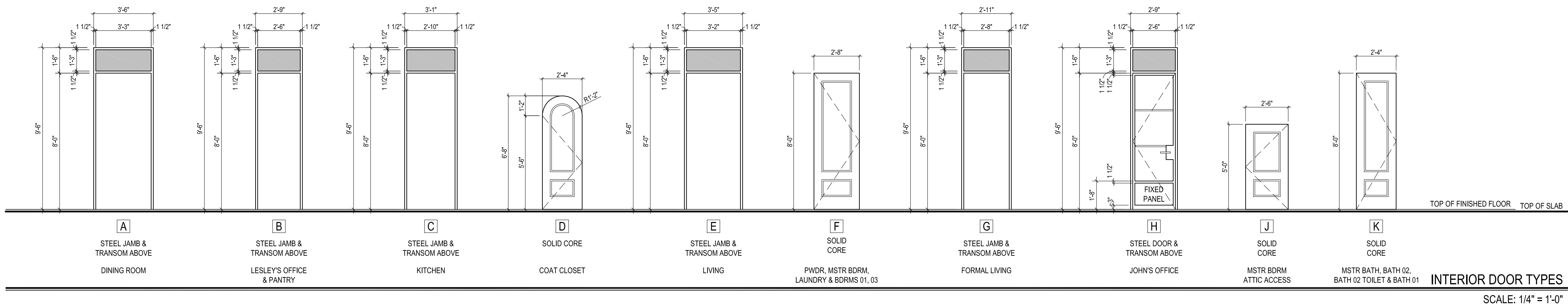
EXTERIOR DOOR TYPES

SCALE: 1/4" = 1'-0"



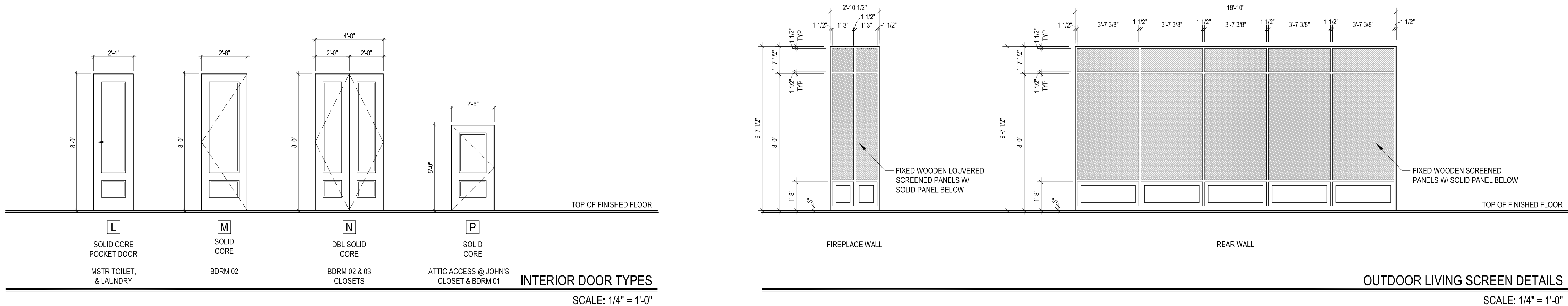
WINDOW TYPES

SCALE: 1/4" = 1'-0"



INTERIOR DOOR TYPES

SCALE: 1/4" = 1'-0"



OUTDOOR LIVING SCREEN DETAILS

SCALE: 1/4" = 1'-0"

EXTERIOR DOOR SCHEDULE			
DOOR TYPE	FRAME SIZE W x H	QUANTITY	NOTES
A	3'-6" x 8'-0"	1	STAIN GRADE
B	2'-8" x 8'-0"	1	WOOD ALUM CLAD
C	2'-4" x 8'-0"	1	WOOD SCREEN
D	3'-0" x 8'-0"	1	WOOD SCREEN
E	19'-2" x 9'-8"	1	STEEL DOOR UNIT
F	2'-8" x 8'-8"	2	WOOD ALUM CLAD
G	9'-0" x 8'-0"	1	ALUM OVERHEAD GARAGE DOOR

GENERAL NOTES

- CONTRACTOR RESPONSIBLE FOR CONFIRMING ALL ROUGH OPENINGS PRIOR TO ORDERING.
- LETTER "Y" AND "O" NOT USED FOR CLARITY.
- ALL DOORS TO BE HINGED AS SHOWN ON ELEVATIONS AND PLANS.
- PROVIDE TEMPERED GLAZING AS REQ'D PER CODE.
- WHERE PRACTICAL, PROVIDE 2" CLEARANCE AT HEADER TO ALLOW FOR REQ'D ALIGNMENT.

WINDOW SCHEDULE			
WINDOW TYPE	FRAME SIZE W x H	QUANTITY	NOTES
A	3'-0" x 8'-0"	6	DHDL WOOD ALUM CLAD
B	2'-6" x 5'-0"	9	DHDL WOOD ALUM CLAD
C	3'-0" x 6'-0"	3	DHDL WOOD ALUM CLAD
D	9'-6" x 9'-8"	1	FIXED STEEL WINDOW UNIT
E	1'-6" x 3'-6"	2	FXDL WOOD ALUM CLAD
F	3'-0" x 5'-0"	5	DHDL WOOD ALUM CLAD
G	3'-0" x 5'-0"	8	DHDL WOOD ALUM CLAD
H	2'-0" x 5'-0"	3	DHDL WOOD ALUM CLAD

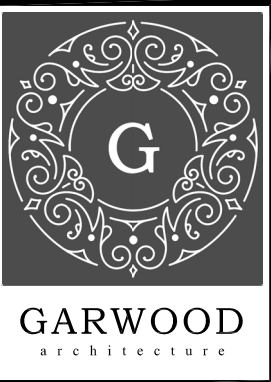
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- PROVIDE TEMPERED GLAZING AS REQ'D PER CODE.
- WHERE PRACTICAL, PROVIDE 2" CLEARANCE AT HEADER TO ALLOW FOR REQ'D ALIGNMENT.

INTERIOR DOOR SCHEDULE			
DOOR TYPE	FRAME SIZE W x H	QUANTITY	NOTES
A	3'-6" x 9'-6"	1	STEEL JAMB W/ TRANSOM ABOVE
B	2'-9" x 9'-6"	2	STEEL JAMB W/ TRANSOM ABOVE
C	3'-1" x 9'-6"	1	STEEL JAMB W/ TRANSOM ABOVE
D	2'-4" x 6'-6"	1	SOLID CORE ARCH TOP DOOR
E	3'-5" x 9'-6"	1	STEEL JAMB W/ TRANSOM ABOVE
F	2'-8" x 8'-0"	5	SOLID CORE, RIGHT SWING
G	2'-11" x 9'-6"	1	STEEL JAMB W/ TRANSOM ABOVE
H	2'-9" x 9'-6"	1	STEEL DOOR UNIT W/ TRANSOM ABOVE
J	2'-6" x 5'-0"	1	SOLID CORE, LEFT SWING
K	2'-4" x 8'-0"	4	SOLID CORE, RIGHT SWING
L	2'-4" x 8'-0"	2	SOLID CORE, POCKET DOOR
M	2'-8" x 8'-0"	1	SOLID CORE, LEFT SWING
N	DBL 2'-0" x 8'-0"	2	SOLID CORE, DOUBLE DOORS
P	2'-6" x 5'-0"	3	SOLID CORE, RIGHT SWING

GENERAL NOTES

- CONTRACTOR RESPONSIBLE FOR CONFIRMING ALL ROUGH OPENINGS PRIOR TO ORDERING.
- LETTER "Y" AND "O" NOT USED FOR CLARITY.
- ALL DOORS TO BE HINGED AS SHOWN ON ELEVATIONS AND PLANS.
- PROVIDE TEMPERED GLAZING AS REQ'D PER CODE.
- WHERE PRACTICAL, PROVIDE 2" CLEARANCE AT HEADER TO ALLOW FOR REQ'D ALIGNMENT.



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04.22.2021

Pitts Residence

1512 Gaston Avenue
Austin, Texas 78703

DATE
04.22.2021

DESCRIPTION
ISSUED FOR PERMITTING

REV

DRAWN BY: CUG/SS

SHEET TITLE
DOOR & WINDOW SCHEDULES

SHEET

A5.1