



2518 HARRIS BLVD - SCHEMATIC DESIGN
APRIL 5, 2021

VICINITY MAP

2518 Harris Blvd,
Austin, TX 78703

Jarrett Ave

Harris Blvd

Ethridge Ave

Wathen Ave

Leigh St

Hardoulin Ave

Jarrett Triangle Park

Cowden James N

Sheet List	
Sheet Name	Sheet Number
COVER	A000
DESIGN IMAGES	A001
SITE PLAN - PHASE 1 & 2	A101
PLAN - LEVEL 1	A102
PLAN - LEVEL 2	A103
ROOF PLAN	A104
ELEVATIONS	A200
ELEVATIONS	A201
ELEVATIONS - STUDIO	A202
SECTIONS	A210
SECTIONS	A211
WALL SECTIONS	A220
WALL SECTIONS	A221

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AUSTIN TX 78703

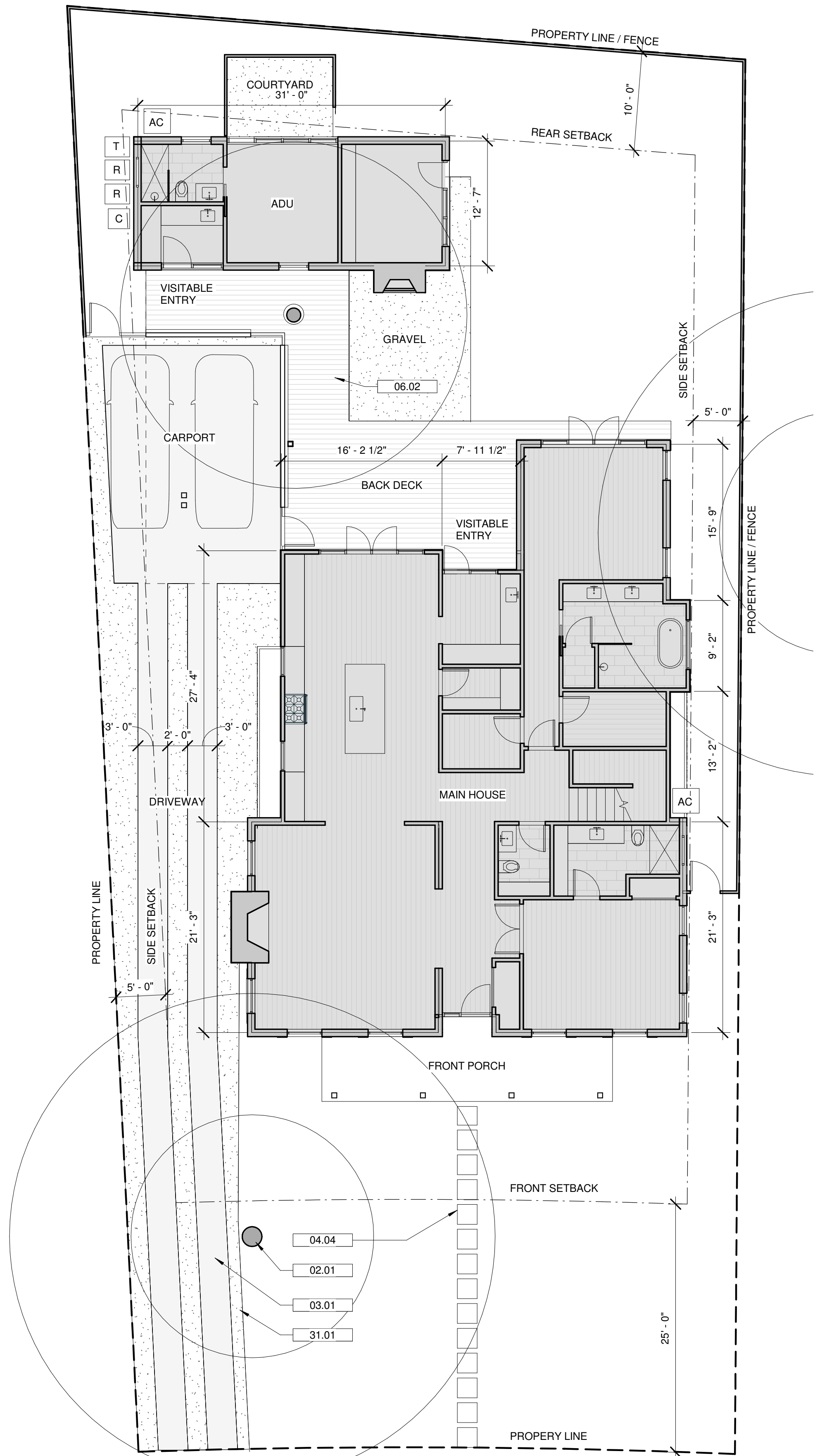
1717 WEST 30TH STREET, AUSTIN TX 78703

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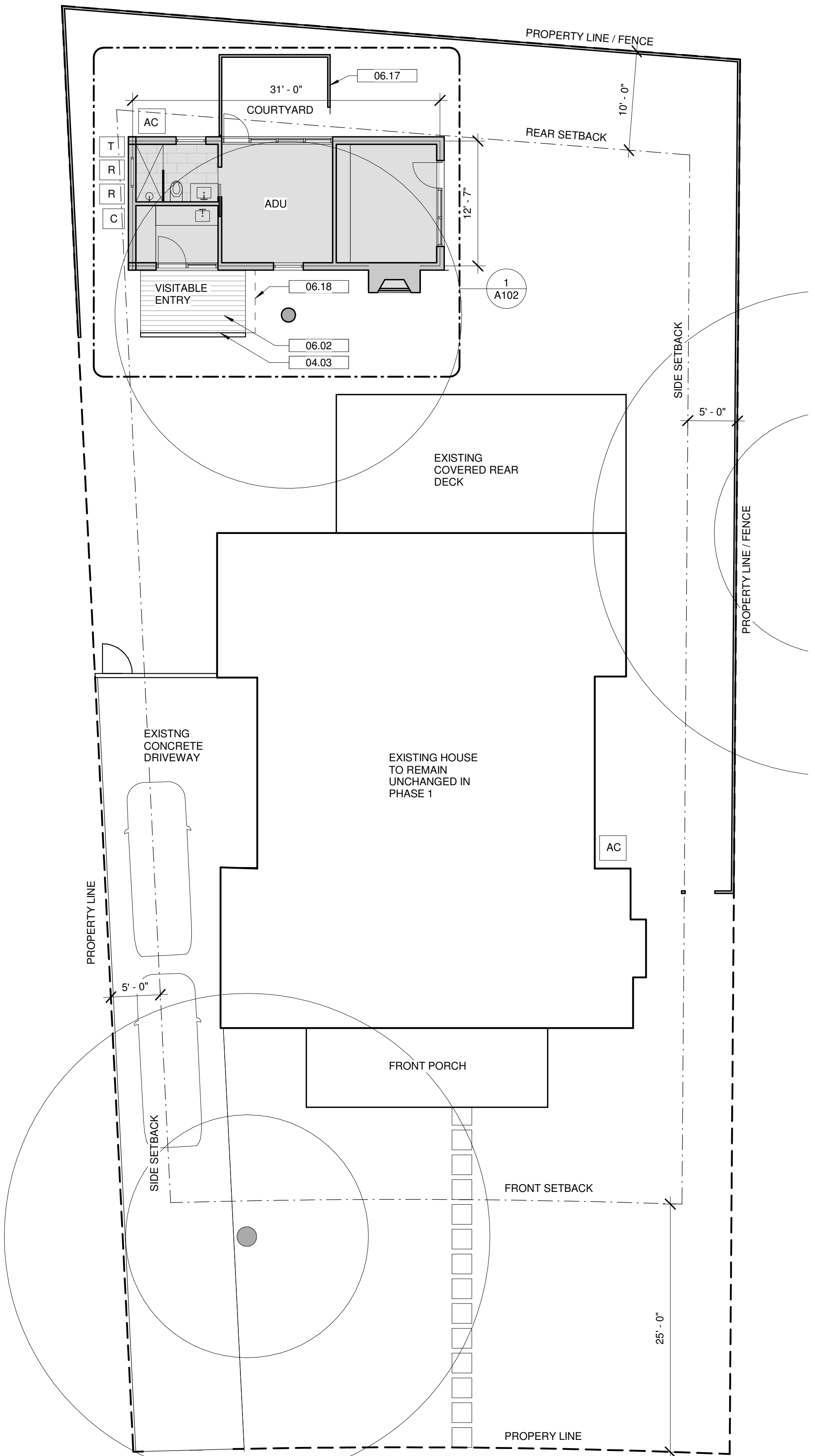
ARCHITECTURE

A000
COVER

SCALE: _____
DATE: 4/5/2021



2 SITE PLAN-PHASE 2
1/8" = 1'-0"



1 SITE PLAN-PHASE 1
1/8" = 1'-0"

KEYNOTE LEGEND

02.01	PROTECTED TREE
03.01	CONCRETE DRIVEWAY RIBBONS
04.03	LOW STUCCO WALL - BURNISHED
04.04	STONE PAVERS/ TILE
06.02	WOOD DECK
06.17	WOOD FENCE
06.18	WOOD TRELLIS - STAINED
31.01	GRAVEL

PROJECT DESCRIPTION:

SINGLE STORY SINGLE FAMILY HOUSE, DETACHED STUDIO

PROJECT SIZE:

LOT: 9400 SF
HOUSE: 3165 SF
REAR STUDIO: 404 SF

TOTAL: 3,569SF

APPLICABLE BUILDING CODES:
2015 IRC, 2012 IECC, 2011 NEC, 2012 IFC, 2012 UMC, 2012 UPC
TAS AND ALL LOCAL AMENDMENTS

SITE PLAN NOTES:

- TREES TO BE SAVED SHALL BE PROTECTED BY FENCING BEFORE CONSTRUCTION BEGINS. NO EQUIPMENT OR MATERIAL SHALL BE OPERATED OR STORED WITHIN THE FENCED IN AREA. FENCES SHALL BE AT THE DRIP LINE AND COMPLETELY SURROUND THE TREE OR CLUSTER OF TREES. NO BURNING OF DEBRIS, CLEANING FLUIDS, CONCRETE SPILLS ETC. WILL BE ALLOWED WITHIN THESE AREAS.
- CONTRACTOR TO VERIFY EXACT LOCATION OF STRUCTURES, AND RELATED STRUCTURES ON LOT ACCORDING TO THE SET OF DRAWINGS.
- ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION, CONTRACTOR MUST NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES TO THE DRAWINGS.

GENERAL NOTES:

- AT NO TIME ARE CHANGES TO THE CONSTRUCTION METHODS, MATERIALS, DETAILS, SPECIFICATIONS, GENERAL NOTES OR SCHEDULES, OR DELETION OF ANY REQUIREMENT SHOWN ON THE DRAWINGS ACCEPTABLE WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE ARCHITECT AND CLIENT. TO OBTAIN PERMISSION, PRICING, RELEVANT DRAWINGS AND DOCUMENTS MUST BE PROVIDED.
- ALL PROPOSALS SHALL TAKE INTO CONSIDERATION ALL SITE & CONSTRUCTION CONDITIONS AFFECTING UNDER THIS CONTRACT
- COORDINATE MECHANICAL, ELECTRICAL AND PLUMBING DIVISIONS WITH OTHER TRADES AFFECTING OR AFFECTED BY SAME.
- CONTRACTOR TO COORDINATE STAGING AREAS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN ACCORDANCE OF ALL PROVISIONS OF APPLICABLE CODES AND ORDINANCES. WORKMANSHIP ND MATERIALS TO BE OF THE HIGHEST INDUSTRY STANDARDS.
- THE PLANS AND SPECIFICATIONS HAVE BEEN DEVELOPED WITH THE INTENT OR MEETING OR EXCEEDING THE MINIMUM REQUIRED STANDARDS. SHOULD THE PLANS AND SPECIFICATIONS DISAGREE WITH THEMSELVES, THE GREATER QUALITY OR GREATER QUANTITY SHALL BE PREFORMED OR FURNISHED.
- NOTICE TO ALL SUBCONTRACTORS: IT IS YOUR RESPONSIBILITY TO BID YOUR SCOPE OF WORK USING THE COMPLETE SET OF PLANS AND SPECIFICATIONS. THE FACT THAT SOMETHING WAS NOT INDICATED ON YOUR PORTION OF THE DRAWINGS WILL NOT BE ACCEPTABLE AS A REASON FOR EXTRA SERVICES, IF IT CAN BE FOUND ELSEWHERE IN THE DRAWINGS OR SPECIFICATIONS OR IF IT IS IMPLIED AS PART OF THE SCOPE OF WORK.
- THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AND ITEMS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- IN THE EVENT OF THEFT OR DAMAGE OF MATERIALS FROM THE SITE, EACH PRIME CONTRACTOR SHALL REPLACE AND / OR RESTORE ALL AFFECTED MATERIALS.
- PROVIDE FIRST AID AND FIRE PROTECTION AS REQUIRED BY OSHA
- GENERAL CONTRACTOR AND SUB CONTRACTORS ARE TO BID THIS PROJECT AS DESIGNED. VALUE ENGINEERING IS WELCOMED IN AN EFFORT TO GET THE BEST VALUE. GENERAL CONTRACTOR SHALL SUBMIT THEIR BIDS PER PLANS AND SPECIFICATIONS AND SUBMIT VALUE ENGINEERING ITEMS SEPARATELY.
- PROVIDE ARCHITECT WITH SHOP DRAWINGS OF ALL MILLWORK, SHOP FABRICATED STRUCTURAL TRUSSES AND FRAMING AS WELL AS WINDOWS.
- ALL NEW & ORIGINAL CONSTRUCTION SHALL THOROUGHLY CLEANED AND PAINTED, BOTH EXTERIOR AND INTERIOR, PRIOR TO OWNERS OCCUPANCY.
- SEE FINISH SCHEDULE FOR ALL MATERIALS, FINISHES, FIXTURES AND PAINT COLORS
- CONTRACTOR SHALL PROVIDE APPROPRIATE WRITTEN DOCUMENTS THAT REFLECT ANY CHANGES TO ORIGINAL DRAWINGS, FINISH AND MATERIAL SPECIFICATION OR LAYOUT.
- SITE MEETINGS ARE REQUIRED TO BE HELD WITH THE ARCHITECT, CONTRACTOR AND EACH TRADE SUB CONTRACTOR AT THE START OF EACH PHASE INCLUDING THE FOLLOWING PHASES: PRE-CONSTRUCTION, MILLWORK.
- EMPLOY THE FOLLOWING IN COMPLIANCE WITH THE ENERGY STAR CERTIFIED HOME CHECKLIST (MOST RECENT VERSION): INSURE FULL ND PROPER INSULATION WITHOUT MISALIGNMENTS, COMPRESSIONS, GAPS, VOIDS OR SAGGING IN ALL EXTERIOR CAVITIES AT ALL EXTERIOR WALL CONDITIONS; USE RECESSED CORNERS OF NO MORE THAN 3 STUDS PER CORNER TO ALLOW FOR MAXIMUM THERMAL COVERAGE, UNLESS OTHERWISE STRUCTURALLY REQUIRED, AND LIMIT FRAMING O MAX OF ONE PAIR OF KING STUDS AND ONE PAIR OF JACK STUDS PER WINDOW. LIMIT EXTERIOR FRAMING IN GENERAL TO ONLY WHAT IS NECESSARY. INSTALL HEADERS OF R6 MIN INSULATION VALUE FOR ALL 2X8 EXTERIOR WALL ASSEMBLIES, UNLESS STRUCTURALLY INFEASIBLE. DOOR ADJACENT TO UNCONDITIONED SPACE OR AMBIENT CONDITIONS TO BE GASKETED OR OTHERWISE MADE TO BE AIR-TOGHT. ATTIC ACCESS PANEL AND DROP-DOWN STAIRS TO BE CONTINUOUSLY GASKETED AND EQUIPPED WITH A DURABLE R10 INSULATED COVER.

REV #	DESCRIPTION
DATE	

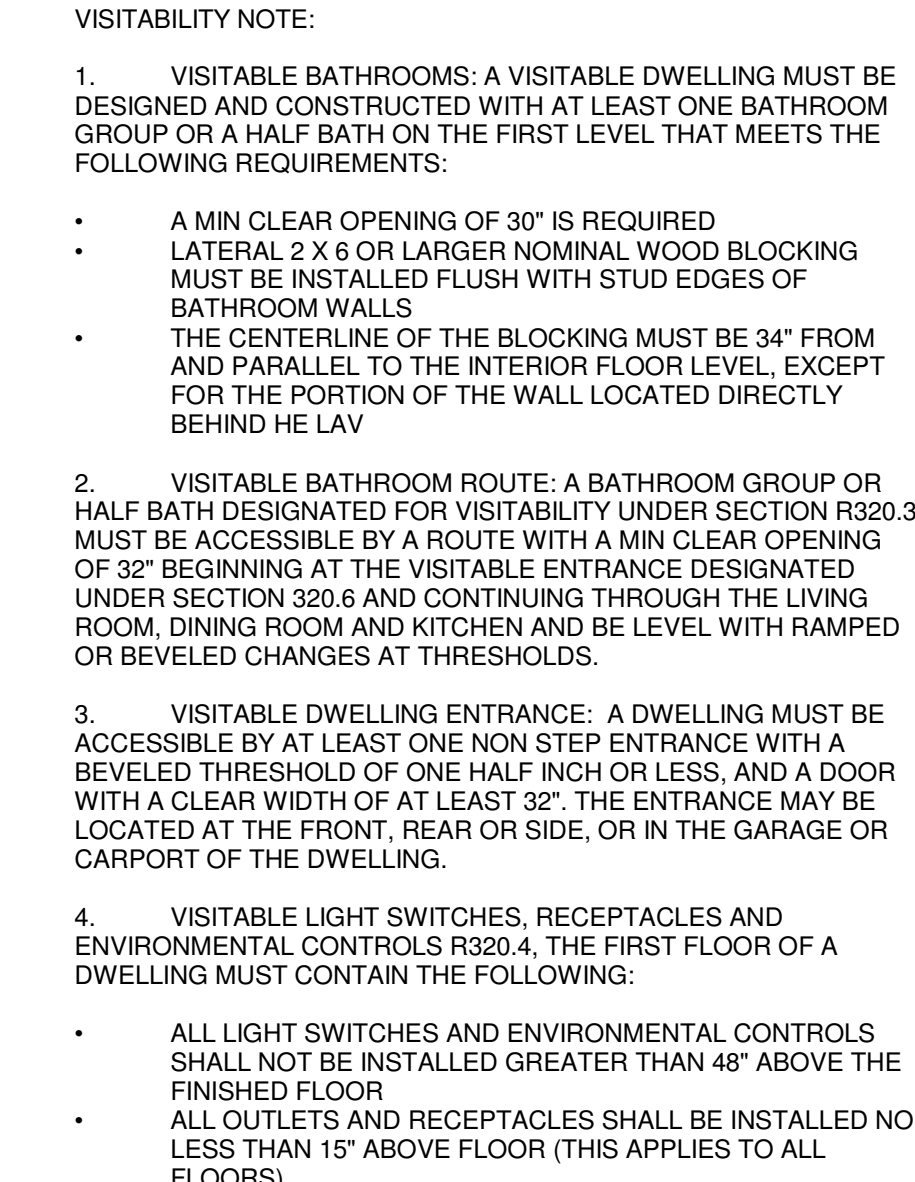
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ARCHITECTURE

A101
SITE PLAN - PHASE 1 & 2

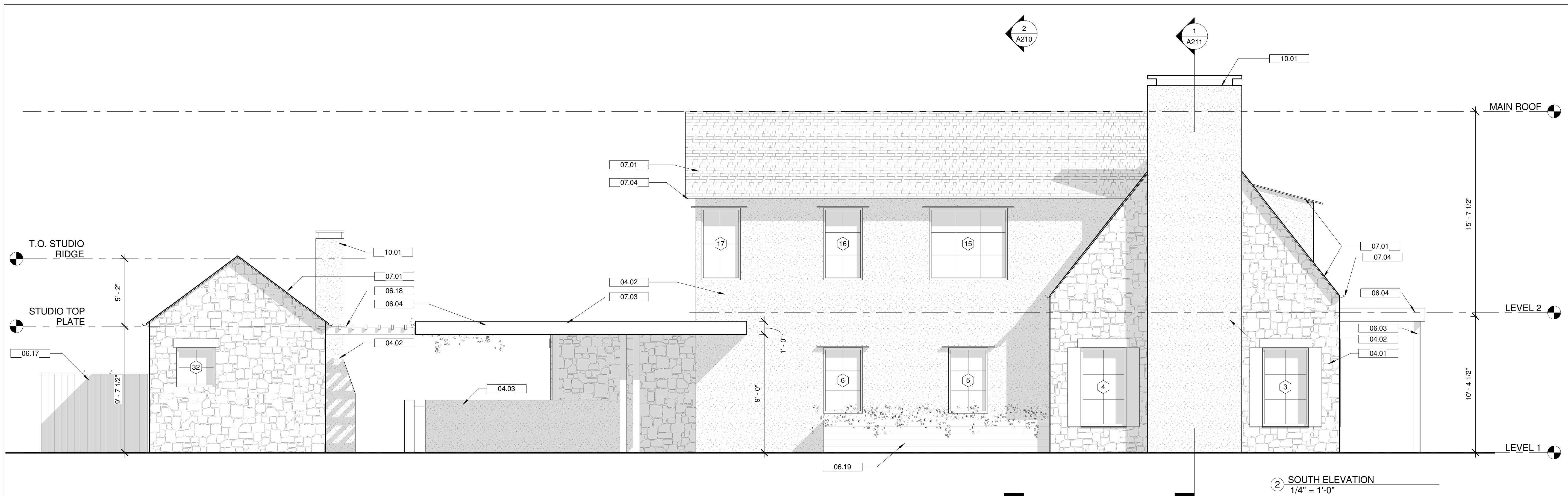
SCALE: As indicated
DATE: 4/5/2021

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1 ROOF PLAN
3/16" = 1'-0"

SCALE: $3/16" = 1'-0"$
DATE: 4/5/2021



② SOUTH ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
NUMBER	UNIT HEIGHT	UNIT WIDTH	SPEC

1	6' - 0"	3' - 6"	SIERRA PACIFIC H3
2	6' - 0"	3' - 6"	SIERRA PACIFIC H3
3	6' - 0"	3' - 6"	SIERRA PACIFIC H3
4	6' - 0"	3' - 6"	SIERRA PACIFIC H3
5	5' - 0"	3' - 0"	SIERRA PACIFIC H3
6	5' - 0"	3' - 0"	SIERRA PACIFIC H3
7	5' - 0"	3' - 0"	SIERRA PACIFIC H3
8	5' - 0"	3' - 0"	SIERRA PACIFIC H3
9	5' - 0"	5' - 0"	SIERRA PACIFIC H3
10	3' - 2"	3' - 0"	SIERRA PACIFIC H3
11	5' - 6"	3' - 0"	SIERRA PACIFIC H3
12	5' - 6"	3' - 0"	SIERRA PACIFIC H3
13	6' - 0"	3' - 6"	SIERRA PACIFIC H3
14	6' - 0"	3' - 6"	SIERRA PACIFIC H3
15	5' - 6"	6' - 0"	SIERRA PACIFIC H3
16	5' - 6"	3' - 0"	SIERRA PACIFIC H3
17	5' - 6"	3' - 0"	SIERRA PACIFIC H3
18	5' - 6"	2' - 6"	SIERRA PACIFIC H3
19	5' - 6"	2' - 6"	SIERRA PACIFIC H3
20	5' - 6"	2' - 6"	SIERRA PACIFIC H3
21	5' - 6"	2' - 6"	SIERRA PACIFIC H3
22	5' - 6"	2' - 6"	SIERRA PACIFIC H3
23	5' - 6"	2' - 6"	SIERRA PACIFIC H3
24	5' - 6"	3' - 0"	SIERRA PACIFIC H3
25	5' - 6"	3' - 0"	SIERRA PACIFIC H3
26	4' - 0"	3' - 0"	SIERRA PACIFIC H3
27	5' - 6"	3' - 0"	SIERRA PACIFIC H3
28	4' - 0"	3' - 0"	SIERRA PACIFIC H3
29	4' - 0"	3' - 0"	SIERRA PACIFIC H3
30	4' - 0"	3' - 0"	SIERRA PACIFIC H3
31	4' - 0"	3' - 0"	SIERRA PACIFIC H3
32	3' - 0"	3' - 0"	SIERRA PACIFIC H3
33	4' - 0"	3' - 0"	SIERRA PACIFIC H3

WINDOW WALL SCHEDULE			
NUMBER	UNIT HEIGHT	UNIT WIDTH	SPEC

A	10' - 0"	5' - 0"	SIERRA PACIFIC H3
B	8' - 0"	10' - 8"	SIERRA PACIFIC H3
C	8' - 0"	5' - 9 1/2"	SIERRA PACIFIC H3
D	8' - 0"	10' - 8"	SIERRA PACIFIC H3
E	8' - 0"	6' - 5"	SIERRA PACIFIC H3
F	8' - 0"	11' - 7"	SIERRA PACIFIC H3
G	8' - 0"	10' - 8"	SIERRA PACIFIC H3



1 MAIN HOUSE - EAST
1/4" = 1'-0"

04.01	STONE WALL - LINEDSTONE WITH LIGHT SLURRY
04.02	STUCCO WALL - BURNISHED
04.03	LOW STUCCO WALL - BURNISHED
06.03	WOOD COLUMNS
06.04	WOOD FASCIA
06.17	WOOD FENCE
06.18	WOOD TRELLIS - STAINED
06.19	WOOD PLANTER
07.01	COMPOSITE THICK SHINGLE ROOF
07.03	LOW SLOPE TPO ROOF
07.04	HALF ROUND METAL GUTTER TO MATCH ROOF
10.01	METAL CHIMNEY CAP

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ARCHITECTURE

A200

ELEVATIONS

SCALE: $1/4" = 1'-0"$
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REV #	DATE	DESCRIPTION
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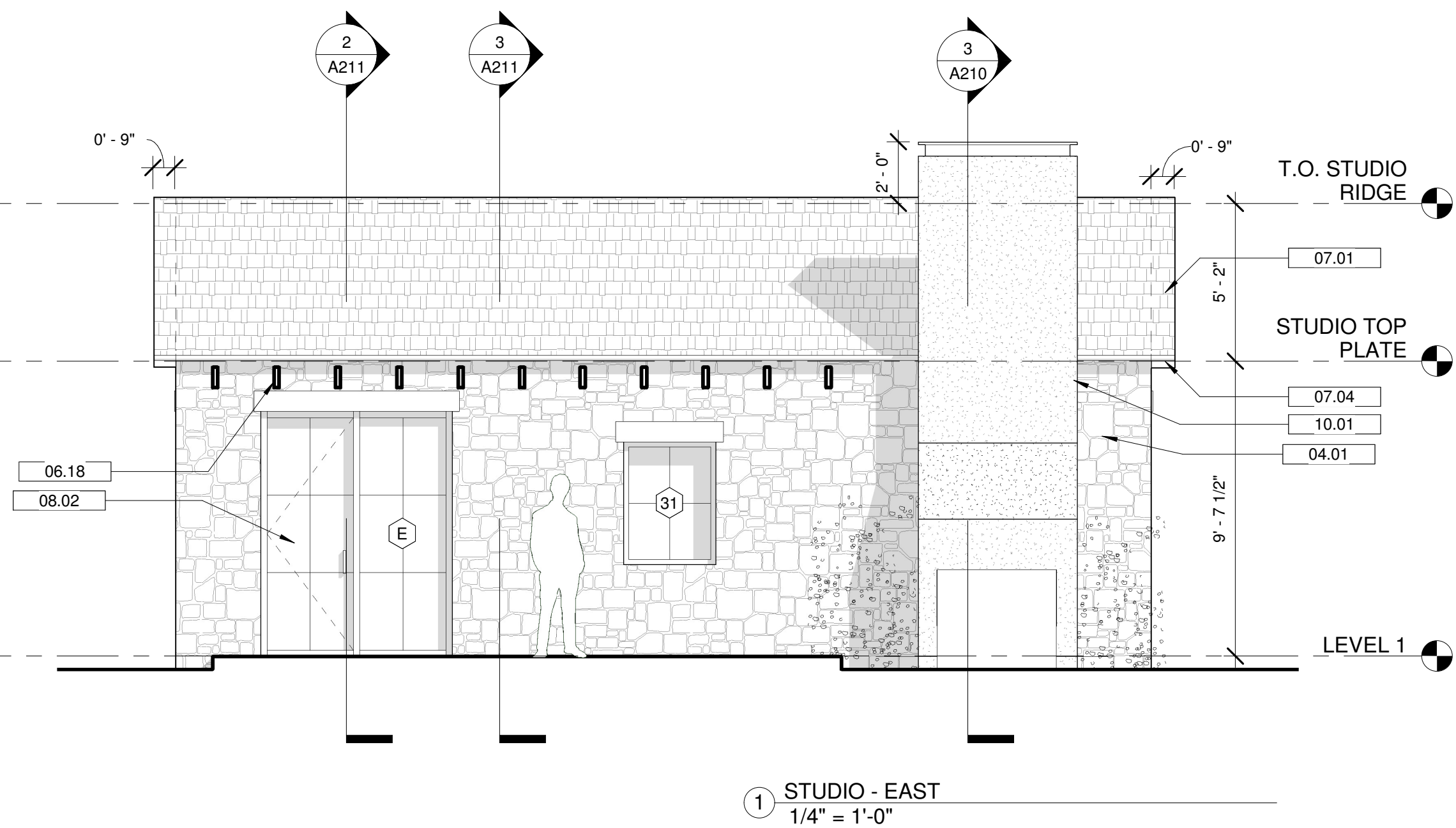
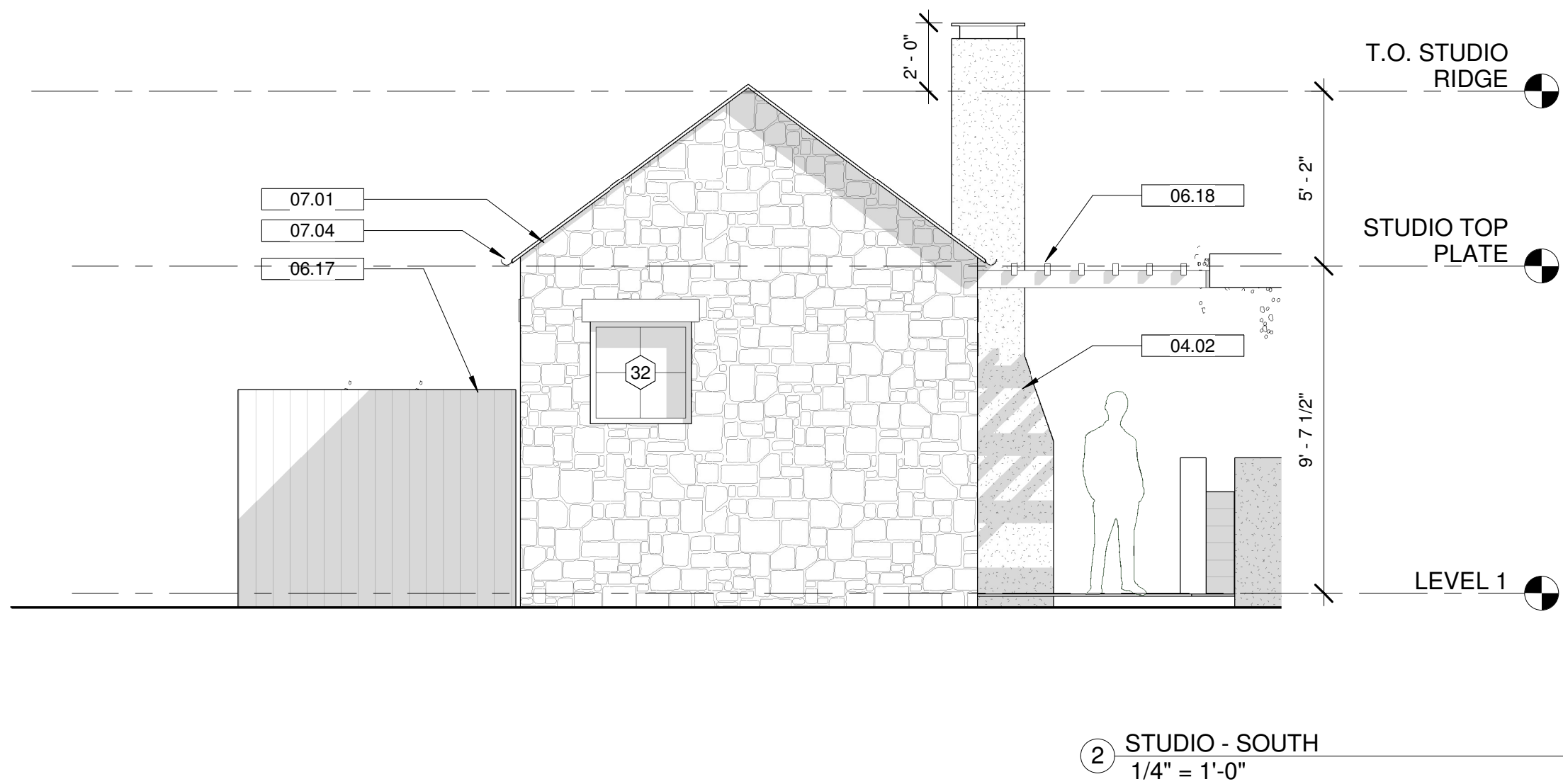
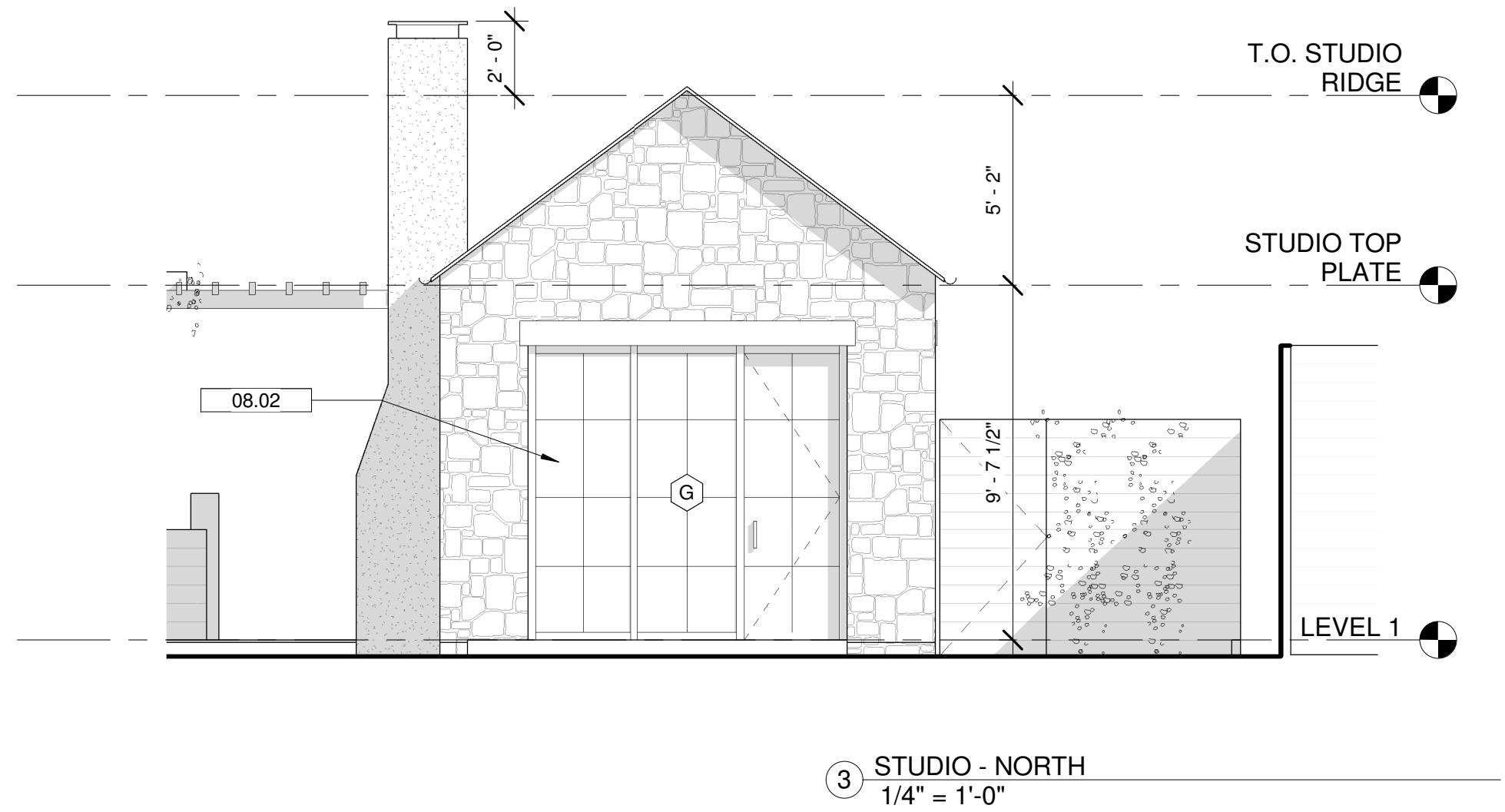
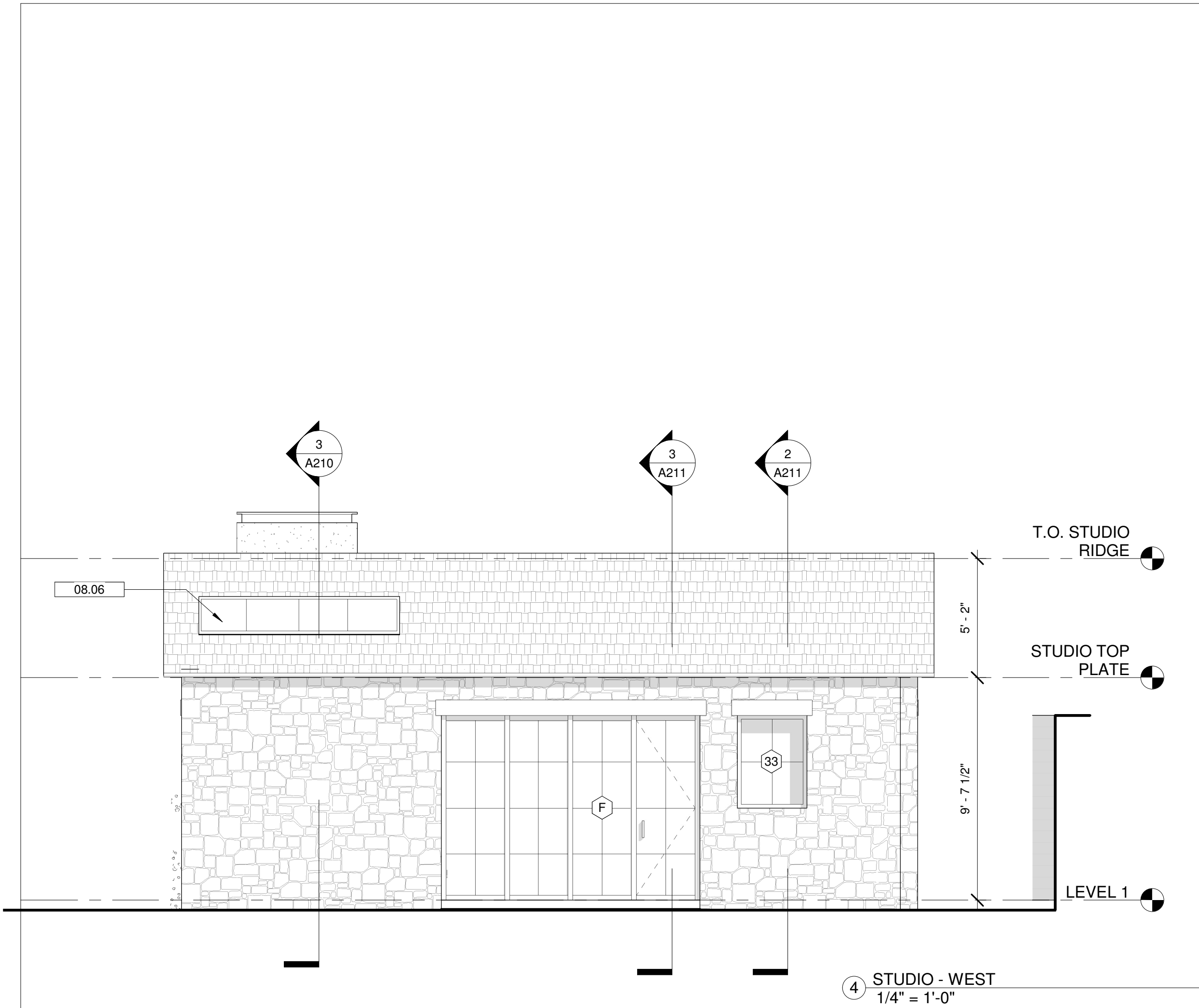
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ARCHITECTURE

A201
ELEVATIONS

SCALE: 1/4" = 1'-0"
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- KEYNOTE LEGEND
- 04.01 STONE WALL - LINSTONE WITH LIGHT SLURRY
 - 04.02 STUCCO WALL - BURNISHED
 - 06.17 WOOD FENCE
 - 06.18 WOOD TRELLIS - STAINED
 - 07.01 COMPOSITE THICK SHINGLE ROOF
 - 07.04 HALF ROUND METAL GUTTER TO MATCH ROOF
 - 08.02 WINDOW / DOOR SYSTEM - SEE SPECS
 - 08.06 SKYLIGHT
 - 10.01 METAL CHIMNEY CAP

REV #	DATE	DESCRIPTION
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2518 HARRIS BLVD
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ARCHITECTURE

A202
ELEVATIONS - STUDIO

SCALE: 1/4" = 1'-0"
DATE: 4/5/2021

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