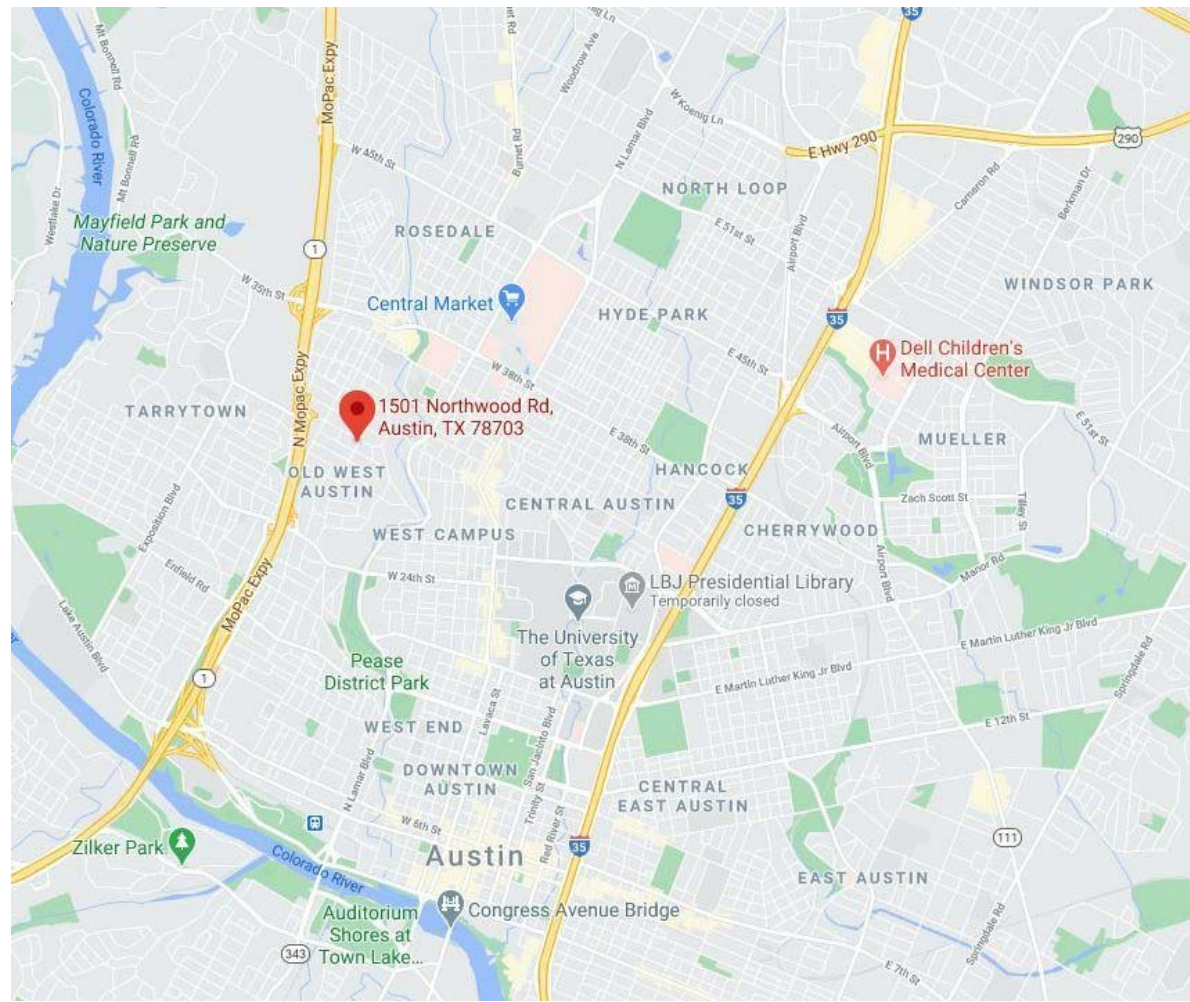


VICINITY MAP

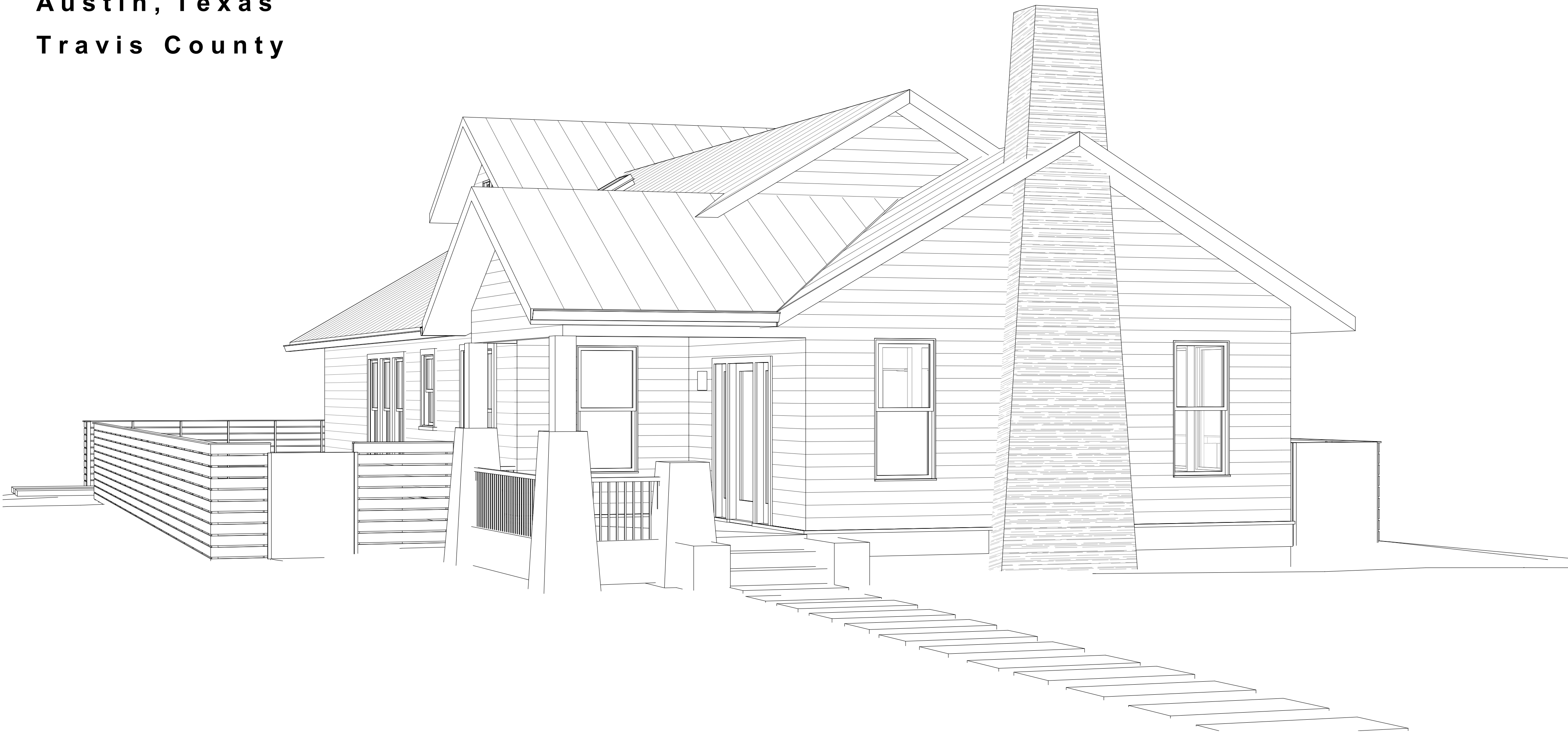


ABBREVIATIONS

AD	AREA DRAIN	MFCTR	MANUFACTURER
ADJ	ADJUSTABLE	MIN	MINIMUM
APF	ABOVE FINISH FLOOR	MIR	MIRROR
APPROX	APPROXIMATE	MISC	MISCELLANEOUS
		MTD	MOUNTED
		MTL	METAL
		MUL	MULLION
BLDG	BUILDING		
BOB	BOTTOM OF BEAM		
		N	NORTH
CB	CATCH BASIN	NIC	NOT IN CONTRACT
CJ	CEILING JOIST	NTS	NOT TO SCALE
CL	CENTERLINE	NOM	NOMINAL
CAB	CABINET		
CLG	CEILING	O	OVEN
CLKS	CAULKING	OC	ON CENTER
CLO	CLOSET	OD	OUTSIDE DIAMETER/DIMENSION
CNTR	COUNTER	OM	OVEN & MICROWAVE
COL	COLUMN	OBS	OBSCURE
CONC	CONCRETE	OPNG	OPENING
CONSTR	CONSTRUCTION		
CONT	CONTINUOUS		
CRPT	CARPET	P TILE	PORCELAIN TILE
CTR	CENTER OR COUNTER	PL	PLATE
CTSK	COUNTERSUNK	PLAM	PLASTIC LAMINATE
		PW	PLYWOOD
		PLAS	PLASTER
		PW	PLYWOOD
		PRCST	PRE-CAST
D	DIAMETER		
DF	DOUGLASS FIR		
DO	DOOR OPENING		
DS	DOWNSPOUT		
DEPT	DEPARTMENT	QB	QUARRY BLOCK
DET	DETAIL		
DIA	DIAMETER		
DIM	DIMENSION		
DN	DOWN	R	RISER OR RADIUS
DR	DOOR	RD	ROOF DRAIN
DTL	DETAIL	RO	ROUGH OPENING
DW	DISHWASHER	R/F	REFRIGERATOR - FREEZER
DWG	DRAWING	RR	ROOF RAFTER
DWR	DRAWER	RAD	RADIUS
		REC	RECOMMENDATION
		REF	REFERENCE OR REFRIGERATOR
EG	EXISTING GRADE	REINF	REINFORCED
EXG	EXISTING	REQ'D	REQUIRED
EJ	EXPANSION	REV	REVISION
ELEV	ELEVATION	RGTR	REGISTER
EQ	EQUAL	RM	ROOM
EQUIP	EQUIPMENT		
EXP	EXPOSED		
EXT	EXTERIOR	S	SOUTH
		S TILE	STONE TILE
FA	FIRE ALARM	SC	SOLID CORE
FD	FLOOR DRAIN	SD	SOAP DISPENSER
FFE	FINISH FACE	SS	STAINLESS STEEL
FOC	FINISH FLOOR ELEVATION	S SK	SERVICE SINK
FOF	FACE OF CONCRETE	SCHED	SCHEDULE
FOB	FACE OF FINISH	SEC	SECTION
FOF	FACE OF STUCCO	SH	SHELF
FDN	FOUNDATION	SHWR	SHOWER
FIN	FINISH	SIM	SIMILAR
FLR	FLOOR	SPEC	SPECIFICATION
FRZ	FREEZER	STD	STANDARD
FT	FOOT OR FEET	STL	STEEL
FTG	FOOTING	STOR	STORAGE
FURR	FURRING	STRUCT	STRUCTURAL
		SYM	SYMMETRICAL
GB	GRAB BAR	T&G	TONGUE AND GROOVE
GC	GENERAL CONTRACTOR	T	TREAD
GA	GAUGE	TB	TOWEL BAR
GALV	GALVANIZED	TC	TOP OF CURB
GL	GLASS OR GLAZING	TO	TOP OF
GND	GROUND	TOB	TOP OF BEAM
GR	GRADE	TOC	TOP OF CONCRETE
GWB	GYPSUM WALL BOARD	TOD	TOP OF DOOR
		TOW	TOP OF WALL
		TP	TOP OF PAVEMENT
HB	HOSE BIBB	TPD	TOILET PAPER DISPENSER
HC	HANDICAP	TRS	TRUSS
HM	HOLLOW METAL	TV	TELEVISION
HDW	HARDWARE	TOW	TOP OF WALL
HDWD	HARDWOOD	TEL	TELEPHONE
HDWR	HARDWARE	TEMP	TEMPERED
HNDCP	HANDICAP	TER	TERRAZO
HORIZ	HORIZONTAL	THK	THICK OR THICKNESS
HR	HOUR	TYP	TYPICAL
HT	HEIGHT		
ID	INTERIOR DESIGNER	UNO	UNLESS NOTES OTHERWISE
IN	INCHES	UNF	UNFINISHED
INSUL	INSULATION	UR	URNINAL
INT	INTERIOR		
		VERT	VERTICAL
		VEST	VESTIBULE
JST	JOIST	VIF	VERIFY IN FIELD
JT	JOINT	VWB	VERIFY WITH BUILDER
		VWBD	VERIFY WITH BUILDING DESIGNER
		VWE	VERIFY WITH STRUCTURAL ENGINEER
		VWID	VERIFY WITH INTERIOR DESIGNER
		VWLA	VERIFY WITH LANDSCAPE DESIGNER
		VWLD	VERIFY WITH LIGHTING DESIGNER
		VWME	VERIFY WITH MECHANICAL ENGINEER
		VWO	VERIFY WITH OWNER
LIN	LINEN CLOSET		
LAB	LEADER BOX	W	WEST OR WIDTH
LAM	LABORATORY	WC	WATER CLOSET
LAV	LAMINATED	WI	WROUGHT IRON
LKRV	LAVATORY	WP	WATERPROOF
LKR	LOCKER	W or W	WITH
LTWT	LIGHT	W/O	WITHOUT
	LIGHTWEIGHT	WD	WD
		WISCT	WIANSCT
		WT	WEIGHT
MC	MEDICINE CABINET		
MO	MASONRY OPENING		
MECH	MECHANICAL		

# Northwood Remodel

Austin, Texas  
Travis County



## Conceptual Rendering

PROJECT LEGEND

EXISTING FRAMING WALL	
NEW FRAMING WALL	
EXISTING 5.5" MASONRY	
NEW 5.5" MASONRY	

PROJECT SYMBOLS

ELEVATION	
SECTION	
INTERIOR ELEVATION	
REVISION NUMBER	

PROJECT DATA

PROJECT ADDRESS

XXXX  
AUSTIN, TX XXXXX

COUNTY

TRAVIS

H.O.A. / P.O.A.

N/A

ZONING

XXXX

CONSTRUCTION

TYPE-V

VISITABILITY

DOES NOT APPLY -- REMODEL

McMANSION

LOT AREA = XXXX SQ. FT.  
ALLOWABLE F.A.R. = XXXX SQ. FT. (40%)  
PROPOSED F.A.R. = XXXX SQ. FT. (XX%)

MAXIMUM IMPERVIOUS COVER

LOT AREA = XXXX SQ. FT.  
ALLOWABLE I.C. = XXXX SQ. FT. (45%)  
PROPOSED I.C. = XXXX SQ. FT. (XX%)

MAXIMUM BUILDING COVERAGE

LOT AREA = XXXX SQ. FT.  
ALLOWABLE B.C. = XXXX SQ. FT. (40%)  
PROPOSED B.C. = XXXX SQ. FT. (XX%)

PROJECT DIRECTORY

OWNER

CONOR CIVINS  
1501 NORTHWOOD ROAD  
AUSTIN, TEXAS 78703

SURVEYOR

HOLT CARSON, INC.  
1904 FORTVIEW RD,  
AUSTIN, TX 78704  
P: (512) 442-0990

GENERAL CONTRACTOR

T.B.D.

STRUCTURAL

T.B.D.

GEOTECHNICAL

T.B.D.

INTERIORS

T.B.D.

INDEX OF DRAWINGS

ARCHITECTURAL

A-1.1 COVER SHEET  
A-1.2 GENERAL NOTES  
A-1.3 GENERAL NOTES  
A-1.4 SURVEY  
A-1.5 SITE PLAN  
A-1.6 EXISTING PLANS  
A-1.7 EXISTING PHOTOS  
A-1.8 PROPOSED 3D VIEWS

A-2.1 FIRST FLOOR PLAN  
A-2.2 SECOND FLOOR PLAN  
A-2.3 ROOF PLAN

A-3.1 ELEVATIONS  
A-3.2 SECTIONS

A-4.1 INTERIOR ELEVATIONS

A-5.1 DETAILS

A-6.1 FIRST FLOOR POWER PLAN  
A-6.2 SECOND FLOOR POWER PLAN

STRUCTURAL

X-XX XXXX

JOHN·WEST  
STODDARD

www.jwstoddard.com

p: 512.987.4271

JOHN WEST STODDARD, INC.  
THESE DOCUMENTS ARE PRELIMINARY  
AND SHOULD NOT BE USED FOR  
REGULATORY APPROVAL, PERMITTING,  
OR CONSTRUCTION

6/14/2021

Northwood Remodel

Project Number : 2019.07

Project Status : DD

1501 Northwood Road Austin, TX 78703

Issue Date : T.B.D.

DRAWN BY: JWS  
CHECKED BY: JWS  
DATE: 6/14/2021  
PERMIT:  
REVISED:  
REVISED:  
REVISED:

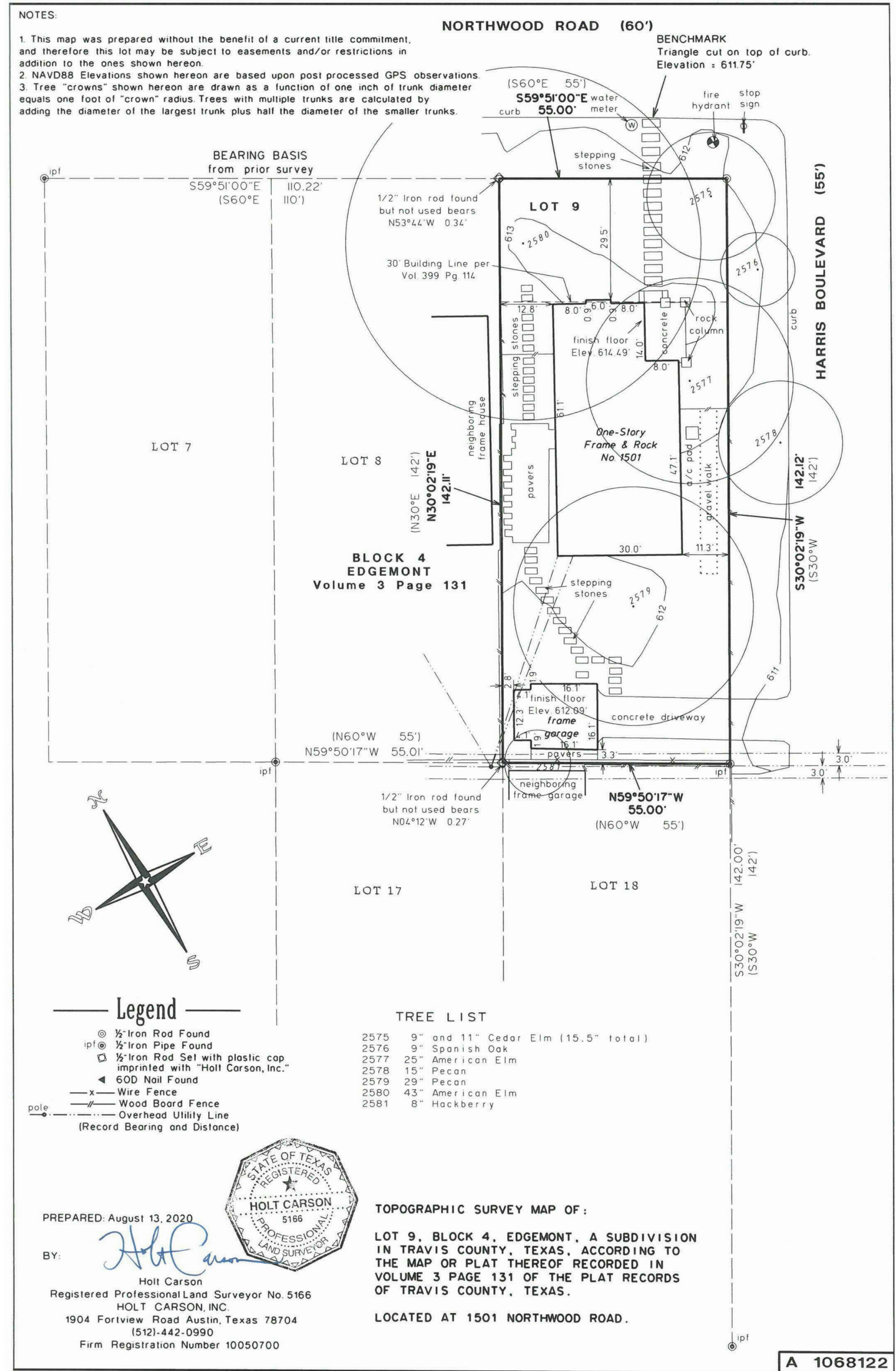
COVER  
SHEET

PROGRESS SET  
PHASE: DD

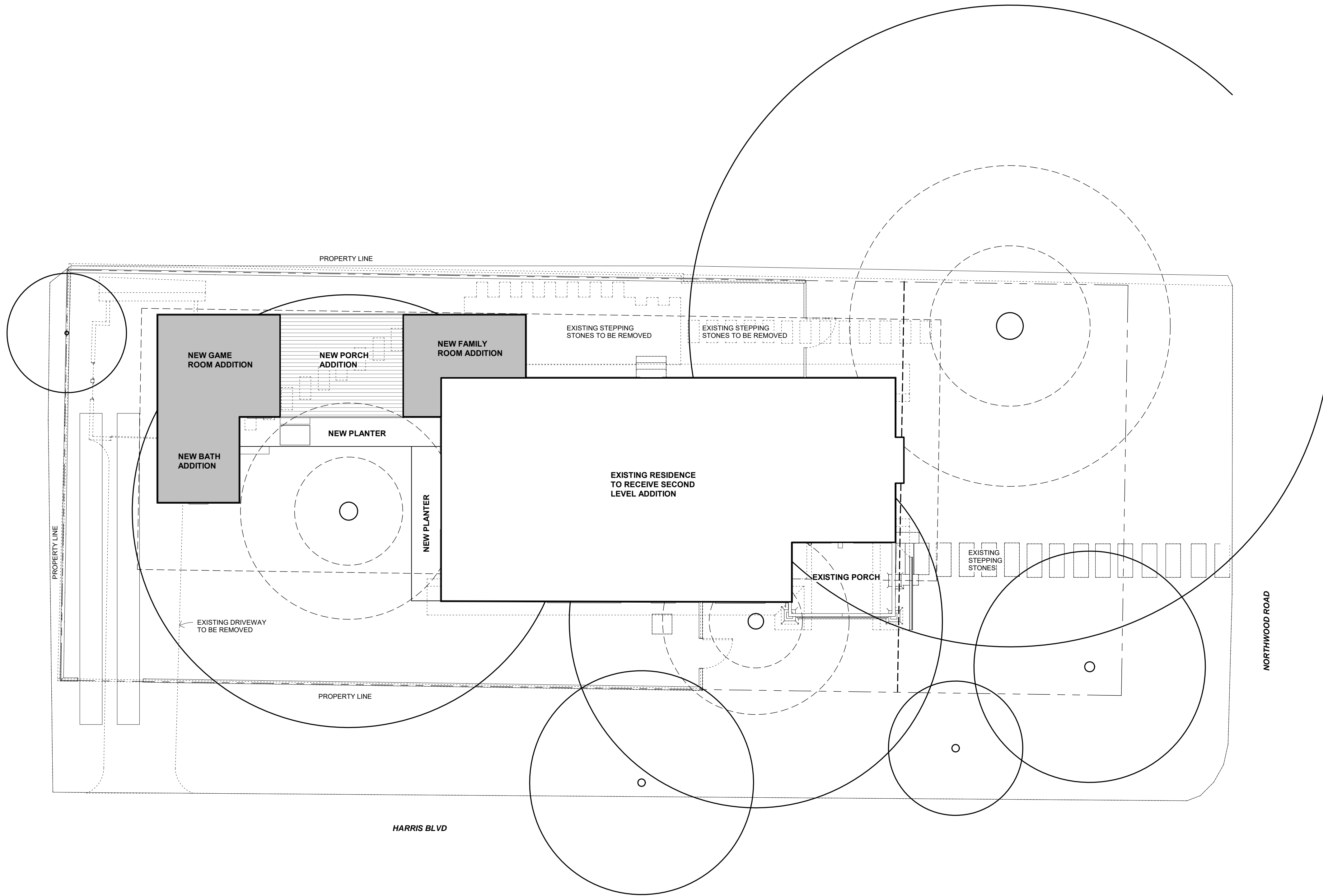
NOT FOR CONSTRUCTION

A-1.1









1 PROPOSED SITE PLAN  
1/8" = 1'-0"

LEGAL DESCRIPTION

LOT 7, BLOCK 5, OF COLORADO FOOTHILLS, SECTION THREE, A SUBDIVISION OF PLAT RECORDS IN TRAVIS COUNTY, TEXAS. ACCORDING TO MAP OR PLAT RECORDED IN VOLUME 5, PAGE 146 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

GENERAL NOTES - PLOT PLAN

1. THE BUILDER IS REQUIRED TO VERIFY ALL EXISTING UTILITIES, METES AND BOUNDS, BUILDING LINES, AND EASEMENTS SHOWN ON THE SURVEY. THIS IS TO BE VERIFIED PRIOR TO MAKING ANY IMPROVEMENTS.
2. ALL STAGING AREAS, PORTA-POTTYS, DUMPSTERS, SILT-FENCING, AND OTHER CONSTRUCTION-RELATED OBJECTS ARE TO BE LOCATED PER TRAVIS COUNTY REQUIREMENTS AS DICTATED BY THE BUILDING PERMIT.
3. A TRAVIS COUNTY APPROVED PERMIT SET OF DRAWINGS IS TO BE ON SITE AT ALL TIMES.
4. CAREFULLY PROTECT ALL TREES AND EXISTING VEGETATION ON THE PROPERTY THAT ARE TO REMAIN PER THE BUILDING PERMIT. VERIFY WITH OWNER FOR ANY TREES THAT WILL REMAIN.
5. THE BUILDER IS RESPONSIBLE FOR MAINTAINING AND CLEAN BUILDING SITE DURING CONSTRUCTION.
6. THE BUILDER IS RESPONSIBLE FOR KEEPING CONSTRUCTION NOISE TO REASONABLE LEVELS. CONSTRUCTION IS ONLY ALLOWED DURING TRAVIS COUNTY APPROVED TIMES.
7. FINISH FLOOR ELEVATIONS (F.F.E.) ARE SHOWN ON THE PLOT PLAN. THE NEW FINISH FLOOR ELEVATION SHALL BE A MINIMUM OF 1" ABOVE EXISTING GRADE AT THE FRONT OF THE HOUSE.
8. IT IS ASSUMED THAT THE LOCATIONS OF ALL UTILITIES NOT SHOWN ON THE PLOT PLAN WILL REMAIN IN THE SAME LOCATION UNLESS IT IS NOT POSSIBLE. VERIFY WITH OWNER.
9. THE BUILDER IS RESPONSIBLE FOR MAINTAINING CONSISTENT DRAINAGE AWAY FROM THE NEW HOUSE TO CODE.
10. THE FINAL LOCATION OF THE NEW HOUSE SHALL BE STAKED ON SITE BY A SURVEYOR PER THE PLOT PLAN. HOUSE MUST BE LOCATED WITHIN THE BUILDABLE AREA ON THE PROPERTY AND NOT IN ANY EASEMENTS.

SITE LEGEND

- CONSTRUCTION DUMPSTER [D]  
CHEMICAL TOILET [T]  
MATERIALS STAGING AREA [S]  
TREE PROTECTION FENCE (D)  
SILT FENCE E  
CONSTRUCTION FENCE F  
GAS G  
SEWER SS  
WATER W  
TELEPHONE T  
ELECTRICAL E  
WASTE WATER WW  
HVAC EQUIPMENT [H]  
POOL EQUIPMENT [P]  
EXISTING HOUSE TO BE DEMO'D  
OVERHEAD POWER LINES  
CONSTRUCTION ACCESS ROUTE  
TREE FENCE

TREES

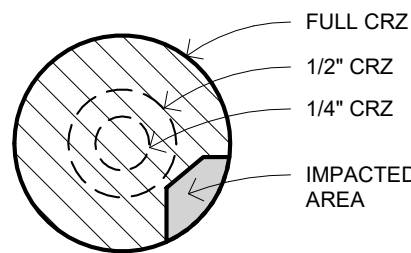
TREE LIST

T786	17" TALO	T801	11" HACK
T787	10" ELM	T802	9" HACK
T788	16" OAK	T803	10" OAK
PROTECTED → T789	20" OAK	T804	8" HACK
T790	16" OAK	T805	7" HACK
PROTECTED → T791	40" M.S. OAK	T809	13" PECAN
T792	7" OAK	T810	14" PECAN
T793	26" TALO	T811	18" OAK
T794	11" HACK	P → T6688	19" ELM
T795	15" M.S. HACK	T6690	28" M.S. HACK
T796	8" HACK	T6691	9" HACK
T797	7" PECAN		
T798	13" PECAN		
T799	9" PECAN		
T800	9" PECAN		

TREES TO BE REMOVED

T786	17" TALO	T799	8" PECAN
T787	10" ELM	T809	13" PECAN
T792	7" OAK	T810	14" PECAN
T797	7" PECAN	T811	18" OAK
T798	13" PECAN		

PROTECTED TREE GRAPHICS



Northwood Remodel

1501 Northwood Road Austin, TX 78703

Project Number : 2019.07

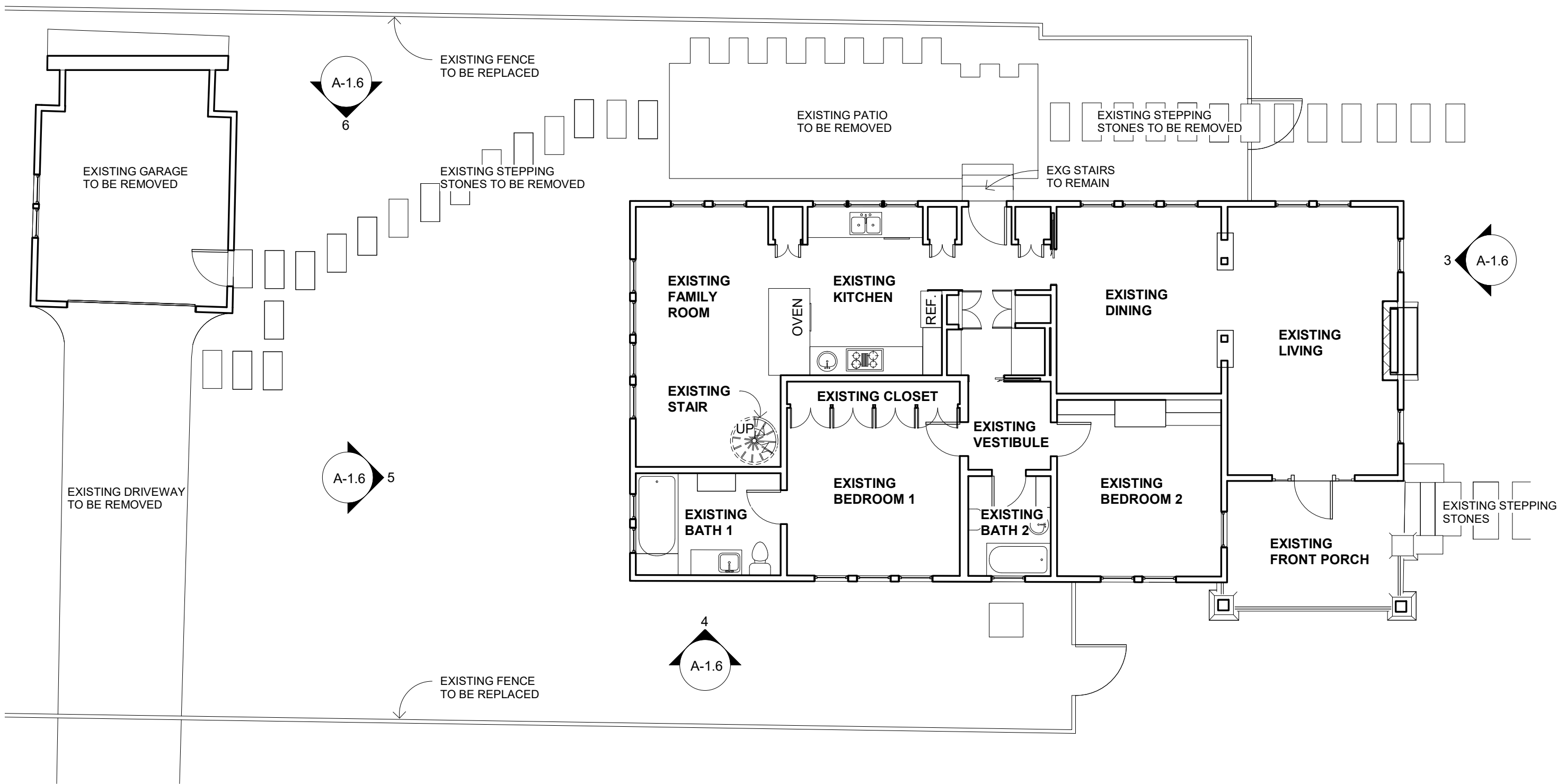
Issue Date : T.B.D.

Project Status : DD

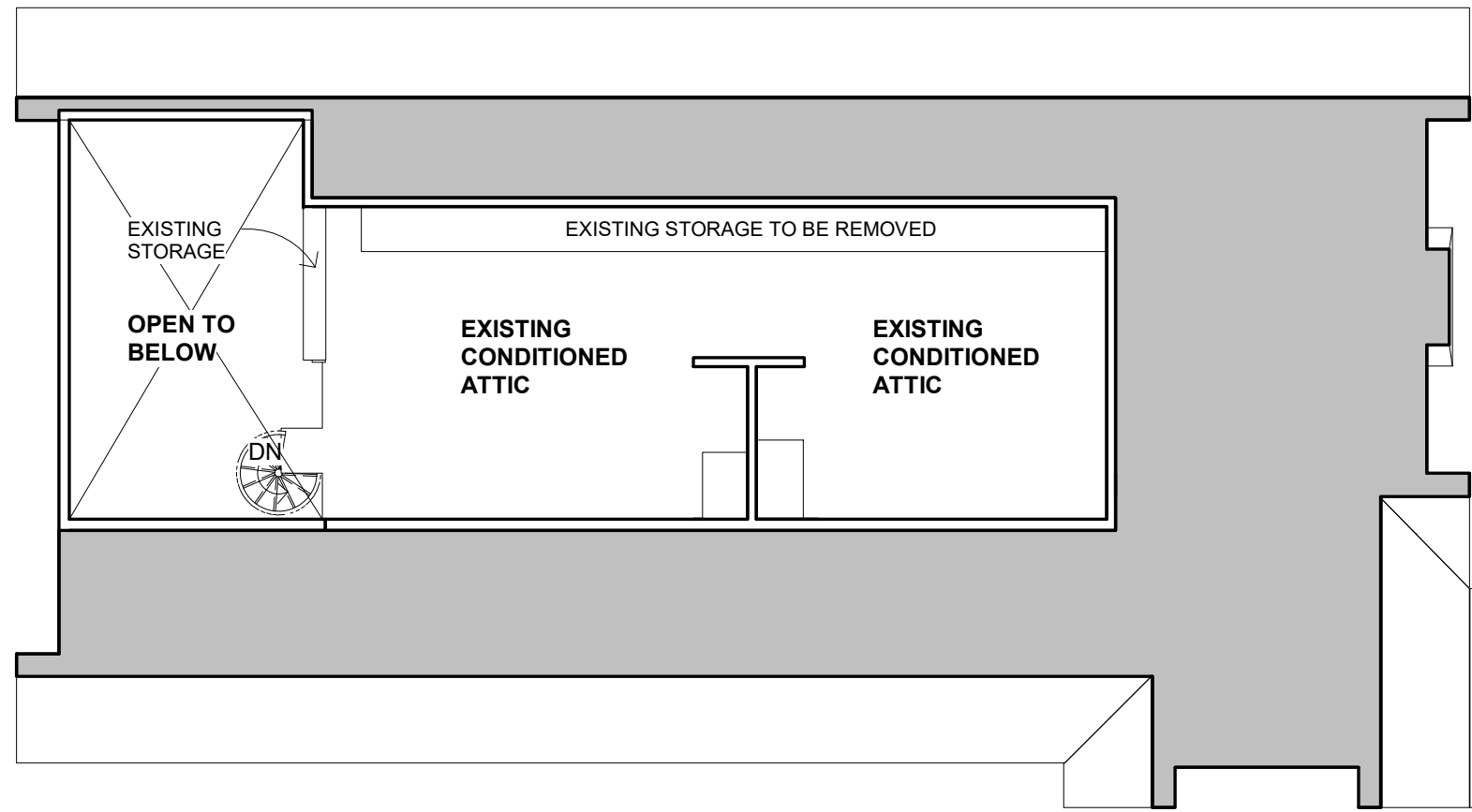
SITE PLAN

DRAWN BY: JWS  
CHECKED BY: JWS  
DATE: 6/14/2021  
PERMIT:  
REVISED:  
REVISED:

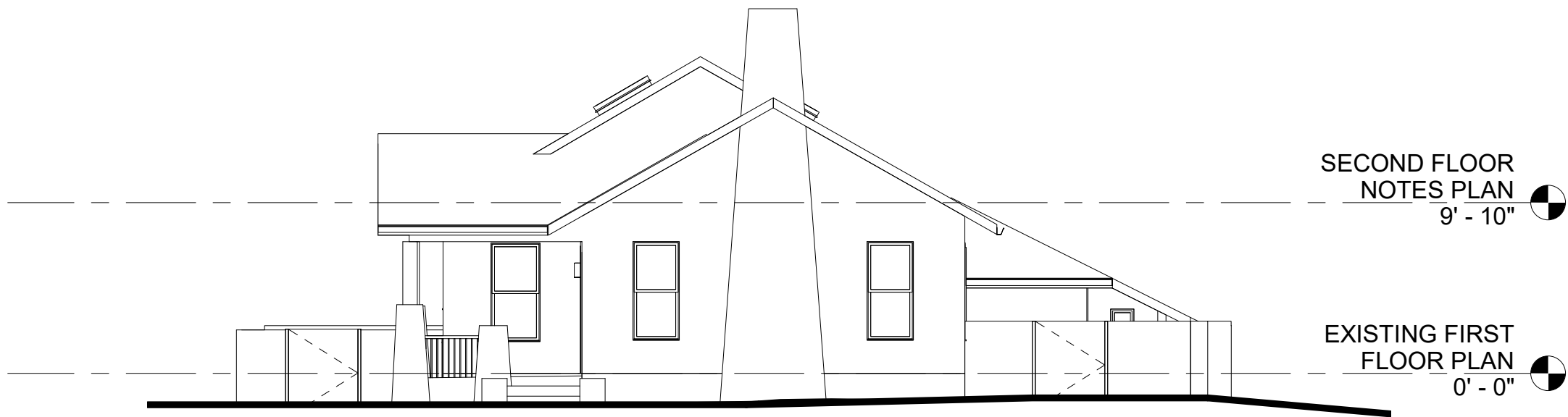
A-1.5



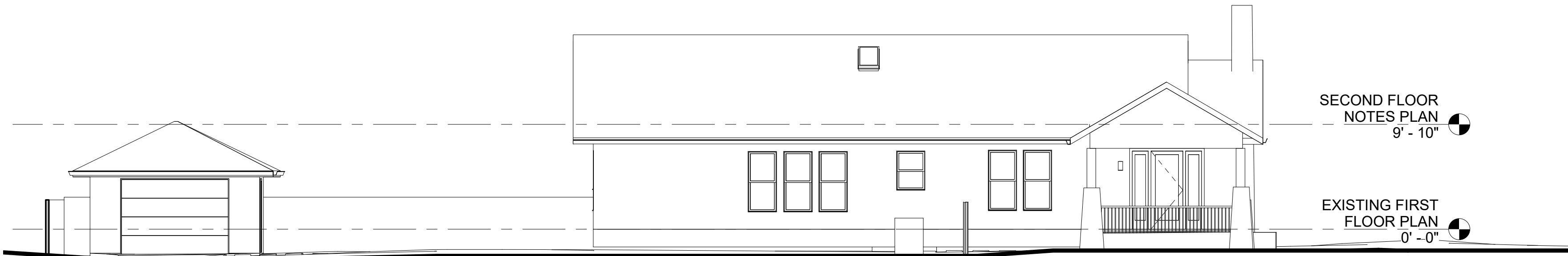
1 EXISTING FIRST FLOOR PLAN  
1/8" = 1'-0"



2 SECOND FLOOR NOTES PLAN  
1/8" = 1'-0"



3 EXISTING FRONT ELEVATION  
1/8" = 1'-0"



4 EXISTING LEFT SIDE ELEVATION  
1/8" = 1'-0"



5 EXISTING REAR ELEVATION  
1/8" = 1'-0"



6 EXISTING RIGHT SIDE ELEVATION  
1/8" = 1'-0"





GOOGLE EARTH VIEW FROM NORTHWOOD



GOOGLE EARTH VIEW FROM HARRIS



VIEW FROM CORNER OF HARRIS AND NORTHWOOD



VIEW FROM NORTHWOOD



VIEW FROM EXISTING DRIVEWAY AT HARRIS



VIEW OF EXISTING REAR YARD



VIEW OF EXISTING REAR YARD



VIEW OF EXISTING SIDE YARD



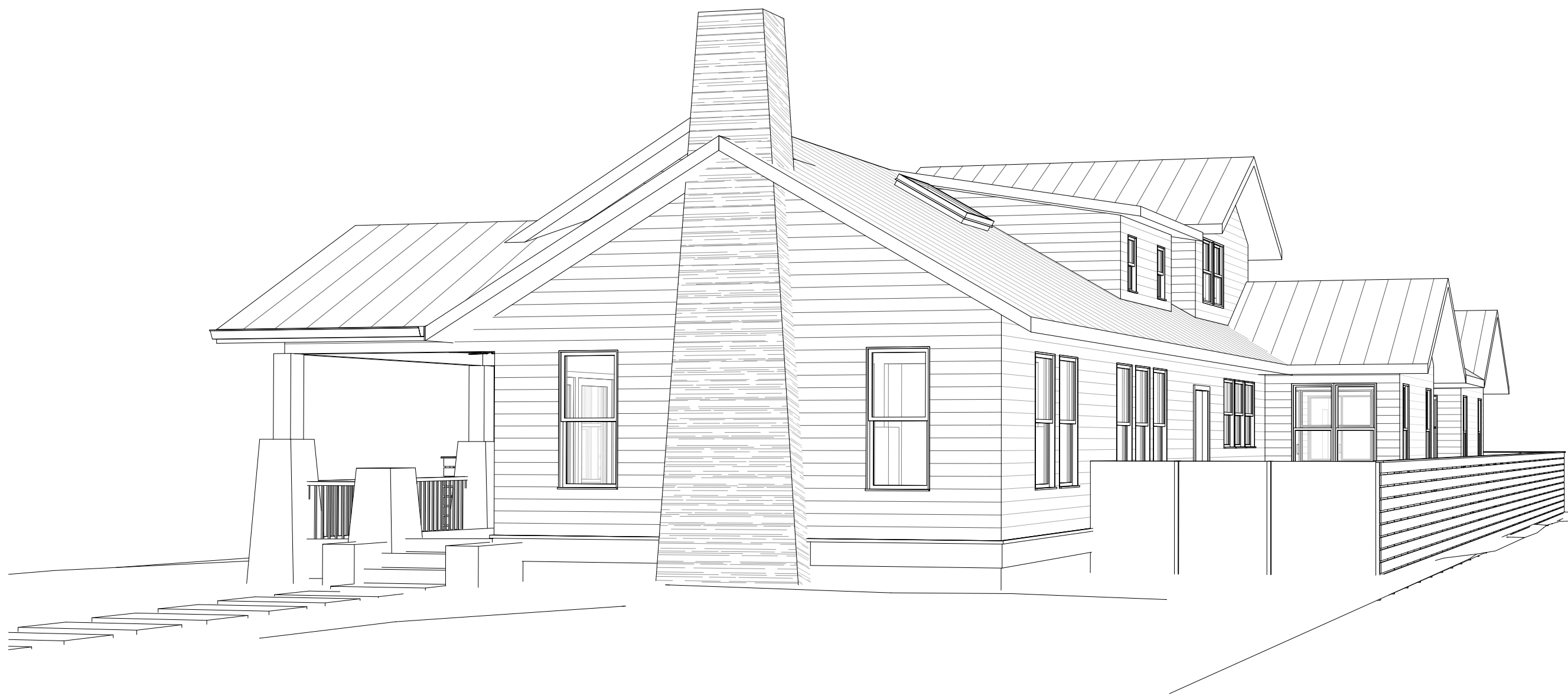
VIEW OF EXISTING DOUBLE HEIGHT SPACE BELIEVED TO BE A CONVERTED REAR PORCH



VIEW OF EXISTING DOUBLE HEIGHT SPACE BELIEVED TO BE A CONVERTED REAR PORCH

① EXISTING CONDITIONS PHOTOS  
1/8" = 1'-0"

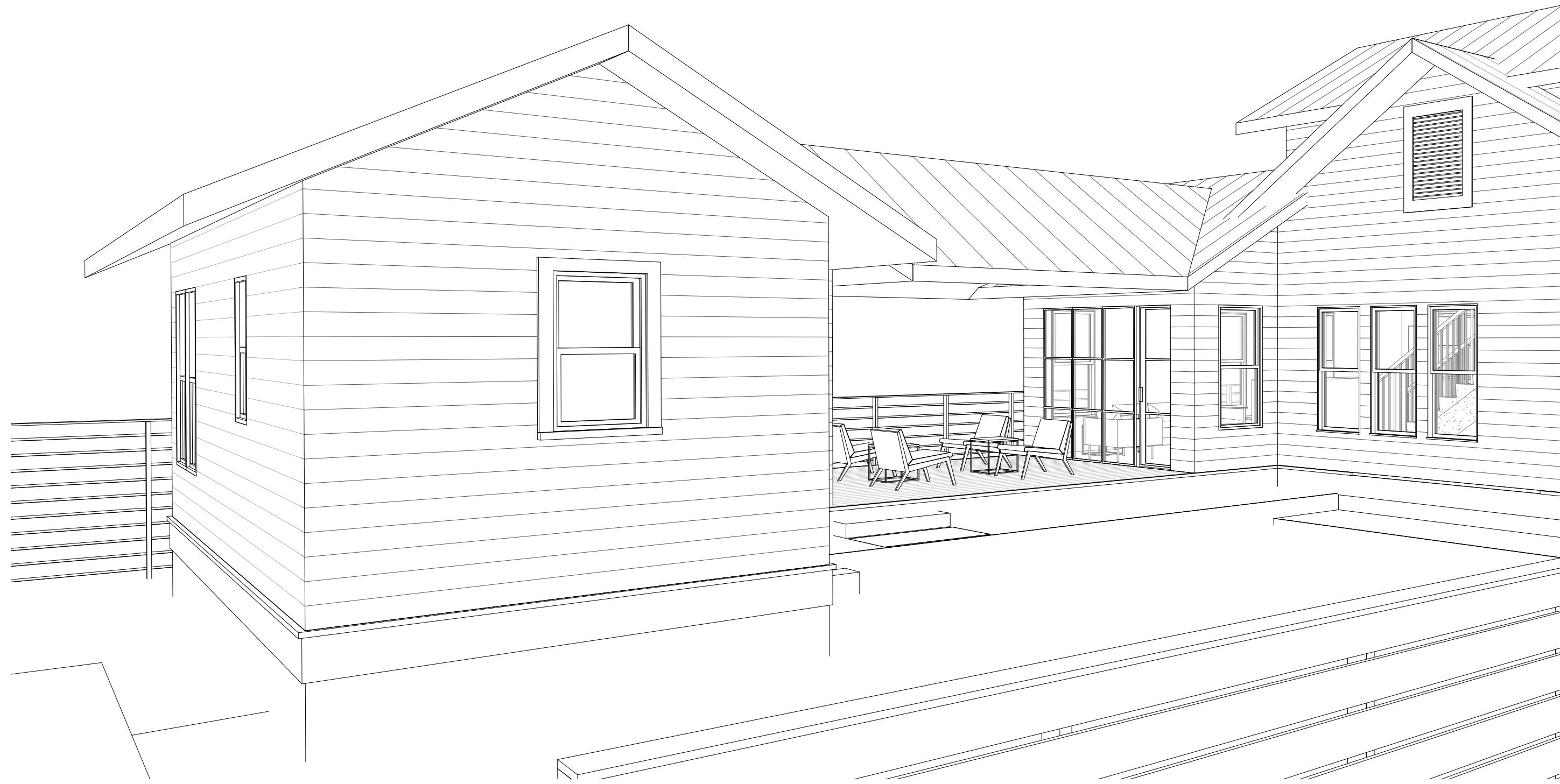




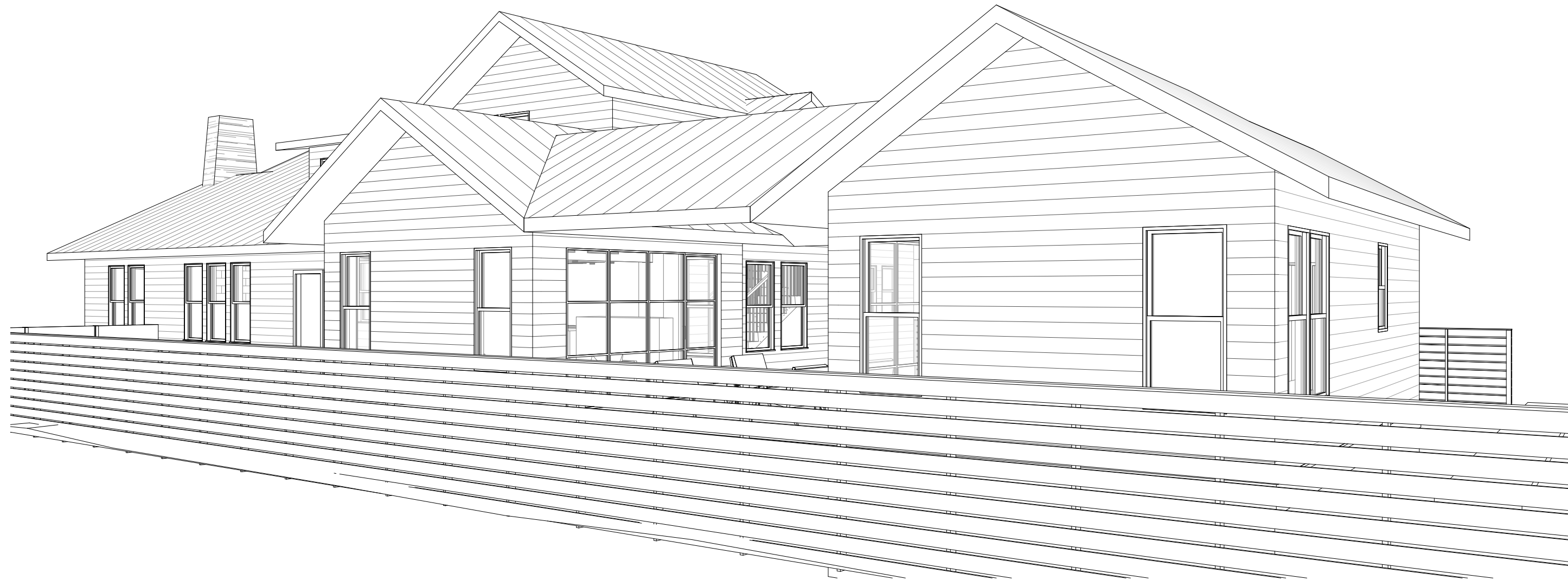
1 3D SIDE YARD VIEW FROM NORTHWOOD



2 3D CORNER VIEW FROM NORTHWOOD

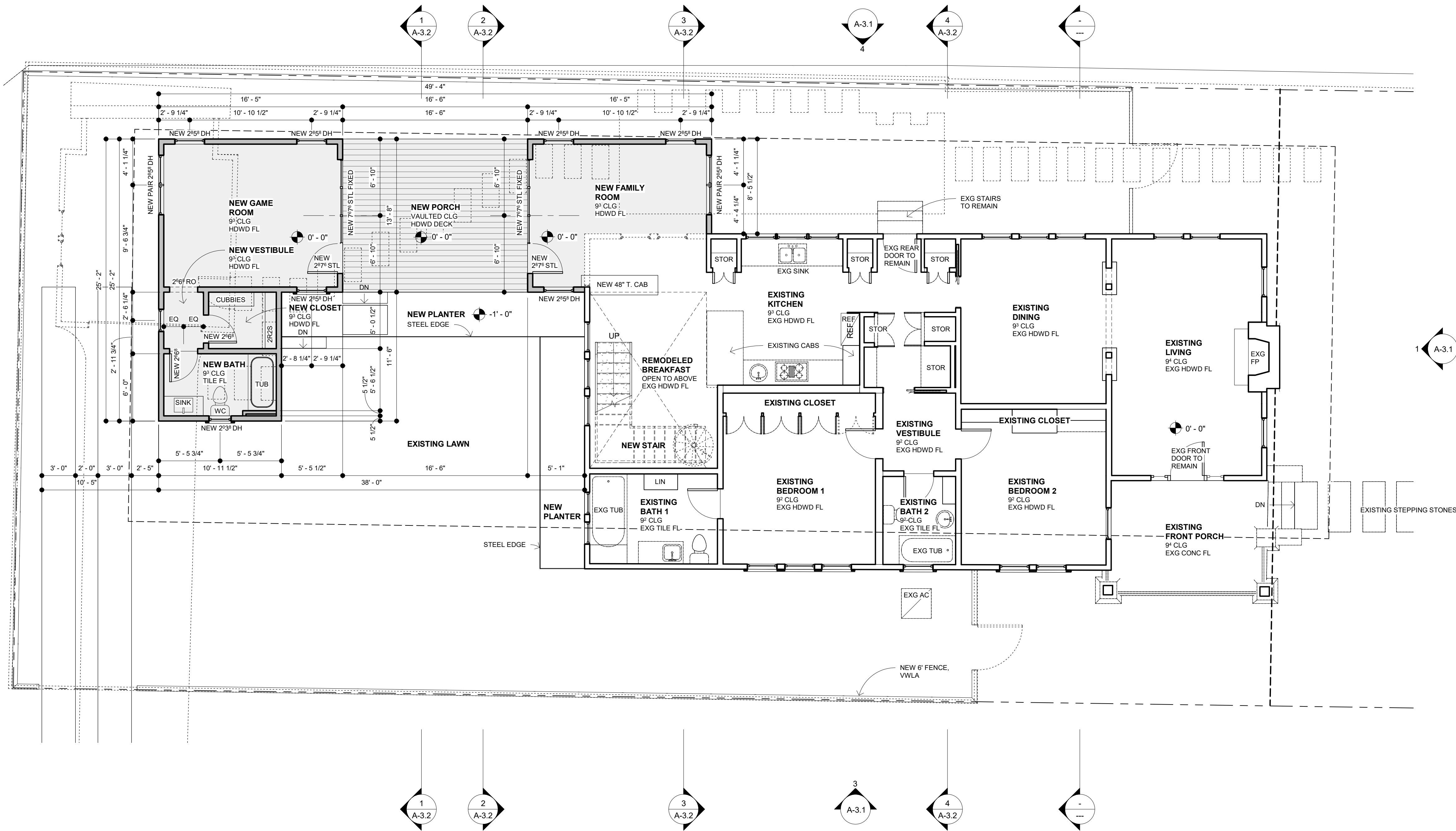


3 3D VIEW OF REAR ADDITION



4 3D VIEW FROM REAR SIDE YARD





1 PROPOSED FIRST FLOOR PLAN  
3/16" = 1'-0"

- GENERAL NOTES**
1. THESE DRAWINGS MAY NOT ADDRESS ALL OF THE REQUIREMENTS IN THE BUILDING CODES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO KNOW THE CODES WHICH HAVE AUTHORITY OVER THIS PROJECT. CONSTRUCTION MUST COMPLY WITH THOSE CODES. THE CONTRACTOR MUST FOLLOW THE BUILDING AND PERFORMANCE STANDARDS THAT HAVE AUTHORITY OVER THIS PROJECT WHICH ARE PROTECTED BY THE DECEPTIVE TRADE PRACTICES ACT OF TEXAS, THE RESIDENTIAL CONSTRUCTION LIABILITY ACT OF TEXAS, OR ANY SUCCESSOR.
  2. DO NOT SCALE THESE DRAWINGS. IN THE EVENT OF ERROR OR OMISSION, CONTACT THE GENERAL CONTRACTOR FOR CLARIFICATION.
  3. ALL SUB-CONTRACTORS TO VERIFY ALL DIMENSIONS AND ACTUAL FIELD DIMENSIONS WITH PLANS. REPORT ANY VARIATIONS TO GENERAL CONTRACTOR IMMEDIATELY.
  4. A COPY OF THE PROJECT SPECIFICATIONS IS INCLUDED IN THESE PLANS. IF NOT, CONTACT THE GENERAL CONTRACTOR. ALL SUB-CONTRACTORS TO COMPARE THE SPECS TO THE PLANS. IN THE EVENT OF A DISCREPANCY BETWEEN THE SPECS AND THE PLANS, THE SPECS SHALL OVERRULE THE PLANS.
  5. FOUNDATION CONTRACTOR TO COMPARE FOUNDATION PLANS FROM STRUCTURAL ENGINEER TO ARCHITECTURAL PLANS. ANY DISCREPANCY TO BE REPORTED TO GENERAL CONTRACTOR. THESE PLANS SHALL OVERRULE THE FOUNDATION PLAN IN TERMS OF LAYOUT, DIMENSIONS, AND BRICK LEDGES.
  6. ALL SUB-CONTRACTORS TO VERIFY WITH GENERAL CONTRACTOR THAT NO CHANGE ORDER OR ADDENDUM HAVE BEEN ISSUED THAT MAY MODIFY THE SCOPE OF WORK ON THESE PLANS.
  7. ALL WORK TO BE DONE IN A TIMELY AND WORKMAN-LIKE MANNER.
  8. PROVIDE 3/4" PLYWOOD IN ATTIC FOR HVAC UNIT(S), IF IN ATTIC. PROVIDE REQUIRED ELECTRICAL, MECHANICAL, AND PLUMBING.
  9. PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE, EVEN IF NOT SHOWN ON PLANS.
  10. INSULATE ALL HB FOR FREEZE CONDITIONS.
  11. HVAC ZONES & UNITS: SEE SPECIFICATIONS
  12. WH ZONE 1: VERIFY WITH OWNER
  13. ALL CEILING HEIGHTS SHOWN ON FLOOR PLANS ARE MEASURED FROM THE FINISH FLOOR OF THE HOUSE TO THE FINISH MATERIAL. FINISH FLOOR IS TOP OF FINISH MATERIAL, NOT TOP OF SLAB OR STRUCTURE.

**WALL LEGEND**

EXISTING 2x4 FRAMING WALL	
EXISTING 5.5" MASONRY	
EXISTING HOUSE	
NEW 2x6 FRAMING WALL	
NEW 5.5" MASONRY WALL	
EXISTING AREA	
ADDITION AREA	
CANTILEVERED AREA	
SOUND INSULATION	

**BUILDING AREA**

<b>CONDITIONED AREA:</b>	
MAIN LEVEL	3,355 SQ. FT.
SECOND LEVEL	352 SQ. FT.
<b>TOTAL CONDITIONED</b>	<b>3,707 SQ. FT.</b>
<b>NON-CONDITIONED AREAS:</b>	
COVERED PORCHES	753 SQ. FT.
MECHANICAL & STORAGE	50 SQ. FT.
CARPORT	397 SQ. FT.
BRICK LEDGE	85 SQ. FT.
<b>TOTAL NON-CONDITIONED:</b>	<b>1,295 SQ. FT.</b>
<b>TOTAL COVERED AREA:</b>	<b>5,002 SQ. FT.</b>

NOTE: CONDITIONED AREA IS CALCULATED TO THE OUTSIDE OF FRAMING.

JOHN WEST STODDARD, INC.  
THESE DOCUMENTS ARE PRELIMINARY  
AND SHOULD NOT BE USED FOR  
REGULATORY APPROVAL, PERMITTING,  
OR CONSTRUCTION

6/14/2021

**Northwood Remodel**

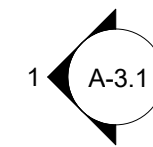
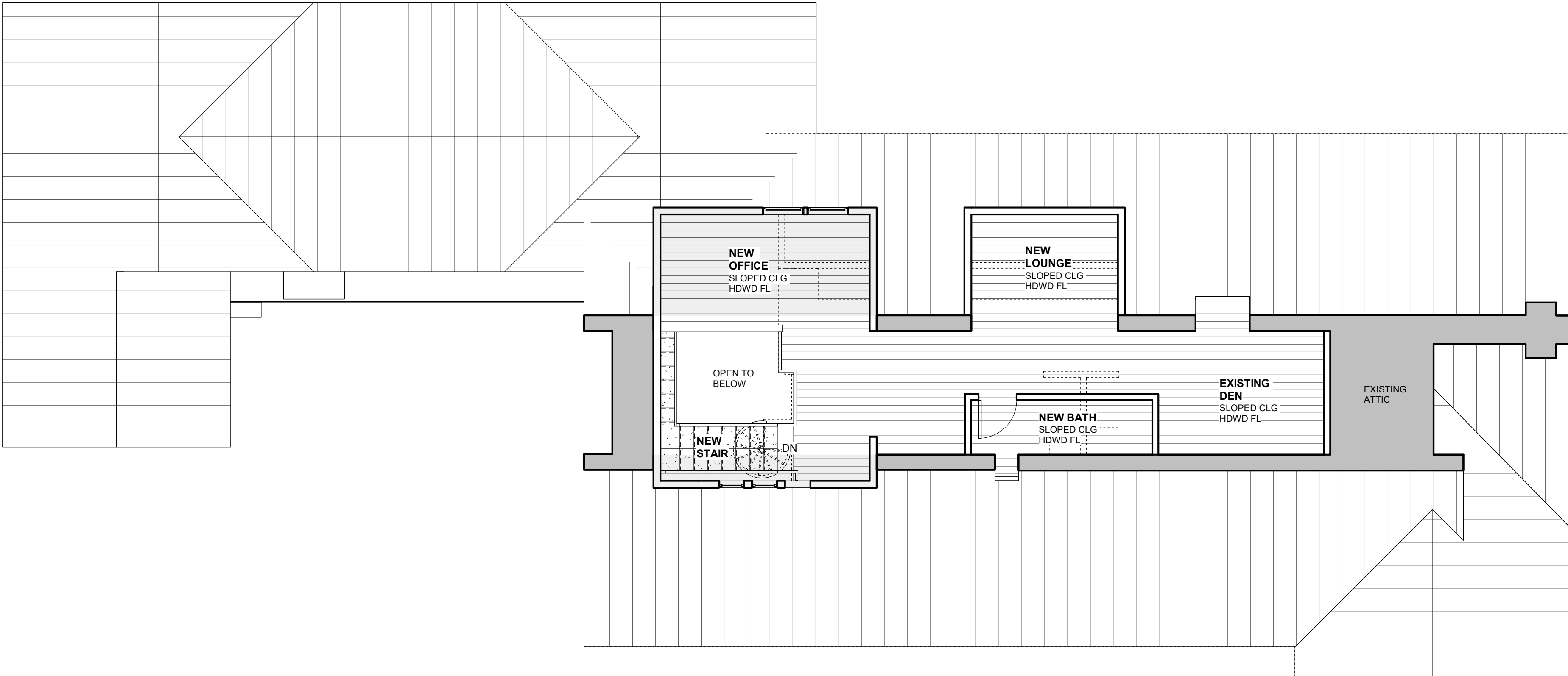
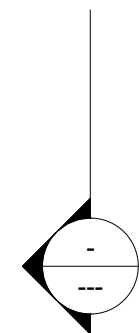
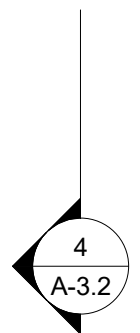
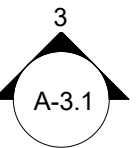
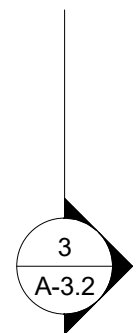
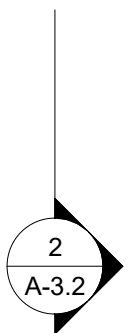
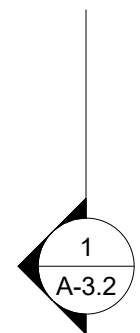
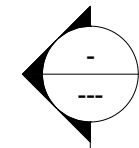
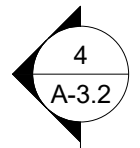
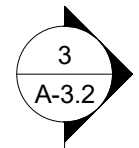
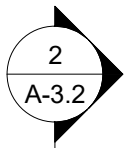
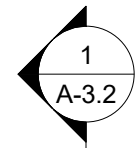
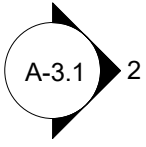
Project Number : 2019.07  
Project Status : DD

1501 Northwood Road Austin, TX 78703  
Issue Date : T.B.D.

DRAWN BY: JWS  
CHECKED BY: JWS  
DATE: 6/14/2021  
PERMIT:  
REVISED:  
REVISED:  
REVISED:

**FIRST FLOOR  
PLAN**

**A-2.1**



#### GENERAL NOTES

1. THESE DRAWINGS MAY NOT ADDRESS ALL OF THE REQUIREMENTS IN THE BUILDING CODES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO KNOW THE CODES WHICH HAVE AUTHORITY OVER THIS PROJECT. CONSTRUCTION MUST COMPLY WITH THOSE CODES. THE CONTRACTOR MUST FOLLOW THE BUILDING AND PERFORMANCE STANDARDS THAT HAVE AUTHORITY OVER THIS PROJECT WHICH ARE PROTECTED BY THE DECEPTIVE TRADE PRACTICES ACT OF TEXAS, THE RESIDENTIAL CONSTRUCTION LIABILITY ACT OF TEXAS, OR ANY SUCCESSOR.
2. DO NOT SCALE THESE DRAWINGS. IN THE EVENT OF ERROR OR OMISSION, CONTACT THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. ALL SUB-CONTRACTORS TO VERIFY ALL DIMENSIONS AND ACTUAL FIELD DIMENSIONS WITH PLANS. REPORT ANY VARIATIONS TO GENERAL CONTRACTOR IMMEDIATELY.
4. A COPY OF THE PROJECT SPECIFICATIONS IS INCLUDED IN THESE PLANS. IF NOT, CONTACT THE GENERAL CONTRACTOR. ALL SUB-CONTRACTORS TO COMPARE THE SPECS TO THE PLANS. IN THE EVENT OF A DISCREPANCY BETWEEN THE SPECS AND THE PLANS, THE SPECS SHALL OVERRULE THE PLANS.
5. FOUNDATION CONTRACTOR TO COMPARE FOUNDATION PLANS FROM STRUCTURAL ENGINEER TO ARCHITECTURAL PLANS. ANY DISCREPANCY TO BE REPORTED TO GENERAL CONTRACTOR. THESE PLANS SHALL OVERRULE THE FOUNDATION PLAN IN TERMS OF LAYOUT, DIMENSIONS, AND BRICK LEDGES.
6. ALL SUB-CONTRACTORS TO VERIFY WITH GENERAL CONTRACTOR THAT NO CHANGE ORDER OR ADDENDUM HAVE BEEN ISSUED THAT MAY MODIFY THE SCOPE OF WORK ON THESE PLANS.
7. ALL WORK TO BE DONE IN A TIMELY AND WORKMAN-LIKE MANNER.
8. PROVIDE 3/4" PLYWOOD IN ATTIC FOR HVAC UNIT(S), IF IN ATTIC. PROVIDE REQUIRED ELECTRICAL, MECHANICAL, AND PLUMBING.
9. PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE, EVEN IF NOT SHOWN ON PLANS.
10. INSULATE ALL HB FOR FREEZE CONDITIONS.
11. HVAC ZONES & UNITS: SEE SPECIFICATIONS
12. WH ZONE 1: VERIFY WITH OWNER
13. ALL CEILING HEIGHTS SHOWN ON FLOOR PLANS ARE MEASURED FROM THE FINISH FLOOR OF THE HOUSE TO THE FINISH MATERIAL. FINISH FLOOR IS TOP OF FINISH MATERIAL, NOT TOP OF SLAB OR STRUCTURE.

#### WALL LEGEND

EXISTING 2x4 FRAMING WALL	
EXISTING 5.5" MASONRY	
EXISTING HOUSE	
NEW 2x8 FRAMING WALL	
NEW 5.5" MASONRY WALL	
EXISTING AREA	
ADDITION AREA	
CANTILEVERED AREA	
SOUND INSULATION	

#### BUILDING AREA

<b>CONDITIONED AREA:</b>	
MAIN LEVEL	3,355 SQ. FT.
SECOND LEVEL	352 SQ. FT.
<b>TOTAL CONDITIONED</b>	<b>3,707 SQ. FT.</b>
<b>NON-CONDITIONED AREAS:</b>	
COVERED PORCHES	753 SQ. FT.
MECHANICAL & STORAGE	50 SQ. FT.
CARPORT	397 SQ. FT.
BRICK LEDGE	95 SQ. FT.
<b>TOTAL NON-CONDITIONED:</b>	<b>1,295 SQ. FT.</b>
<b>TOTAL COVERED AREA:</b>	<b>5,002 SQ. FT.</b>
NOTE: CONDITIONED AREA IS CALCULATED TO THE OUTSIDE OF FRAMING.	

JOHN·WEST  
STODDARD

www.jwstoddard.com

P: 512.987.4271

JOHN WEST STODDARD, INC.  
THESE DOCUMENTS ARE PRELIMINARY  
AND SHOULD NOT BE USED FOR  
REGULATORY APPROVAL, PERMITTING,  
OR CONSTRUCTION

6/14/2021

Northwood Remodel

Project Number : 2019.07

Project Status : DD

1501 Northwood Road Austin, TX 78703

Issue Date : T.B.D.

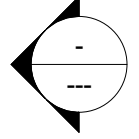
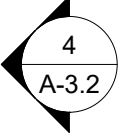
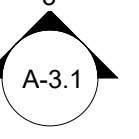
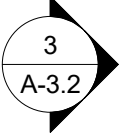
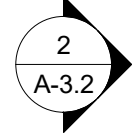
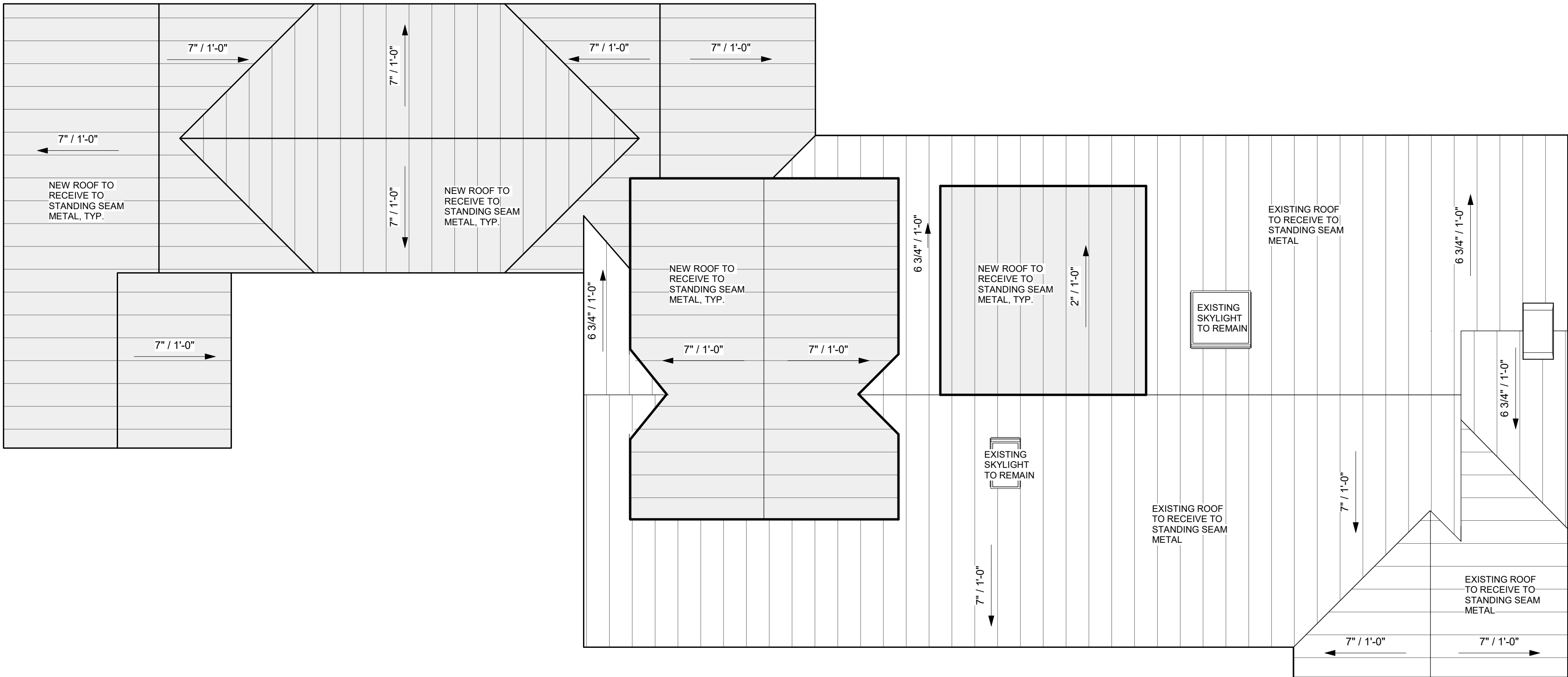
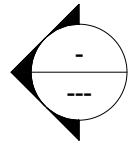
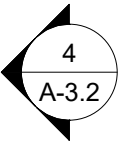
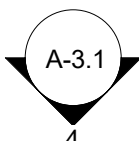
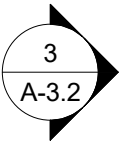
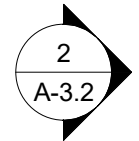
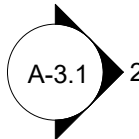
DRAWN BY: JWS  
CHECKED BY: JWS  
DATE: 6/14/2021  
PERMIT:  
REVISED:  
REVISED:  
REVISED:

SECOND FLOOR  
PLAN

A-2.2

1 PROPOSED SECOND FLOOR PLAN  
3/16" = 1'-0"





#### ROOF GENERAL NOTES

1. THESE DRAWINGS MAY NOT ADDRESS ALL OF THE REQUIREMENTS IN THE BUILDING CODES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO KNOW THE CODES WHICH HAVE AUTHORITY OVER THIS PROJECT. CONSTRUCTION MUST COMPLY WITH THOSE CODES. THE CONTRACTOR MUST FOLLOW THE BUILDING AND PERFORMANCE STANDARDS THAT HAVE AUTHORITY OVER THIS PROJECT WHICH ARE PROTECTED BY THE DECEPTIVE TRADE PRACTICES ACT OF TEXAS, THE RESIDENTIAL CONSTRUCTION LIABILITY ACT OF TEXAS, OR ANY SUCCESSOR.
2. DO NOT SCALE THESE DRAWINGS. IN THE EVENT OF ERROR OR OMISSION, CONTACT THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. ALL SUB-CONTRACTORS TO VERIFY ALL DIMENSIONS AND ACTUAL FIELD DIMENSIONS WITH PLANS. REPORT ANY VARIATIONS TO GENERAL CONTRACTOR IMMEDIATELY.
4. REFER TO DETAIL SHEETS WALL SECTION SHEETS IN ADDITION TO THE ROOF PLAN.
5. SKYLIGHTS - FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR SKYLIGHT FLASHING AND WATERPROOFING DETAILS.
6. THRU-WALL FLASHING IS REQUIRED AT ALL MASONRY LOCATIONS OVER ROOFS.
7. PLATE HEIGHT IS CALCULATED FROM THE TOP OF STUD WALL TO THE FINISH FLOOR, NOT TOP OF SLAB.
8. VERIFY WITH BUILDER FOR ANY ROOF VENT REQUIREMENTS. ROOFING CONTRACTOR SHALL CALCULATE REQUIRED AREA OF ROOF VENTS AND INSTALL AS NECESSARY. ALL PLUMBING ROOF VENTS SHALL BE AT THE REAR OF THE HOUSE IN LOW VISIBILITY LOCATIONS.
9. ALL CHIMNEYS SHALL BE WEATHER-SEALED AND WATER TIGHT BY THE ROOFING CONTRACTOR. CONTRACTOR SHALL VERIFY WITH WATERPROOFING CONSULTANT FOR BEST PRACTICES IF NECESSARY.

#### ROOF LEGEND

- DOWNSPOUT — DS
- GUTTER - - - -
- ADDITION AREA [Shaded Box]

## Northwood Remodel

1501 Northwood Road Austin, TX 78703

Project Number : 2019.07

Project Status : DD

Issue Date : T.B.D.

JOHN WEST  
STODDARD

www.jwstoddard.com

p:512.987.4271

JOHN WEST STODDARD, INC.  
THESE DOCUMENTS ARE PRELIMINARY  
AND SHOULD NOT BE USED FOR  
REGULATORY APPROVAL, PERMITTING,  
OR CONSTRUCTION

6/14/2021

#### 1 PROPOSED ROOF PLAN

3/16" = 1'-0"

#### ROOF PLAN

# A-2.3

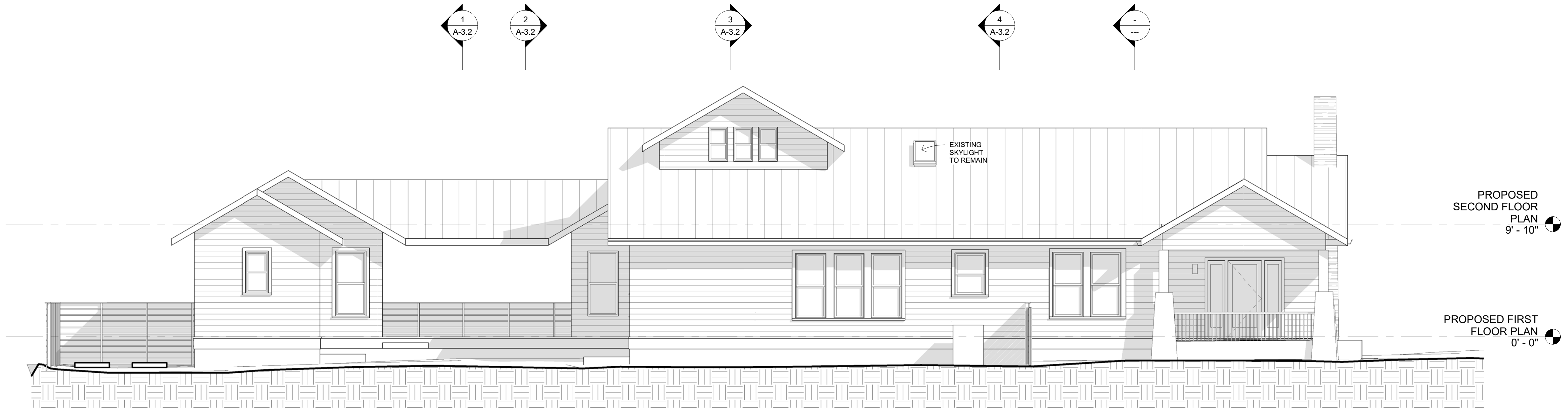




1 PROPOSED FRONT ELEVATION  
3/16" = 1'-0"



2 PROPOSED REAR ELEVATION  
3/16" = 1'-0"

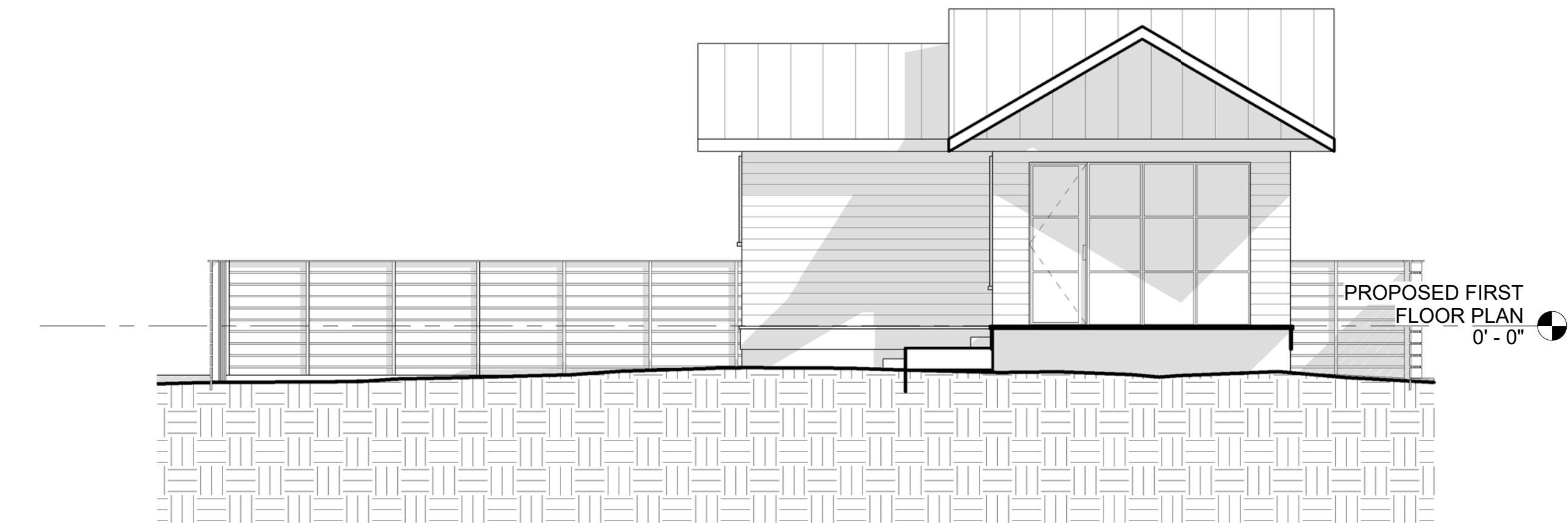


3 PROPOSED LEFT SIDE ELEVATION  
3/16" = 1'-0"



4 PROPOSED RIGHT-YARD ELEVATION  
3/16" = 1'-0"

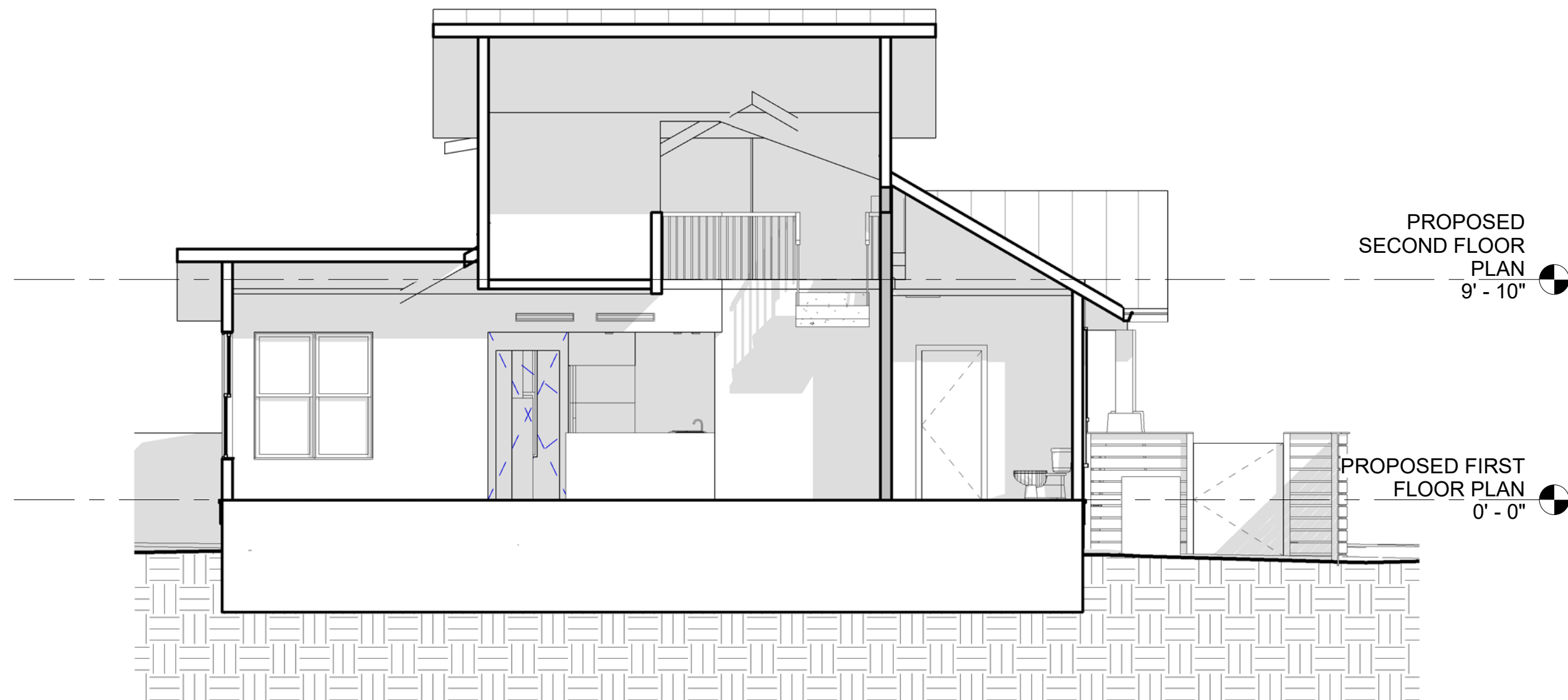




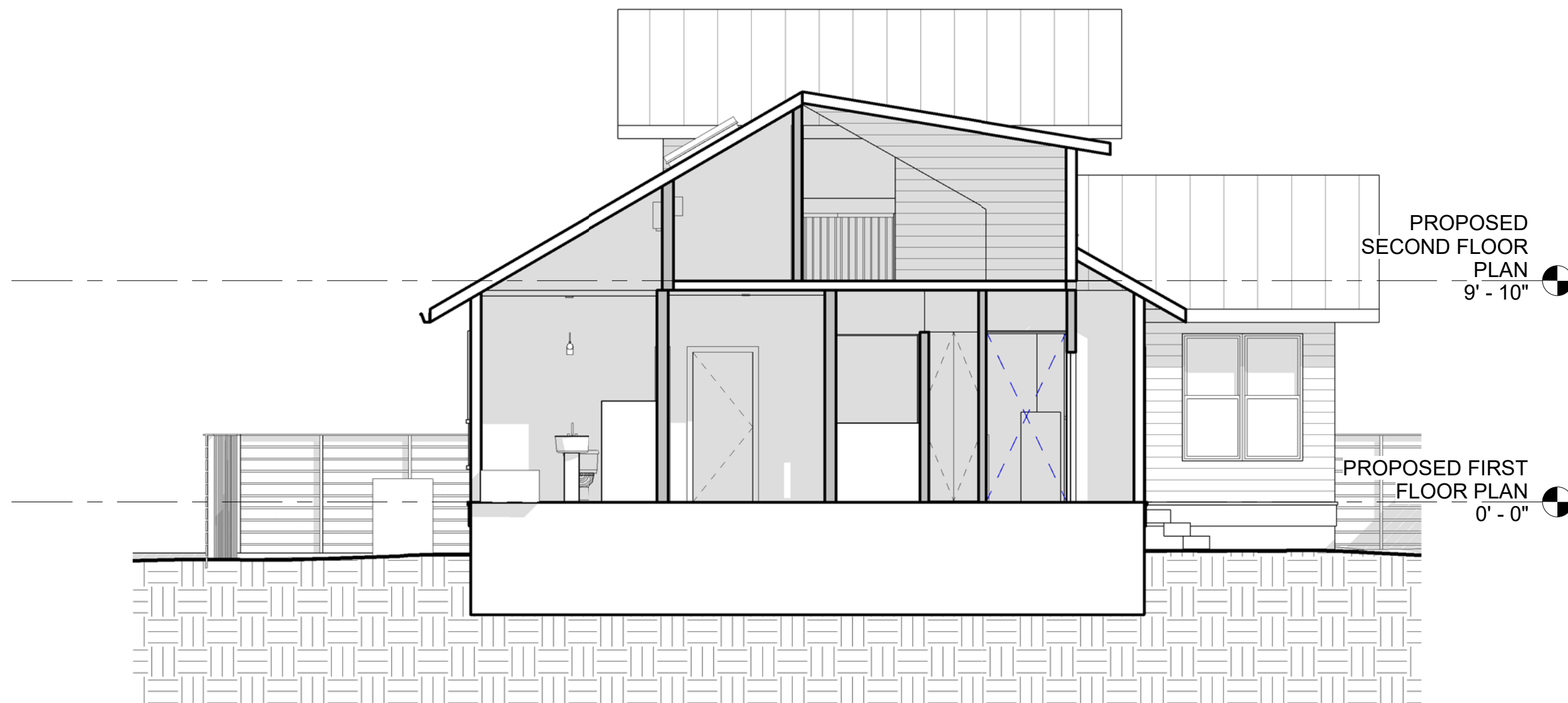
① SECTION A-A  
3/16" = 1'-0"



② SECTION B-B  
3/16" = 1'-0"



③ SECTION C-C  
3/16" = 1'-0"



④ SECTION D-D  
3/16" = 1'-0"