

PROJECT INFORMATION

PROJECT DESCRIPTION:
NEW CONSTRUCTION OF A TWO-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE, BASEMENT, DETACHED GUEST HOUSE, AND ADJACENT POOL.

ZONING: SF-3NP
NEIGHBORHOOD: W.A.N.G.
SUBDIVISION: WEED SUBDIVISION

PARKING:
(2) TWO REQUIRED FOR THE SINGLE FAMILY DWELLING

MAX BUILDING HEIGHT:
32' PER MCMANSION ORDINANCE

FLOODPLAIN:
NOT LOCATED IN 100 YR FLOODPLAIN PER COA GIS

MINIMUM SETBACKS:
FRONT YARD: 25'; SIDE YARD: 5'; REAR YARD: 10'

LANDSCAPING:
THERE ARE PROTECTED TREES ON THE LOT.

OCCUPANCY:
OWNER OCCUPIED SINGLE FAMILY RESIDENCE

APPLICABLE BUILDING CODES:
2015 IRC, 2015 IECC, 2011 NEC, 2012 IFC, 2012 UMC, 2012 UPC, TAS, AND LOCAL AMENDMENTS

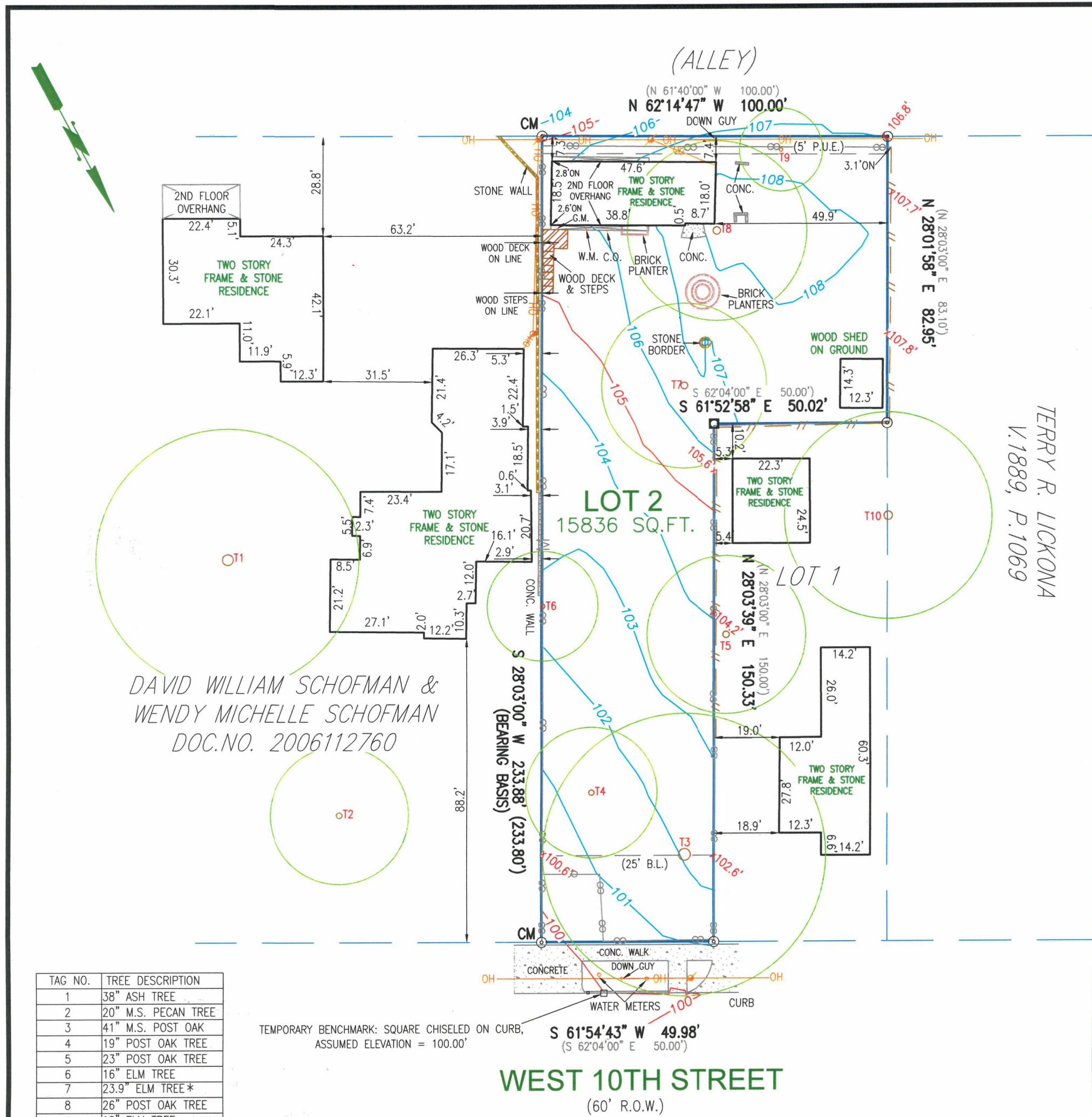
SITE NOTES

- TREES TO BE SAVED SHALL BE PROTECTED BY FENCING BEFORE CONSTRUCTION BEGINS. NO EQUIPMENT OR MATERIAL SHALL BE OPERATED OR STORED WITHIN THE FENCED-IN AREA. FENCES SHALL BE AT THE DRIP LINE AND COMPLETELY SURROUND THE TREE OR CLUSTER OF TREES. NO BURNING OF DEBRIS, CLEANING FLUIDS, CONCRETE SPILLS, ETC. WILL BE ALLOWED WITHIN THESE AREAS.
- CONTRACTOR TO VERIFY EXACT LOCATION OF STRUCTURES, AND RELATED STRUCTURES ON LOT ACCORDING TO THE SET OF DRAWINGS.
- ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR MUST NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES TO THE DRAWINGS.

GENERAL NOTES

- AT NO TIME ARE CHANGES TO THE CONSTRUCTION METHODS, MATERIALS, DETAILS, SPECIFICATIONS, GENERAL NOTES OR SCHEDULES, OR DELETION OF ANY REQUIREMENT SHOWN ON THESE DRAWINGS ACCEPTABLE WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE ARCHITECT AND CLIENT. TO OBTAIN PERMISSION - PRICING, RELEVANT DRAWINGS AND DOCUMENTS MUST BE PROVIDED.
- ALL PROPOSALS SHALL TAKE INTO CONSIDERATION ALL SITE & CONSTRUCTION CONDITIONS AFFECTING WORK UNDER THIS CONTRACT.
- COORDINATE MECHANICAL PLUMBING AND ELECTRICAL DIVISIONS WITH OTHER TRADES AFFECTING OR AFFECTED BY SAME.
- CONTRACTOR TO COORDINATE STAGING AREAS, SEE PROPOSED STAGING PLAN FOR COA MANDATED RESTRICTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN ACCORDANCE WITH ALL PROVISIONS OF APPLICABLE CODES AND ORDINANCES. WORKMANSHIP AND MATERIALS TO BE OF THE HIGHEST INDUSTRY STANDARDS.
- THE PLANS AND SPECIFICATIONS HAVE BEEN DEVELOPED WITH THE INTENT OF MEETING OR EXCEEDING THE MINIMUM REQUIRED STANDARDS. SHOULD THE PLANS AND SPECIFICATIONS DISAGREE WITH THEMSELVES, THE GREATER QUALITY OR GREATER QUANTITY SHALL BE PERFORMED OR FURNISHED.
- NOTICE TO ALL SUBCONTRACTORS: IT IS YOUR RESPONSIBILITY TO BID YOUR SCOPE OF WORK USING THE COMPLETE SET OF PLANS AND SPECIFICATIONS. THE FACT THAT SOMETHING WAS NOT INDICATED ON YOUR PORTION OF THE DRAWINGS WILL NOT BE ACCEPTABLE AS A REASON FOR AN EXTRA SERVICES, IF IT CAN BE FOUND ELSEWHERE IN THE DRAWINGS OR SPECIFICATIONS OR IF IT IS IMPLIED AS PART OF THE SCOPE OF WORK.
- THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AND ITEMS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- IN THE EVENT OF THEFT OR DAMAGE OF MATERIALS STORED ON SITE, EACH PRIME CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL AFFECTED MATERIALS.
- PROVIDE FIRST AID AND FIRE PROTECTION AS REQUIRED BY OSHA.
- GENERAL CONTRACTOR AND SUB-CONTRACTOR ARE TO BID THIS PROJECT AS DESIGNED. VALUE ENGINEERING IS WELCOMED IN AN EFFORT TO GET THE BEST VALUE. GENERAL CONTRACTOR SHALL SUBMIT THEIR BID PER PLANS AND SPECIFICATIONS AND SUBMIT VALUE ENGINEERING ITEMS SEPARATELY.
- PROVIDE ARCHITECT W/ SHOP DWGS. OF ALL MILLWORK, SHOP FABRICATED STRUCTURAL TRUSSES AND FRAMING AS WELL AS WINDOWS.
- ALL NEW & ORIGINAL CONSTRUCTION SHALL BE THOROUGHLY CLEANED AND PAINTED, BOTH EXTERIOR & INTERIOR PRIOR TO OWNERS OCCUPANCY.
- SEE FINISH SCHEDULE FOR ALL MATERIALS, FINISHES, FIXTURES AND PAINT COLORS.
- CONTRACTOR SHALL PROVIDE APPROPRIATE WRITTEN DOCUMENTS THAT REFLECT ANY CHANGES TO ORIGINAL DRAWINGS, FINISH AND MATERIAL SPECIFICATIONS OR LAYOUT.
- SITE MEETINGS ARE REQUIRED TO BE HELD WITH THE ARCHITECT, CONTRACTOR AND EACH TRADE SUBCONTRACTOR AT THE START OF EACH PHASE INCLUDING THE FOLLOWING PHASES: PRE-CONSTRUCTION, MILLWORK.
- EMPLOY THE FOLLOWING IN COMPLIANCE WITH THE ENERGY STAR CERTIFIED HOME CHECKLIST (MOST RECENT VERSION): ENSURE FULL AND PROPER INSULATION WITHOUT MISALIGNMENTS, COMPRESSIONS, GAPS, VOIDS, OR SAGGING IN ALL EXTERIOR WALL CAVITIES AT ALL EXTERIOR WALL CONDITIONS; USE RECESSED CORNERS OF NO MORE THAN 3 STUDS PER CORNER TO ALLOW FOR MAXIMUM THERMAL COVERAGE, UNLESS OTHERWISE STRUCTURALLY REQUIRED, AND LIMIT FRAMING TO MAX. OF ONE PAIR OF KING STUDS AND ONE PAIR OF JACK STUDS PER WINDOW OPENING. LIMIT EXTERIOR FRAMING IN GENERAL TO ONLY WHAT IS NECESSARY. INSTALL HEADERS OF R-5 MIN. INSULATION VALUE FOR ALL 2X6 EXTERIOR WALL ASSEMBLIES, UNLESS STRUCTURALLY INFEASIBLE. DOORS ADJACENT TO UNCONDITIONED SPACE OR AMBIENT CONDITIONS TO BE GASKETED OR OTHERWISE MADE TO BE AIR-TIGHT. ATTIC ACCESS PANELS AND DROP-DOWN STAIRS TO BE CONTINUOUSLY GASKETED AND EQUIPED WITH A DURABLE R-10 INSULATED COVER.

SITE SURVEY



TAG NO.	TREE DESCRIPTION
1	38" ASH TREE
2	20" M.S. PECAN TREE
3	41" M.S. POST OAK
4	19" POST OAK TREE
5	23" POST OAK TREE
6	16" ELM TREE
7	23.8" ELM TREE*
8	26" POST OAK TREE
9	12" ELM TREE
10	30" POST OAK TREE

TEMPORARY BENCHMARK: SQUARE CHISELED ON CURB,
ASSUMED ELEVATION = 100.00'

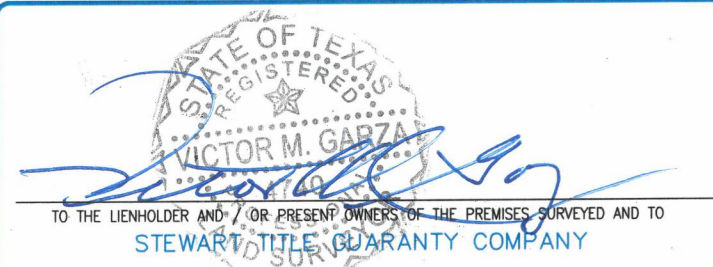
****SPECIAL NOTE:**
Tree 17 was measured by Mark Morn, Certified Arborist, of Dovey Tree Service on August 2, 2019, at 23.9" diameter below the irregular swelling.

M.S. = MULTI-STEM
This tree location survey certifies the size and location of the trees depicted hereon. B&G Surveying, LLC, nor the undersigned, certify the Species/Genus of these trees. For exact Species/Genus contact a Certified Arborist.

30' 0 30'

LEGEND

- 1/2" REBAR FOUND
- 1/2" CAPPED REBAR SET
- 1/2" IRON PIPE FOUND
- 600 MAIL FOUND
- 600 MAIL SET
- CAPPED REBAR FOUND
- "X" SET IN CONCRETE
- "X" FOUND IN CONCRETE
- CHAIN LINK FENCE
- WOOD FENCE
- METAL FENCE
- BUILDING LINE
- PUBLIC UTILITY EASEMENT
- DRAINAGE EASEMENT
- CLEAN OUT
- GAS METER
- WATER METER
- PER PLAT
- CONTROL MONUMENT
- R.O.W.
- RIGHT OF WAY
- OVERHEAD UTILITY LINE
- POWER POLE
- AIR CONDITIONER
- GROUND SPOT ELEVATION



I DO HEREBY CERTIFY TO THOSE LISTED HEREON THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND, UNDER MY SUPERVISION, OF THE PROPERTY LEGALLY DESCRIBED HEREON, IS PREPARED IN ACCORDANCE WITH THE TITLE COMMITMENT REFERENCED HEREON, AND THAT THERE ARE NO VISIBLE BOUNDARY SINK, CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, OR ERRORS IN PLACE, EXCEPT AS SHOWN HEREON. BUILDING DIMENSIONS ARE APPROXIMATE.

STREET ADDRESS: 1415 WEST 10TH STREET CITY: AUSTIN COUNTY: TRAVIS STATE OF TEXAS
LOT: 2 SUBDIVISION: WEED SUBDIVISION VOL/CAB: 75 PG/SUD: 284 PLAT RECORDS
REFERENCE NAME: SAMIR PATEL G.F. #: 1109747

B & G SURVEYING, LLC
FIRM REGISTRATION NO. 100363-00
WWW.BANDGSURVEY.COM
1404 West North Loop Blvd.
Austin, Texas 78756 - Office 512*458-6969

JOB #: B0719720_TA
ORIGINAL SURVEY DATE: 08/12/19
SCALE: 1"= 30'

Notes:
1) Subject to restrictions and easement rights as stated in Book 75, Page 284, Plat Records.

OF ADDRESS CORRECTED: 11/16/20
CAP SPOT ELEVATIONS: 07/31/20
OF TREE LIST UPDATED: 09/20/19

FIELD WORK BY: CM 08/06/19
CHECKED BY: VS 08/07/19
DRAFTED BY: JMB 08/09/19
CHECKED BY: VS 08/12/19

PROJECT CALCULATIONS: IMPERVIOUS COVER & FAR

Impervious Cover Calculations			
1415 W 10th			
Lot	Totals		SQ FT
	15,836	7,126	
45% of total lot			
a. Total Building Coverage on lot*			4,956
b. Driveway area on private property	0		1238
c. Sidewalks (Entry Pavers)	0		196
d. Uncovered (impervious) patios ()	0		434
e. Uncovered wood decks (may be counted at 50%)	0		0
50% Wood Deck (Uncovered)			0
50% Wood Stairs (Uncovered)	0		0
50% Wood Deck 2nd Flr (Uncovered)	0		0
f. Grill	0		0
g. Concrete decks	0		0
h. Other (Pool and Spa Coping)	0		76
i. Pool Equipment + AC Pads + Generator Pad			88
j. Retaining Wall - Basement Lightwell			37
k. Basement Lightwell Path			37
*Includes overhangs over 2' and covered decks, porches & patios			0
Total New	7,062		7,062
45% of total lot	7,126		
Total Impervious Cover	7,062		
Total Percentage of Lot	45%		
Remaining SQFT of Impervious cover	64		

Building and Site Area			
1415 W 10th			
Lot	Totals		SQ/FT
	15,836	6,334	
40% of total lot			
a.) 1st Floor Conditioned Area	0	2714	368
a-1 Roof Overhangs over 2'	0	0	78
a-2 1st Floor Porches (1: 1024+68) (2:84)	0	1,092	84
b.) 2nd Floor Conditioned Area	0	2648	0
b-1 2nd Floor Deck Not Over Conditioned Space / Garage	0	0	0
b-2 2nd Floor Covered Decks	0	427	0
b-3 2nd Floor Overhangs Over 2' (46+7)	0	53	0
c.) 3rd Floor Conditioned Area	0	0	0
d.) Basement	0	3163	0
e.) Covered Parking (Garage)	0	567	0
f.) Covered Patio, Deck or Porch	0	0	0
g.) Uncovered Second Floor Deck	0	0	0
h.) Other	0	0	0
Total Building Coverage (exclude b, c & d from total)		4,426	530
* Does not contribute to building coverage			
*Measurements are to the outside surface of the exterior wall			
Total Building Area	4,956	4,426	530
Applicable per code exceptions as defined by Building Coverage			
40% of total lot	6,334		
Proposed Building Coverage on Lot	4,956		
Percentage of lot	31%		
Remaining SQFT of Building Coverage Allowable	1,378		

PROJECT CALCULATIONS: SUBCHAPTER F

Subchapter F - "McMansion"				
1415 W 10th				
Lot	Totals		SQ FT	
	15,836	6,334		
40% of total lot				
1st Floor Gross Area				
1st floor area (Bldg 1 2491 + 223)	2714	368		3082
1st floor area with ceiling height over 15 feet	0	0		0
Covered Porch (335 + 689)	1024	84		-1108
Cvrd Porch Under Cond Sf / Balcony (68 Below Bridge)	68			-68
2nd Floor Conditioned Area				
2nd floor area	2648	0		2648
2nd Floor Uncovered Decks	0	0		0
2nd Floor Covered Decks (268 + 159)	427	0		-427
Basement Gross Area				
Floor area outside of footprint of first floor	3163	0		-3163
Attic	0	0		0
LVL1: Garage (Attached)	567	0		-200
Carpport (attached)	0	0		0
Total Gross Floor Area				
Floor Area Ratio	6,097			6097
40% of total lot				38.50%
Total FAR Coverage				6,334
Remaining SQFT of FAR				6,097
Is this project claiming a "parking area" exemption as described under Article 3?				
Is this project claiming a "ground floor porch" exemption as described under Article 3?				Yes
Is this project claiming a basement exemption as described under Article 3?				Yes
Is this project claiming a "habitable attic" exemption as described under Article 3?				No
Is a sidewall articulation required for this project?				Yes
Does any portion of the structure extend beyond a setback plane?				Yes



PROJECT:

WEST 10TH RESIDENCE
NEW CONSTRUCTION
1415 W. 10th St.
AUSTIN, TX 78703

ARCHITECT:

CLARK | RICHARDSON LLC
618 LAVACA, SUITE #7
AUSTIN, TX 78701
CONTACT: EDWARD RICHARDSON
512-529-9047
ed@clarkrichardson.com

GENERAL CONTRACTOR:

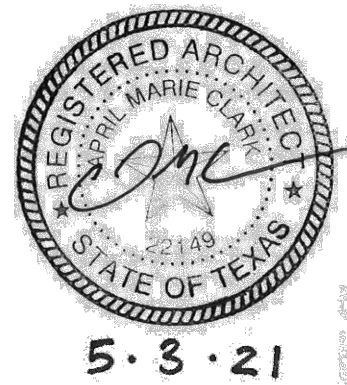
STRUCTURAL:

ARCH CONSULTING ENGINEERING PLLC
T.B.P.E. # F-9361
510 SOUTH CONGRESS
SUITE B-100
AUSTIN, TEXAS 78704
CONTACT: JUSTIN BILLODEAU
512-328-5353
justin@archce.net

MEP:

EcoScience LLC
DBA POSITIVE ENERGY
T.A.C.L.A. 49421E, T.B.P.E. # F-17960
1114 S. 1st ST.
AUSTIN, TEXAS 78704
CONTACT: MICHAEL F. WEISS
512-462-1000 (office)
michael@positiveenergy.pro

ARCHITECT'S SEAL:



SCALE:
22X34: N/A
11X17: N/A

DATE:
05.03.2021

SURVEY, CODE
REVIEW, & NOTES

A0.10



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512-328-5353
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EcoScience LLC
DBA POSITIVE ENERGY
T.A.C.L.A. 49421E, T.B.P.E. # F-17960
1114 S. 1st ST.
AUSTIN, TEXAS 78704
CONTACT: MICHAEL F. WEISS
512-462-1000 (office)
michael@positiveenergy.pro

DATE:	05.03.2021
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22X34 SCALE: 3/32" = 1'-0"
11X17 SCALE: 3/64" = 1'-0"





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AUSTIN, TX 78701
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ed@clarkrichardson.com

STRUCTURAL:
ARCH CONSULTING ENGINEERING PLLC
T.B.P.E. # F-9361
510 SOUTH CONGRESS
SUITE B-100
AUSTIN, TEXAS 78704
CONTACT: JUSTIN BILLODEAU
512-328-5353
justin@archce.net

MEP:
EcoScience LLC
DBA POSITIVE ENERGY
T.A.C.L.A. 49421E, T.B.P.E. # F-17960
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DATE:	05.03.2021
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WEST 10TH STREET

12'-8 1/2"
EXISTING SHARED CURB CUT & FLAIR

EXISTING SHARED
CONCRETE
DRIVEWAY THROAT
TO REMAIN

A1.00

SITE PLAN
22X34 SCALE: 3/32" = 1'-0"
11X17 SCALE: 3/64" = 1'-0"



SITE NORTH
PLAN NORTH

GENERAL NOTES
1. SEE SURVEY ON A0.10 FOR ADDITIONAL DTLS
2. PER IRC, SLOPE HARDSCAPE AWAY FROM STRUCTURES @ 1/4:12 MIN. FOR 10'
3. GRADE TO SLOPE 6" MIN. AWAY FROM SLAB WITHIN 10' MIN.
4. LANDSCAPING BY OTHERS. NON-FLATWORK NOTES ARE CONCEPTUAL ONLY.

CONTRACTOR NOTES
1. CONTRACTOR TO VIF ALL EXISTING CONDITIONS & NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
2. SEE SURVEY ON A0.10 FOR ADDITIONAL DTLS AND NOTES REGARDING EXISTING CONDITIONS.
3. SEE DOUBLE CORNER ARCS FOR BLDG LOCATION AT EXTERIOR FACE OF STUDS. SEE SLAB PLAN AND STRUCTURAL FOR FOUNDATION DIMENSIONS. FOR EACH STRUCTURE, LOCATE BUILDING FORMS VIA SURVEY.

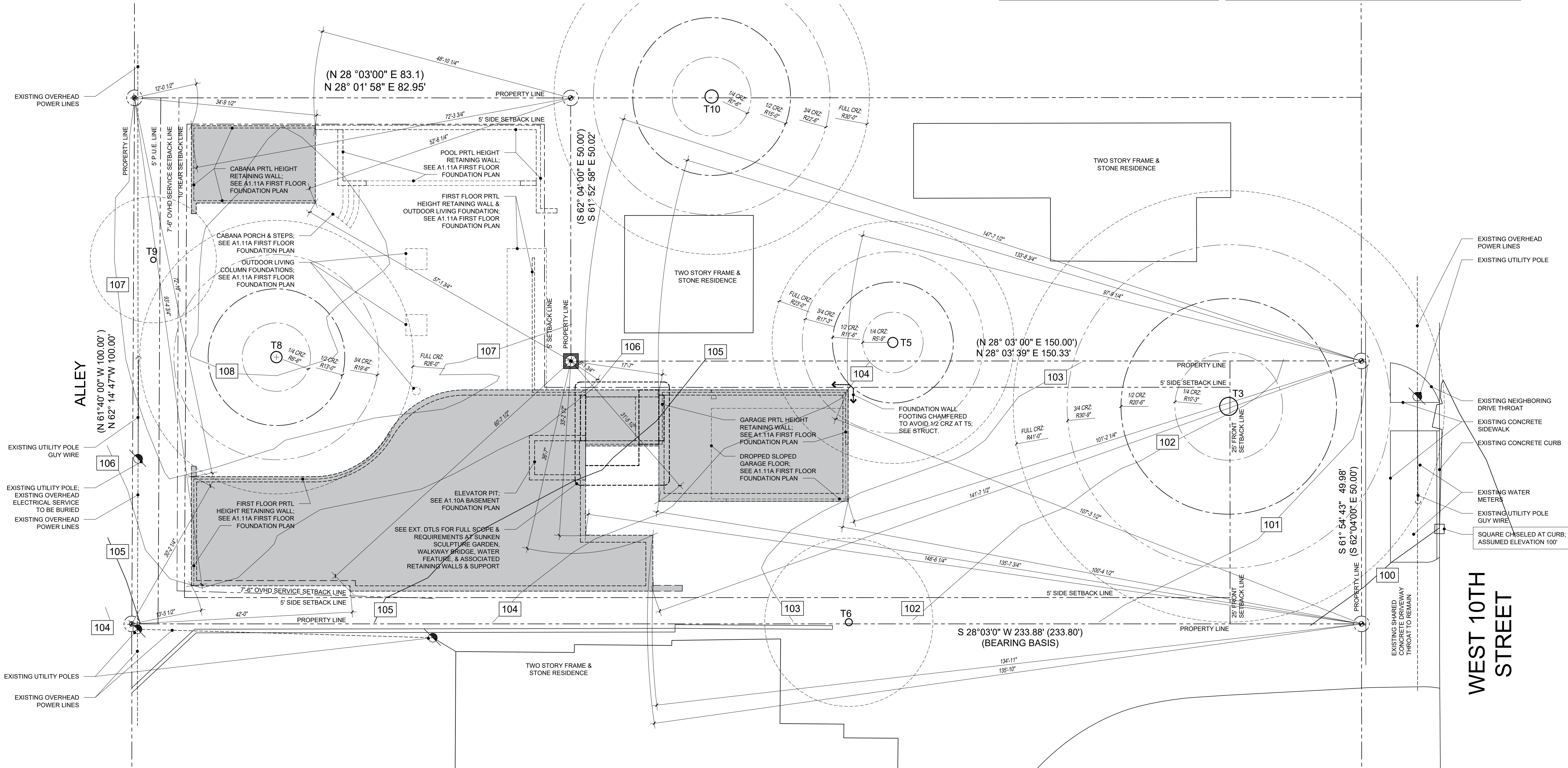
PROPERTY NOTES
BLDG ADJACENT HP: EL. 107.20' BLDG ADJACENT LP: EL. 103.00' BLDG ADJACENT AVERAGE GRADE: EL. 105.10'
MAX ALLOWABLE HEIGHT: 32' MAX HGT ELEV. FROM AVG. GRADE: EL. 137.10' (EL. 137'-1 3/8")
TOP OF MAIN FLOOR FINISH FLOOR EL. 104.25' (EL. 104'-3")
TOP OF SECOND FLOOR FINISH FLOOR EL. 118.33' (EL. 118'-4")
TOP OF BASEMENT FINISH FLOOR EL. 92.5' (EL. 92'-6")

TREE NOTES	
TAG NUMBER	TREE DESCRIPTION
T3	41" M.S. POST OAK TREE
* T4	19" POST OAK TREE
T5	23" POST OAK TREE
T6	16" AMERICAN ELM TREE
** T7	23.9" AMERICAN ELM TREE
T8	26" POST OAK TREE
T9	12" AMERICAN ELM TREE
T10	30" POST OAK TREE
* PROTECTED TREE TO BE DEMOLISHED.	
** PROTECTED TREE TO BE DEMOLISHED	
W/ 100% REMEDIATION, PER	
CORRESPONDENCE W/ COA ARBORIST.	

TREE T8 NOTES		
FULL CRZ AREA -	2123.7 sf	ANY STRUCTURE PROPOSED ADJACENT TO THIS TREE SHOULD UTILIZE THE SAME DESIGN CONSIDERATIONS FOR THE 3/4 CRZ AS WOULD TYPICALLY APPLY TO THE 1/2 CRZ. EXISTING HISTORICAL IMPACTS MAY BE MATCHED EXACTLY, ALTHOUGH NOT EXCEEDED IN EITHER DEPTH OR SQUARE FOOTAGE. TRENCHING OR PIER HOLES ARE ALLOWED IF DUG BY AIRSPADE TO AVOID LARGE ROOTS. A CANTILEVERED FOUNDATION MAY BE EMPLOYED TO AVOID IMPACTS.
TOTAL EXISTING IMPACTS - TO BE DEMOLISHED	545.7 sf	NO LARGE SCALE EXCAVATION SUCH AS FOR A POOL OR BASEMENT WILL BE ALLOWED. PROTECTION DURING CONSTRUCTION MUST INCLUDE AN 8" MULCH BED WITH PLYWOOD DECKING FOR ANY SECTION OF THE 3/4 CRZ NOT PROTECTED BY FENCE. A ROBUST POST CONSTRUCTION CARE PLAN TO INCLUDE IRRIGATION MANAGEMENT MAY BE REQUIRED.
EXISTING UNIMPACTED - FULL CRZ AREA	1578 sf	
50% MIN. UNIMPACTED - FULL CRZ AREA TO REMAIN AT NATURAL GRADE	789 sf	
FROM N ROTRAMEL, CITY ARBORIST. EMAIL TO MARK MANN, MASTER ARBORIST DATED 10.04.2019 RE: TREE T8.		

ARBORIST NOTES
1. FOUNDATION PREPARATION: IN NO CASES SHALL FOUNDATION SOIL PREPARATION GUIDELINES / GEOTECHNICAL REPORTS SUPERSEDE THE MINIMUM GUIDELINES FOR CRITICAL ROOT ZONE PRESERVATION OUTLINED BELOW IN FROM THE CITY OF AUSTIN'S ECM SECTION 3.5.2. IN NO CASES SHALL FOUNDATION OVER-BUILD/OVER-EXCAVATION OF THE FOUNDATION PAD, POSITIVE DRAINAGE, PROOF-ROLLING OR OTHER IMPACTS FROM THE PROPOSED SLAB ON GRADE FOUNDATION SUPERSEDE THE MINIMUM GUIDELINES FOR CRITICAL ROOT ZONE PRESERVATION OUTLINED BELOW FROM THE CITY OF AUSTIN'S ECM SECTION 3.5.2
ENVIRONMENTAL CRITERIA MANUAL SECTION 3.5.2 STATES THE FOLLOWING CRITICAL ROOT ZONE PRESERVATION STANDARDS.
1. A MINIMUM OF 50 PERCENT OF THE CRZ MUST BE PRESERVED AT NATURAL GRADE, WITH NATURAL GROUND COVER.
2. NO CUT OR FILL GREATER THAN FOUR (4) INCHES WILL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE CRZ RADIUS DISTANCE. SEE ALSO GUIDANCE FROM THE CITY ARBORIST REGARDING TREE T8 (SEE TREE T8 NOTES).
3. NO CUT OR FILL WITHIN THE DISTANCE FROM THE CAN BE DETERMINED BY CALCULATING THE 1/2 CRZ.
2. UTILITIES: RE-USE EXISTING UTILITY LINES WHERE NOTED. AVOID 1/2 CRZ'S OF ANY PROTECTED TREE WITH ANY NEWLY RUN UTILITY LINES
3. ACCESS & STAGING: PROPOSED ACCESS ROUTE, MATERIALS STAGING, CONCRETE WASHOUT, DUMPSTER AND PORTABLE TOILET PLACEMENT TO BE LOCATED IN THE PROPOSED TEMPORARY STAGING AREA AND IN NO CASES WILL CONSTRUCTION EQUIPMENT BE USED OVER THE 1/2 CRZ OF PROTECTED TREES LOCATED ON OR ADJACENT TO THE LOT. SEE A0.10 SITE STAGING DIAGRAM.

VISITABILITY NOTES
1. VISITABLE BATHROOMS: A VISITABLE DWELLING MUST BE DESIGNED AND CONSTRUCTED WITH AT LEAST ONE BATHROOM GROUP OR A HALF BATH ON THE FIRST FLOOR THAT MEETS THE FOLLOWING REQUIREMENTS:
A) A MINIMUM CLEAR OPENING OF 30 INCHES IS REQUIRED;
B) LATERAL TWO-INCH BY SIX-INCH OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS; AND
C) THE CENTERLINE OF THE BLOCKING MUST BE 34 INCHES FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF THE WALL LOCATED DIRECTLY BEHIND THE LAVATORY.
2. VISITABLE BATHROOM ROUTE: A BATHROOM GROUP OR HALF BATH DESIGNATED FOR VISITABILITY UNDER SECTION R320.3 MUST BE ACCESSIBLE BY A ROUTE WITH A MINIMUM CLEAR OPENING OF 32 INCHES BEGINNING AT THE VISITABLE ENTRANCE DESIGNATED UNDER SECTION 320.6 AND CONTINUING THROUGH THE LIVING
ROOM, DINING ROOM, AND KITCHEN, AND BE LEVEL WITH RAMPED OR BEVELED CHANGES AT DOOR THRESHOLDS.
3. VISITABLE DWELLING ENTRANCE: A DWELLING MUST BE ACCESSIBLE BY AT LEAST ONE NON-STEP ENTRANCE WITH A BEVELED THRESHOLD OF ONE-HALF INCH OR LESS AND A DOOR WITH A CLEAR WIDTH OF AT LEAST 32 INCHES. THE ENTRANCE MAY BE LOCATED AT THE FRONT, REAR, OR SIDE, OR IN THE GARAGE OR CARPORT, OF THE DWELLING.
4. VISITABLE LIGHT SWITCHES, RECEPTACLES AND ENVIRONMENTAL CONTROLS (R320.4) THE FIRST FLOOR OF A DWELLING MUST CONTAIN THE FOLLOWING:
A) ALL LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS SHALL NOT BE INSTALLED GREATER THAN 48" ABOVE THE FINISHED FLOOR;
B) ALL OUTLETS AND RECEPTACLES SHALL BE INSTALLED NO LESS THAN 15" ABOVE FLOOR. (THIS APPLIES TO ALL FLOORS)



SITE SLAB LOCATION PLAN

22X34 SCALE: 3/32" = 1'-0"
11X17 SCALE: 3/64" = 1'-0"

1



PROJECT:

WEST 10TH RESIDENCE
NEW CONSTRUCTION
1415 W. 10th St.
AUSTIN, TX 78703

ARCHITECT:

CLARK | RICHARDSON LLC
618 LAVACA, SUITE #7
AUSTIN, TX 78701
CONTACT: EDWARD RICHARDSON
512-529-9047
ed@clarkrichardson.com

GENERAL CONTRACTOR:

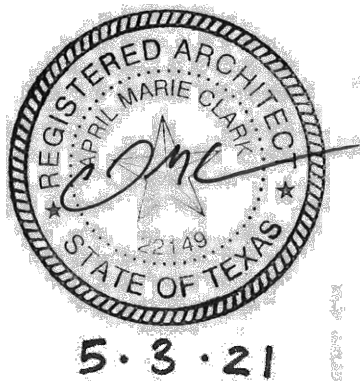
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512-462-1000 (office)
michael@positiveenergy.pro

ARCHITECT'S SEAL:



SCALE:
22X34: 3/32" = 1'
11X17: 3/64" = 1'

DATE:
05.03.2021

SITE SLAB LOCATION
PLAN

A1.01



WEST 10TH RESIDENCE
NEW CONSTRUCTION
1415 W. 10th St.
AUSTIN, TX 78703

CLARK | RICHARDSON LLC
618 LAVACA, SUITE #7
AUSTIN, TX 78701
CONTACT: EDWARD RICHARDSON
512-529-9047
ed@clarkrichardson.com

ARCH CONSULTING ENGINEERING PLLC
T.B.P.E. # F-9361
510 SOUTH CONGRESS
SUITE B-100
AUSTIN, TEXAS 78704
CONTACT: JUSTIN BILLODEAU
512-328-5353
justin@archce.net

EcoScience LLC
DBA POSITIVE ENERGY
T.A.C.L.A. 49421E, T.B.P.E. # F-17960
1114 S. 1st ST.
AUSTIN, TEXAS 78704
CONTACT: MICHAEL F. WEISS
512-462-1000 (office)
michael@positiveenergy.pro

DATE:	05.03.2021
-------	------------

A1.02

22X34 SCALE: 3/32" = 1'-0"
11X17 SCALE: 3/64" = 1'-0"





CLARK | RICHARDSON
ARCHITECTS

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GENERAL CONTRACTOR:

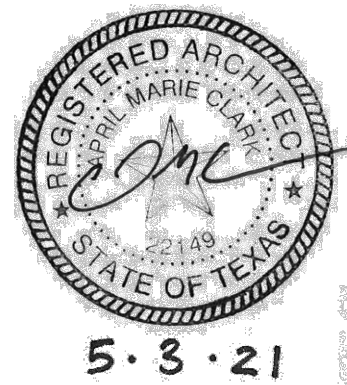
STRUCTURAL:

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ARCHITECT'S SEAL:



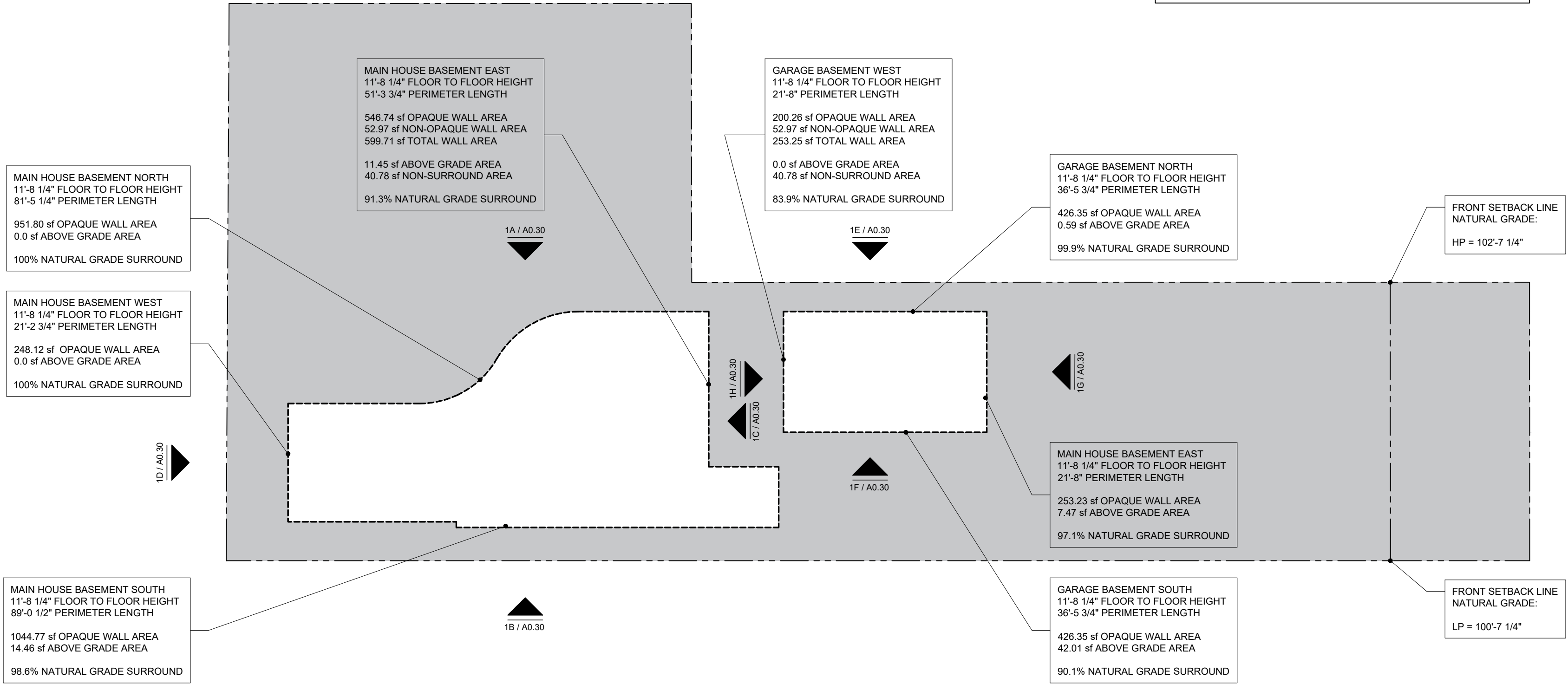
SCALE:
22X34: 1/16" = 1'-0"
11X17: 1/32" = 1'-0"

DATE:
05.03.2021

BASEMENT EXHIBIT

A1.07

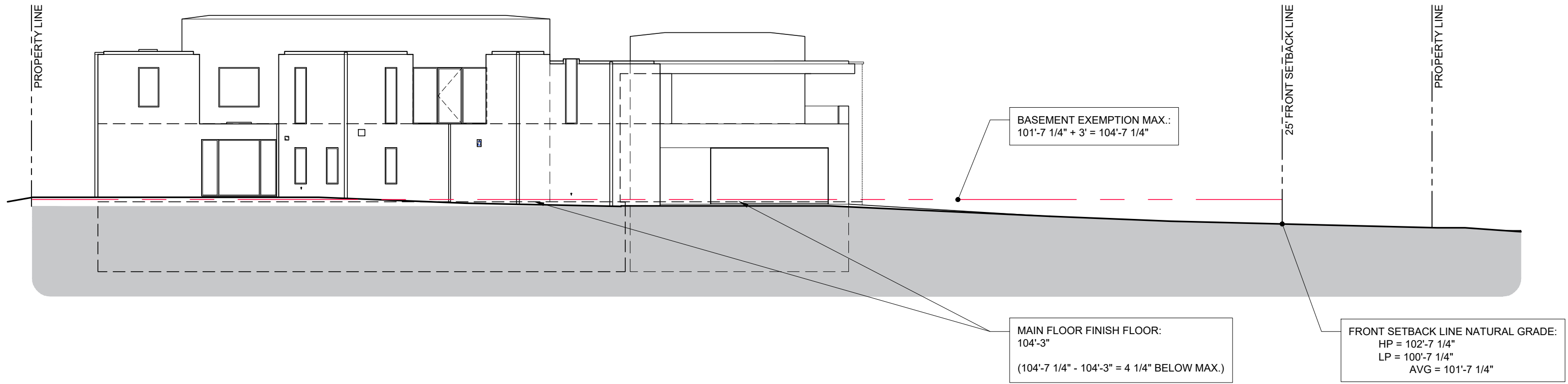
BASEMENT AREA GRADE SURROUND TOTALS	
MAIN HOUSE BASEMENT: 11'-8 1/4" FLOOR TO FLOOR HEIGHT 243'-0 1/4" PERIMETER LENGTH	GARAGE BASEMENT: 11'-8 1/4" FLOOR TO FLOOR HEIGHT 116'-3 1/2" PERIMETER LENGTH
2791.43 sf OPAQUE WALL AREA 52.97 sf NON-OPAQUE WALL AREA 2844.4 sf TOTAL WALL AREA	1306.2 sf OPAQUE WALL AREA 52.97 sf NON-OPAQUE WALL AREA 1359.17 sf TOTAL WALL AREA
25.91 sf ABOVE GRADE AREA 40.78 sf NON-SURROUND AREA	50.07 sf ABOVE GRADE AREA 40.78 sf NON-SURROUND AREA
97.7% NATURAL GRADE SURROUND	93.3% NATURAL GRADE SURROUND



BASEMENT EXEMPTION: GRADE SURROUND PLAN DIAGRAM

22X34 SCALE: 1/16" = 1'-0"
11X17 SCALE: 1/32" = 1'-0"

3

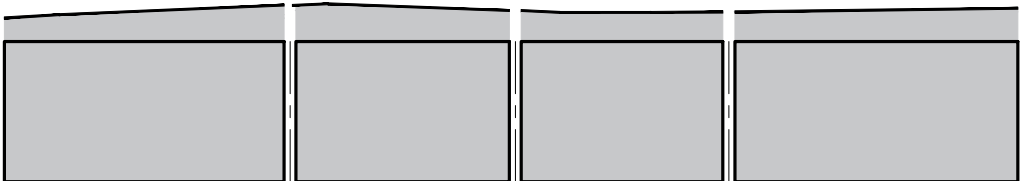


BASEMENT EXEMPTION: SITE SECTION DIAGRAM

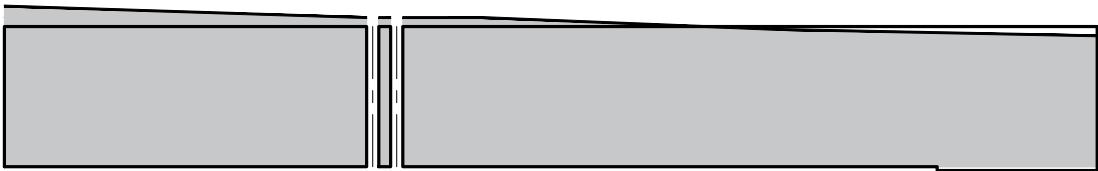
22X34 SCALE: 1/16" = 1'-0"
11X17 SCALE: 1/32" = 1'-0"

2

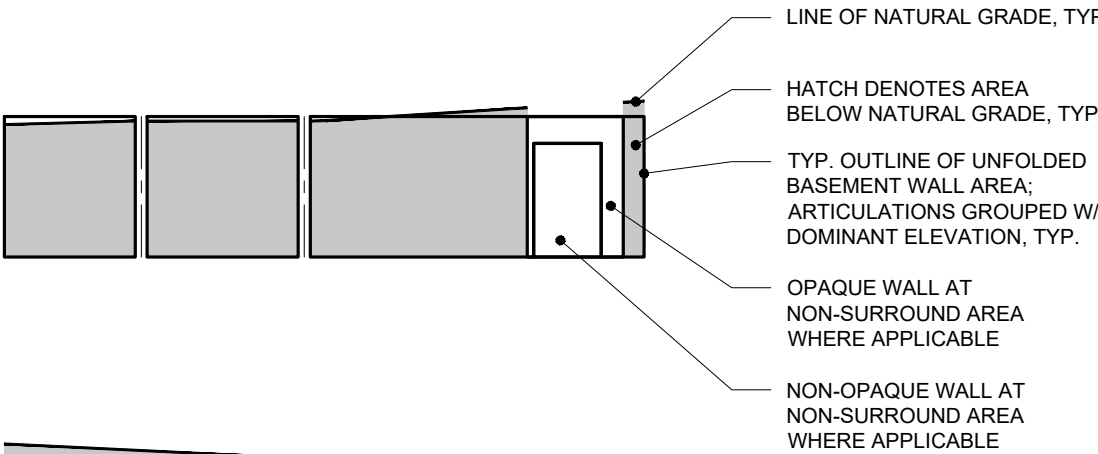
A) MAIN HOUSE
NORTH
ELEVATION



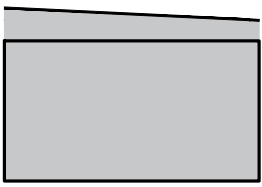
B) MAIN HOUSE
SOUTH
ELEVATION



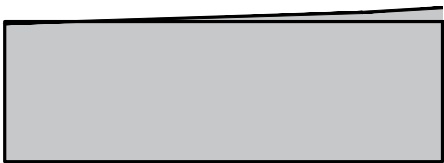
C) MAIN HOUSE
EAST
ELEVATION



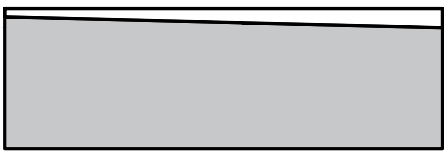
D) MAIN HOUSE
WEST
ELEVATION



E) GARAGE
NORTH
ELEVATION



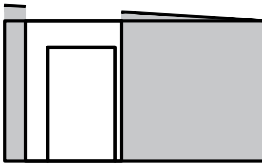
F) GARAGE
SOUTH
ELEVATION



G) GARAGE
EAST
ELEVATION



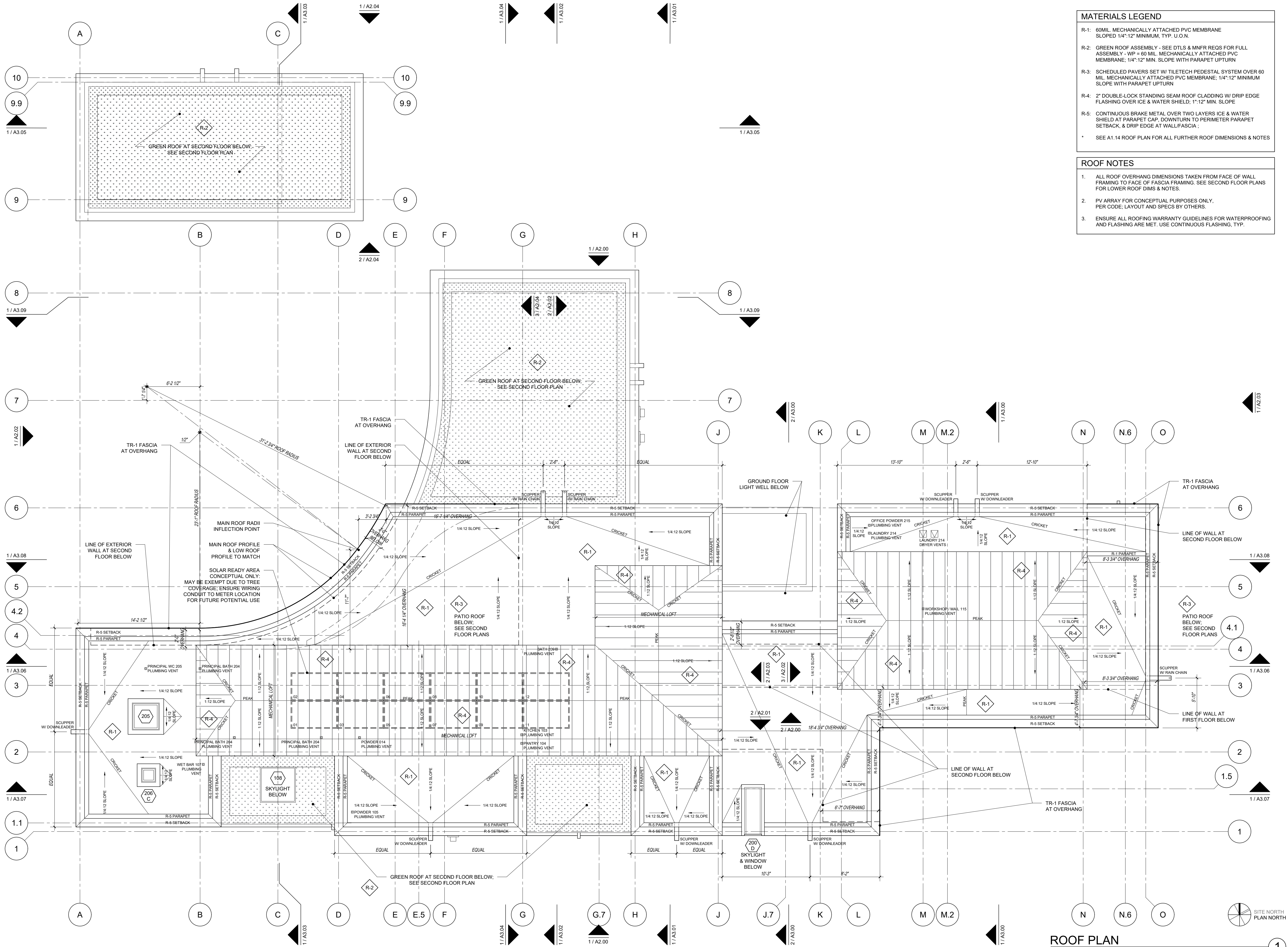
H) GARAGE
WEST
ELEVATION



BASEMENT EXEMPTION: GRADE ELEVATION DIAGRAMS

22X34 SCALE: 1/16" = 1'-0"
11X17 SCALE: 1/32" = 1'-0"

1



MATERIALS LEGEND

R-1: 60MIL. MECHANICALLY ATTACHED PVC MEMBRANE SLOPED 1/4":12" MINIMUM, TYP. U.O.N.

R-2: GREEN ROOF ASSEMBLY - SEE DTLS & MNFR REQS FOR FULL ASSEMBLY - WP = 60 MIL. MECHANICALLY ATTACHED PVC MEMBRANE; 1/4":12" MIN. SLOPE WITH PARAPET UPTURN

R-3: SCHEDULED PAVERS SET W/ TILETECH PEDESTAL SYSTEM OVER 60 MIL. MECHANICALLY ATTACHED PVC MEMBRANE; 1/4":12" MINIMUM SLOPE WITH PARAPET UPTURN

R-4: 2" DOUBLE-LOCK STANDING SEAM ROOF CLADDING W/ DRIP EDGE FLASHING OVER ICE & WATER SHIELD; 1":12" MIN. SLOPE

R-5: CONTINUOUS BRAKE METAL OVER TWO LAYERS ICE & WATER SHIELD AT PARAPET CAP, DOWNTURN TO PERIMETER PARAPET SETBACK, & DRIP EDGE AT WALL/FASCIA ;

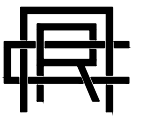
* SEE A1.14 ROOF PLAN FOR ALL FURTHER ROOF DIMENSIONS & NOTES

ROOF NOTES

1. ALL ROOF OVERHANG DIMENSIONS TAKEN FROM FACE OF WALL FRAMING TO FACE OF FASCIA FRAMING. SEE SECOND FLOOR PLANS FOR LOWER ROOF DIMS & NOTES.

2. PV ARRAY FOR CONCEPTUAL PURPOSES ONLY, PER CODE; LAYOUT AND SPECS BY OTHERS.

3. ENSURE ALL ROOFING WARRANTY GUIDELINES FOR WATERPROOFING AND FLASHING ARE MET. USE CONTINUOUS FLASHING, TYP.



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ARCHITECT'S SEAL:



SCALE: 22X34: 3/16" = 1' 11X17: 3/32" = 1'	DATE: 05.03.2021
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ROOF PLAN

A1.14

ROOF PLAN
22X34 SCALE: 3/16" = 1'-0"
11X17 SCALE: 3/32" = 1'-0"

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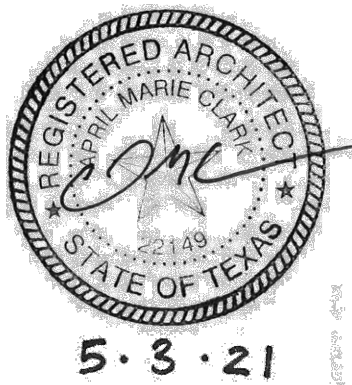
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ARCHITECT'S SEAL:



SCALE:
22X34: 1/8" = 1'
11X17: 1/16" = 1'

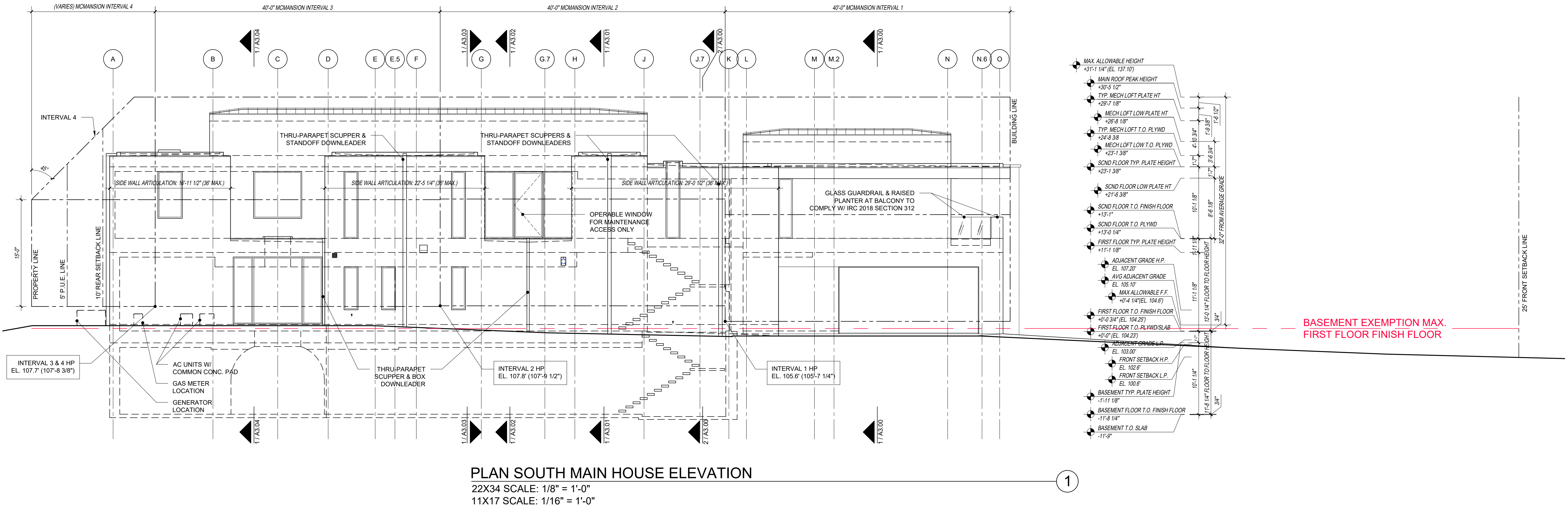
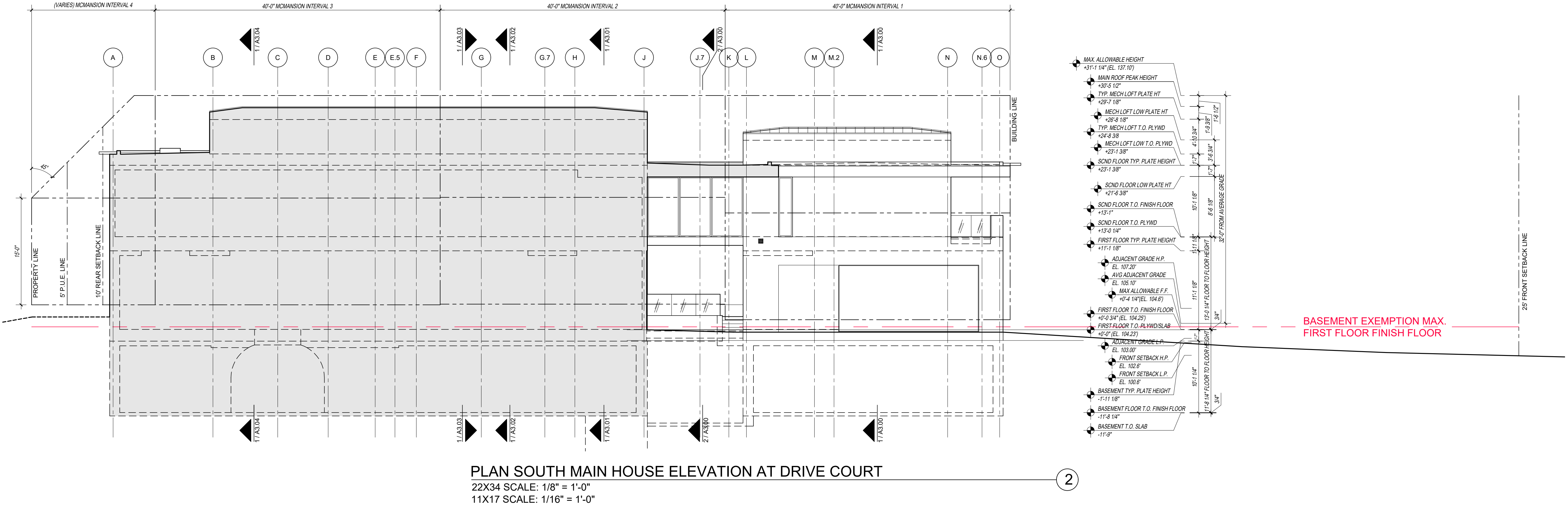
DATE:
05.03.2021

EXTERIOR
ELEVATIONS

A2.00

ELEVATIONS NOTES

1. SEE A2.10 & A2.11 EXTERIOR ELEVATIONS MATERIALS FOR MATERIAL PATTERNS, DESIGNATIONS, & NOTES.
2. SEE MEP FOR VENT & EQUIPMENT LOCATIONS. SEE MNFR GUIDELINES & ENSURE OFFSETS.
3. SEE A6.00, A6.01, & A6.02 FOR SCHEDULED EXTERIOR WINDOWS & DOORS.
4. CONTRACTOR TO CONDUCT FORM SURVEY PRIOR TO POURING & TENT SURVEY PRIOR TO SHEATHING TO ENSURE COA COMPLIANCE. SEE A0.30 FOR BASEMENT EXEMPTION; SEE A1.01 FOR SLAB LOCATION ARCS.
5. SEE A1.02 FOR SITE WALL LOCATIONS; SEE EXT. DTLS & STRUCT. FOR SITE WALL DESIGN.
6. SEE A1.11A FIRST FLOOR SLAB PLAN FOR INTEGRAL CONC. RETAINING WALL HEIGHTS ABOVE BASEMENT FOUNDATION WALLS. SEE STRUCT. FOR FURTHER.



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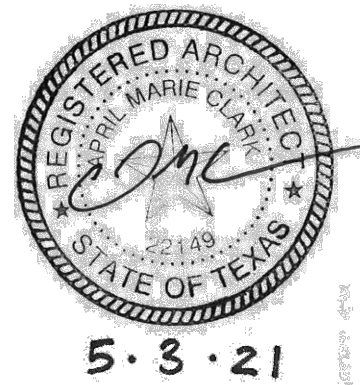
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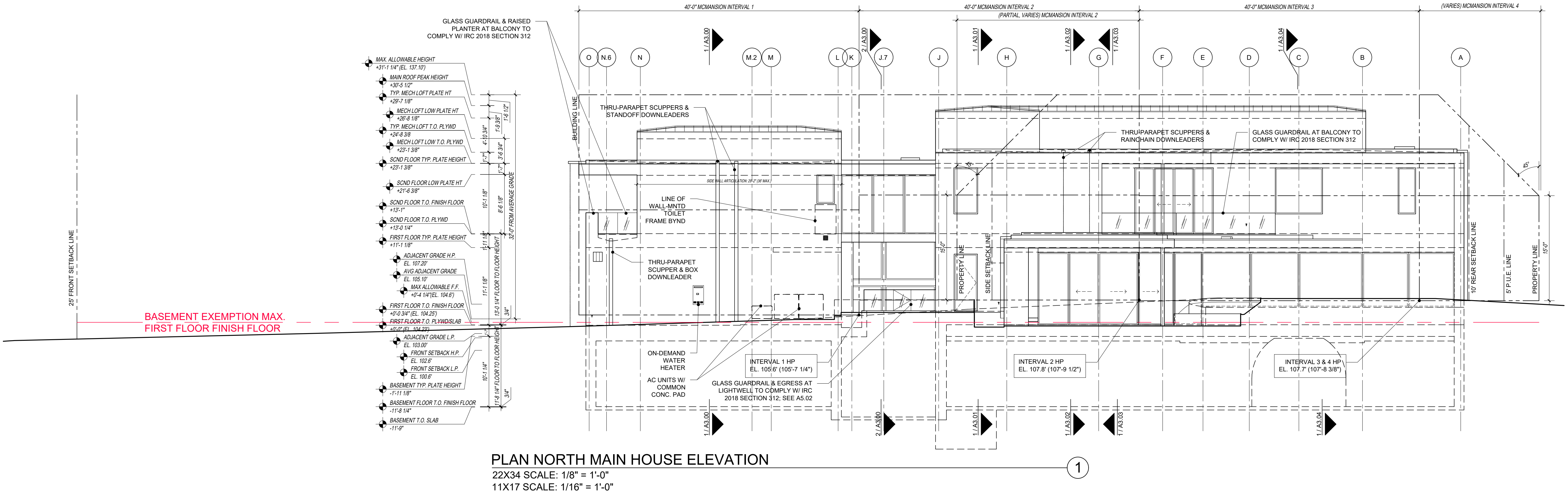
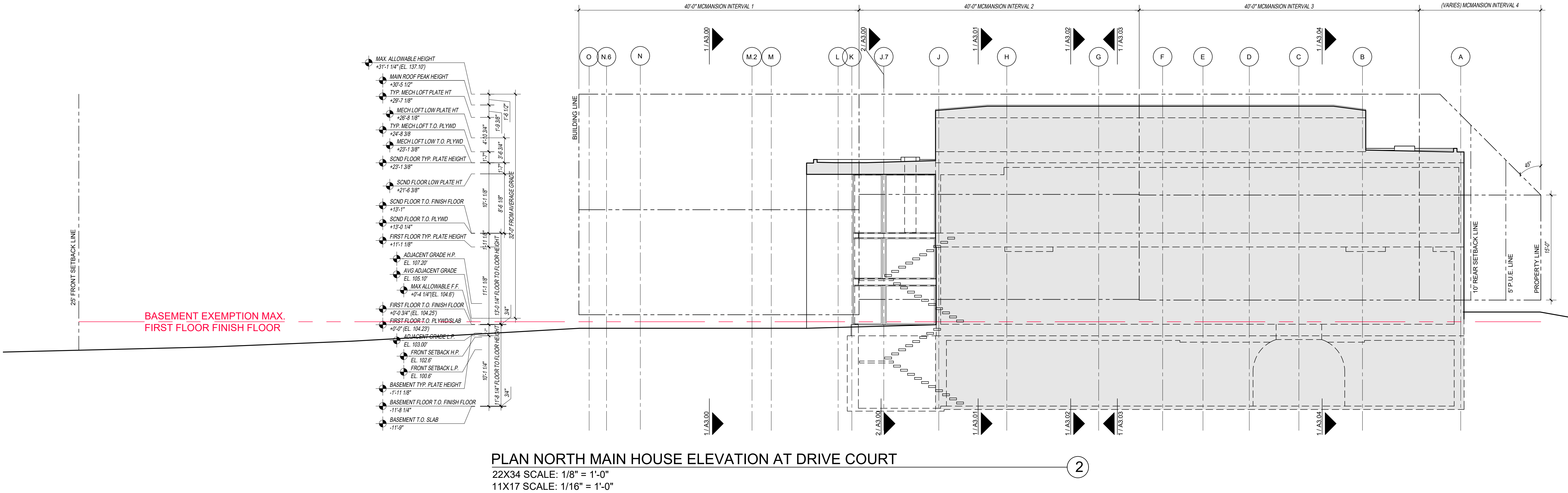


SCALE:
22X34: 1/8" = 1'-0"
11X17: 1/16" = 1'-0"

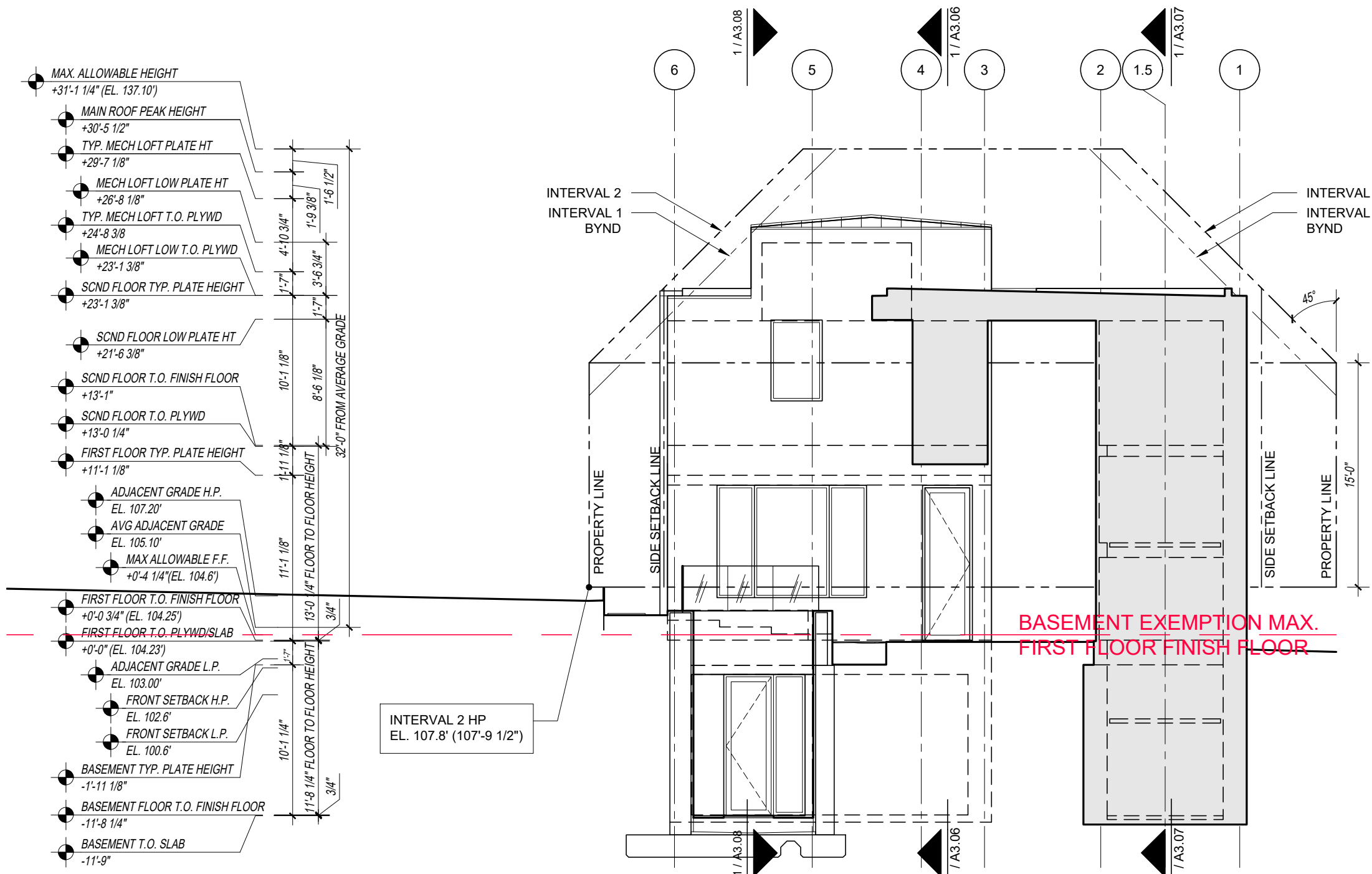
DATE:
05.03.2021

EXTERIOR
ELEVATIONS

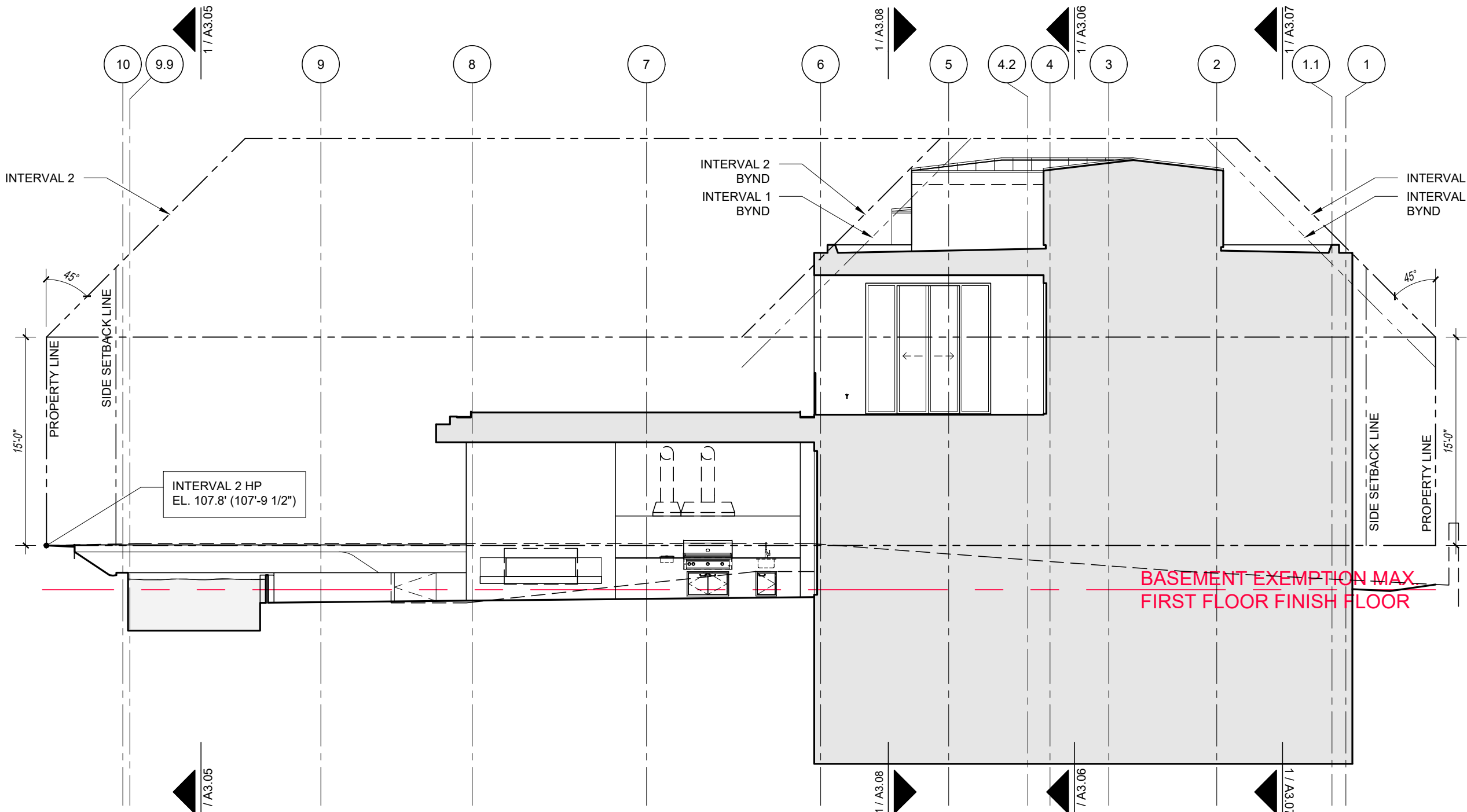
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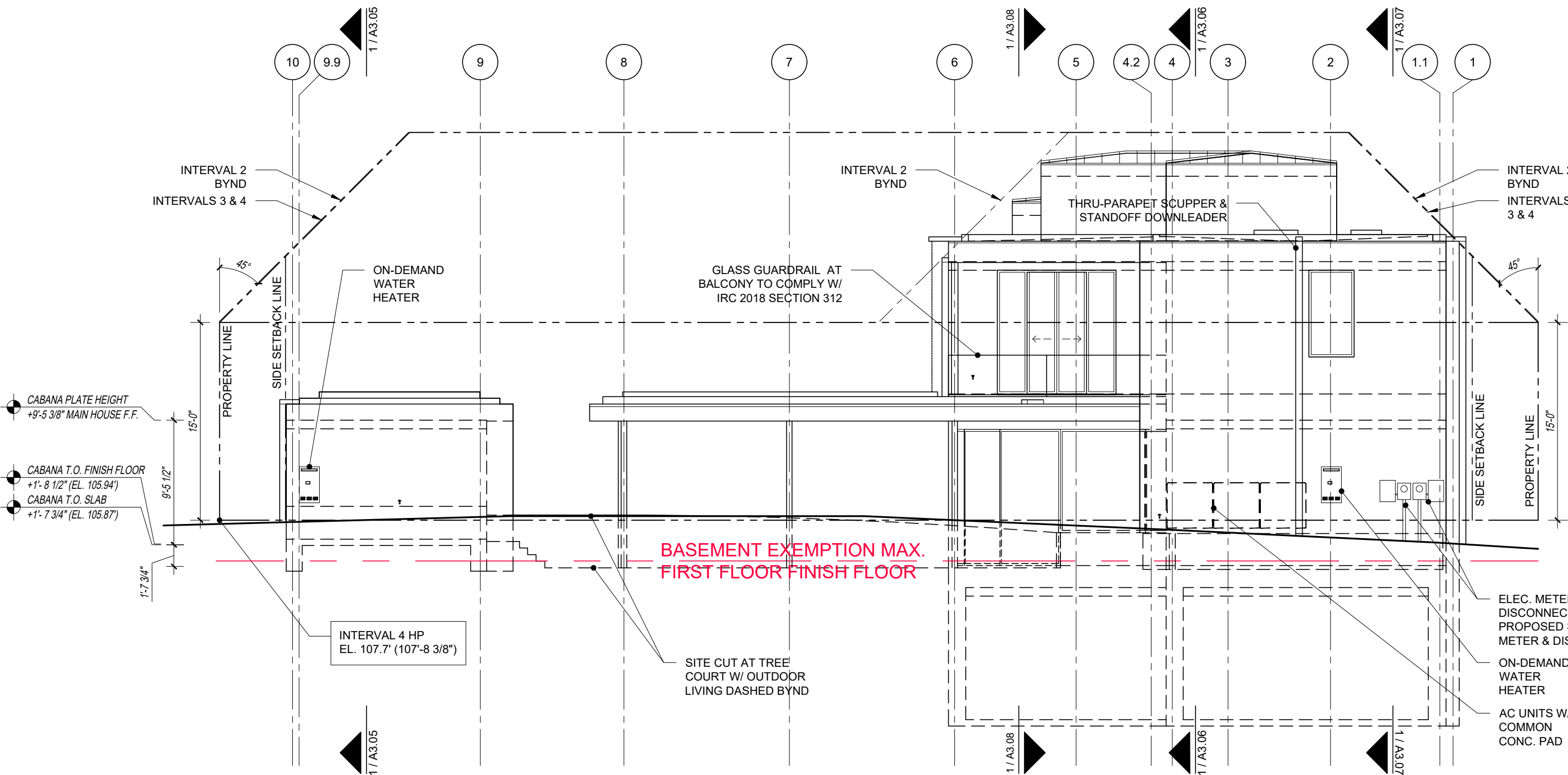
- ELEVATIONS NOTES
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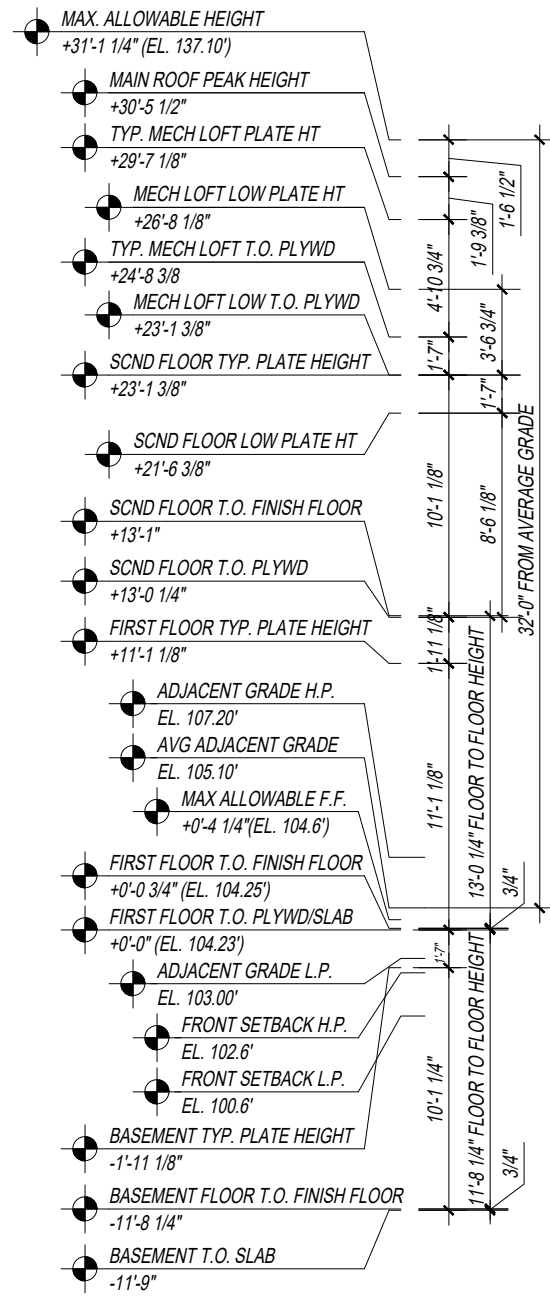
PLAN WEST MAIN HOUSE ELEVATION AT BREEZEWAY 3
22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"



PLAN WEST MAIN HOUSE ELEVATION AT OUTDOOR LIVING 2
22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"



PLAN WEST MAIN HOUSE & COTTAGE ELEVATION 1
22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"



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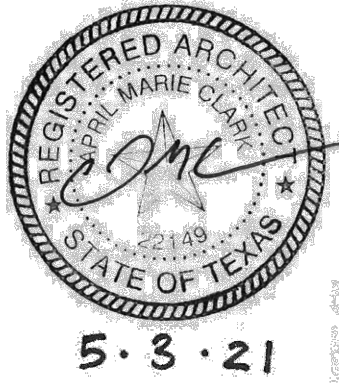
ARCHITECT:
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ARCHITECT'S SEAL:



SCALE:
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11X17: 1/16" = 1'

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EXTERIOR
ELEVATIONS

A2.02



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-------	------------

A2.03



22X34 SCALE: 3/4" = 1'-0"
11X17 SCALE: 3/8" = 1'-0"



MCMANSION TENT DETAIL

22X34 SCALE: $\frac{3}{4}" = 1'-0"$
11X17 SCALE: $\frac{3}{8}" = 1'-0"$



MCMANSION TENT DETAIL

22X34 SCALE: $\frac{3}{4}'' = 1'-0''$
11X17 SCALE: $\frac{3}{8}'' = 1'-0''$



MCMANSION TENT DETAIL

22X34 SCALE: $\frac{3}{4}" = 1'-0"$
11X17 SCALE: $\frac{3}{8}" = 1'-0"$



22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"



22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"

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- ELEVATIONS NOTES
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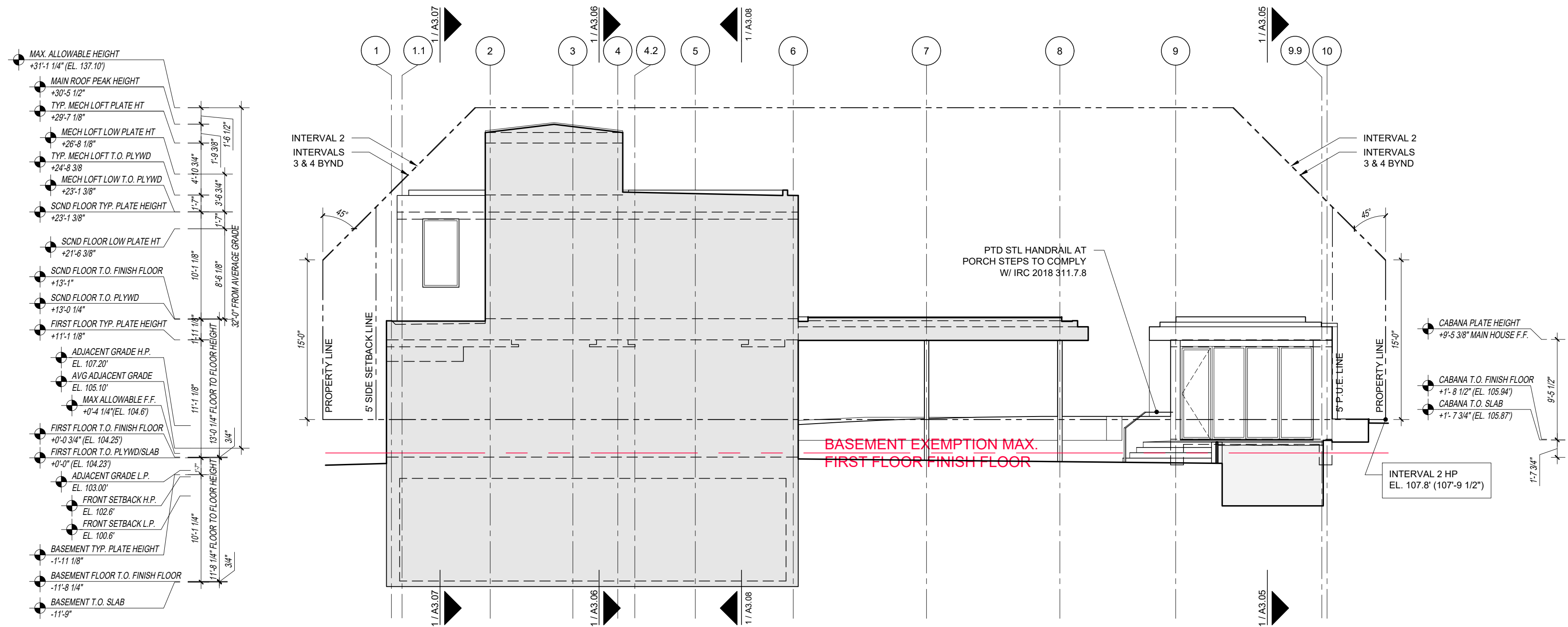
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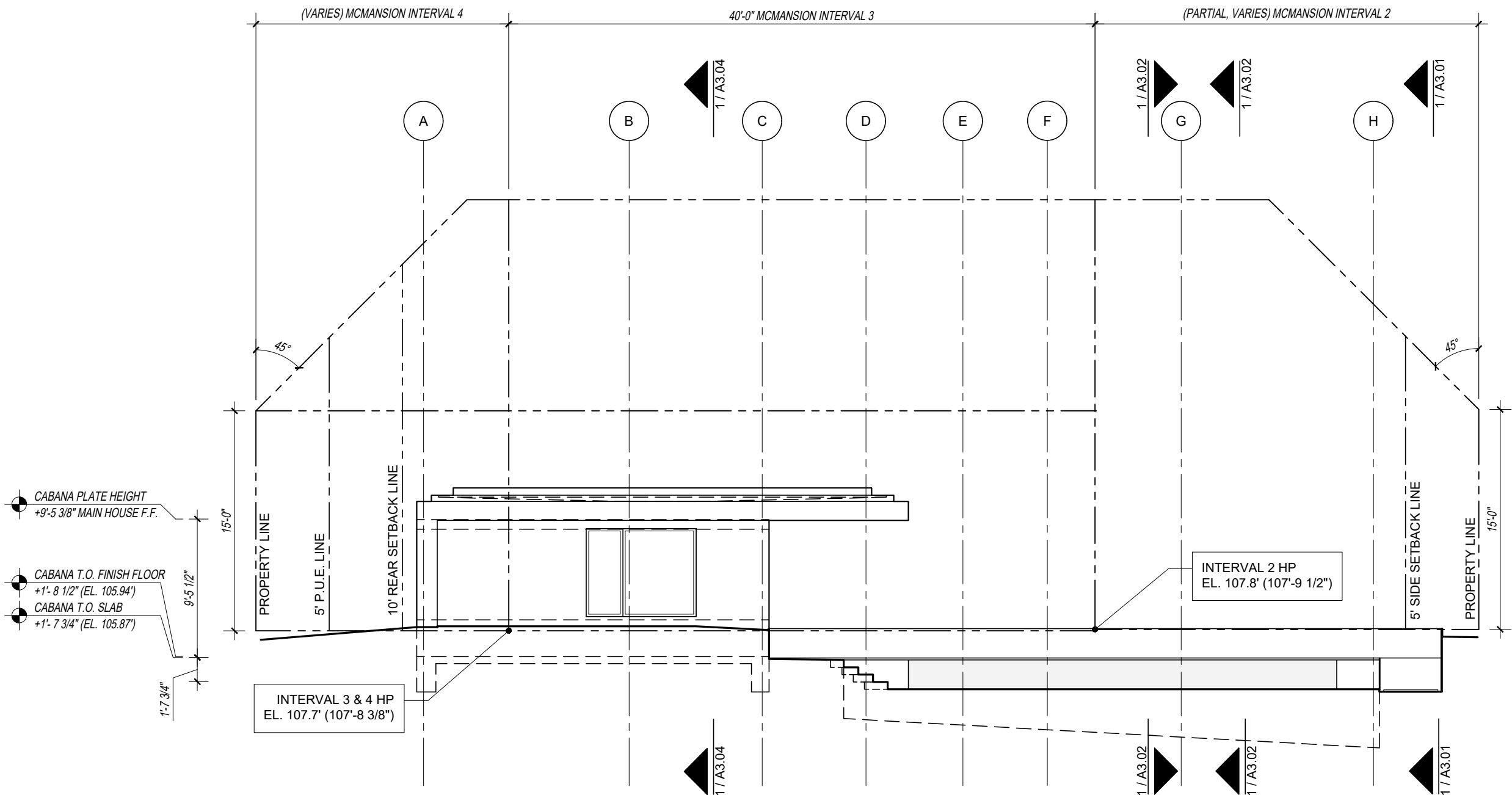
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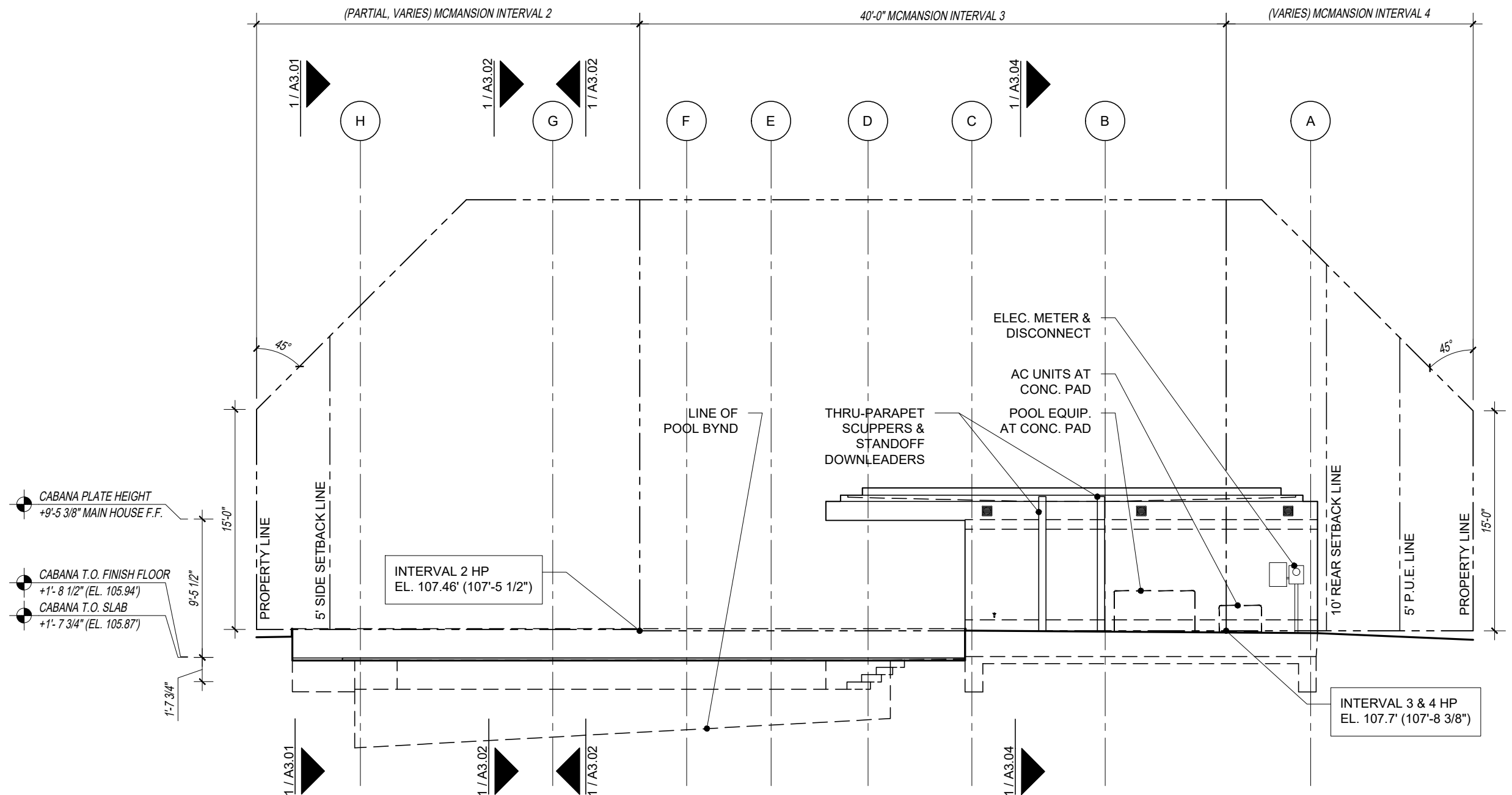
PLAN EAST COTTAGE ELEVATION AT OUTDOOR LIVING

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"



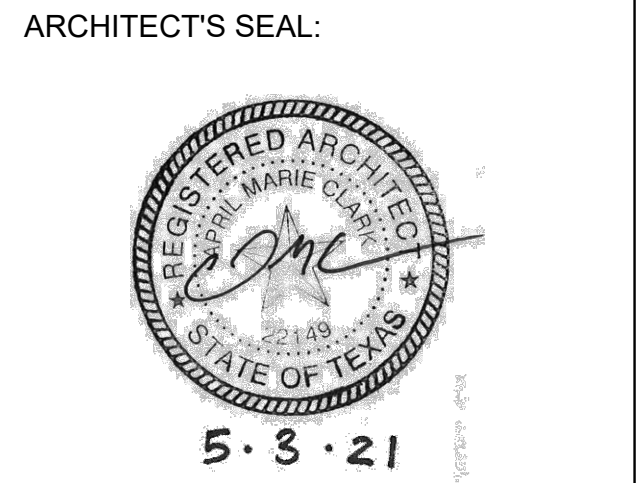
PLAN SOUTH COTTAGE ELEVATION

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"



PLAN NORTH COTTAGE ELEVATION

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"



SCALE:
22X34: 1/8" = 1'
11X17: 1/16" = 1'

DATE:
05.03.2021

EXTERIOR
ELEVATIONS

A2.04

PROJECT:

WEST 10TH RESIDENCE
NEW CONSTRUCTION
1415 W. 10th St.
AUSTIN, TX 78703

ARCHITECT:

CLARK | RICHARDSON LLC
618 LAVACA, SUITE #7
AUSTIN, TX 78701
CONTACT: EDWARD RICHARDSON
512-529-9047
ed@clarkrichardson.com

GENERAL CONTRACTOR:

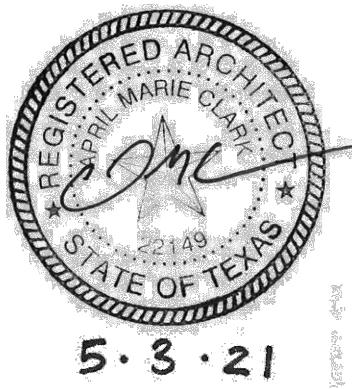
STRUCTURAL:

ARCH CONSULTING ENGINEERING PLLC
T.B.P.E. # F-9361
510 SOUTH CONGRESS
SUITE B-100
AUSTIN, TEXAS 78704
CONTACT: JUSTIN BILLODEAU
512-328-5353
justin@archce.net

MEP:

EcoScience LLC
DBA POSITIVE ENERGY
T.A.C.L.A. 49421E, T.B.P.E. # F-17960
1114 S. 1st ST.
AUSTIN, TEXAS 78704
CONTACT: MICHAEL F. WEISS
512-462-1000 (office)
michael@positiveenergy.pro

ARCHITECT'S SEAL:

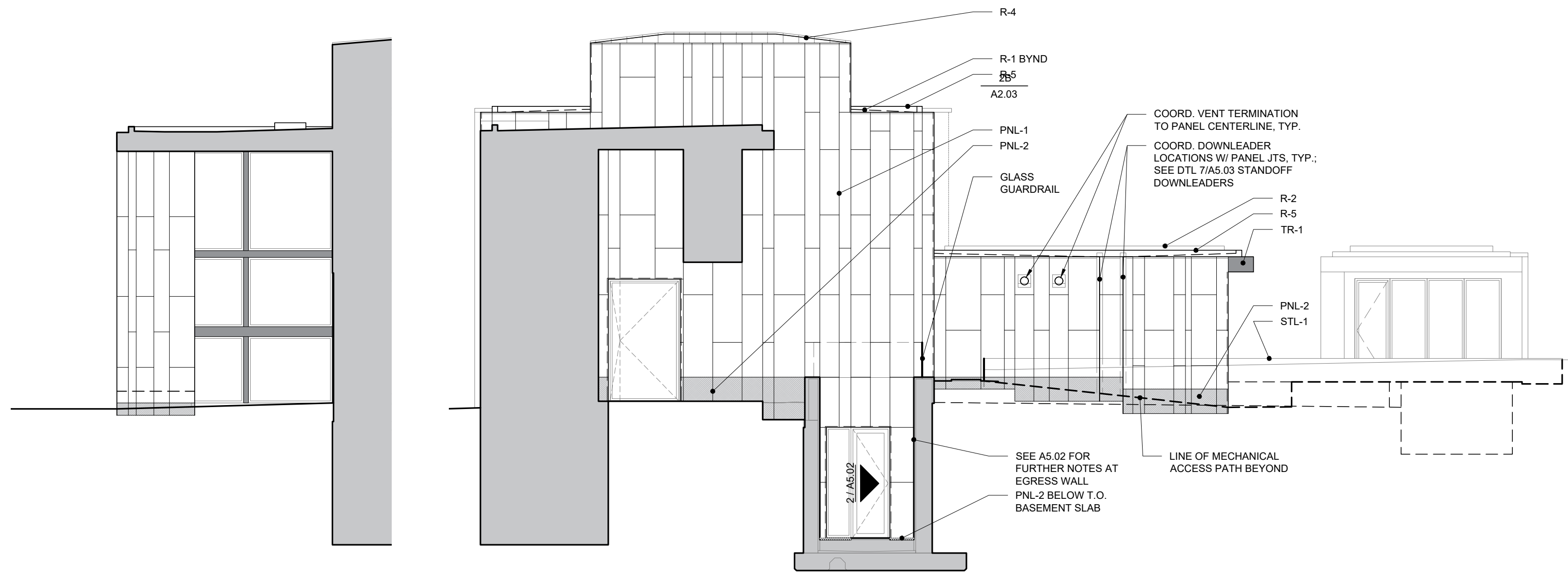


SCALE:
22X34: 1/8" = 1'
11X17: 1/16" = 1'

DATE:
05.03.2021

EXTERIOR
ELEVATIONS
MATERIALS LAYOUT

A2.10

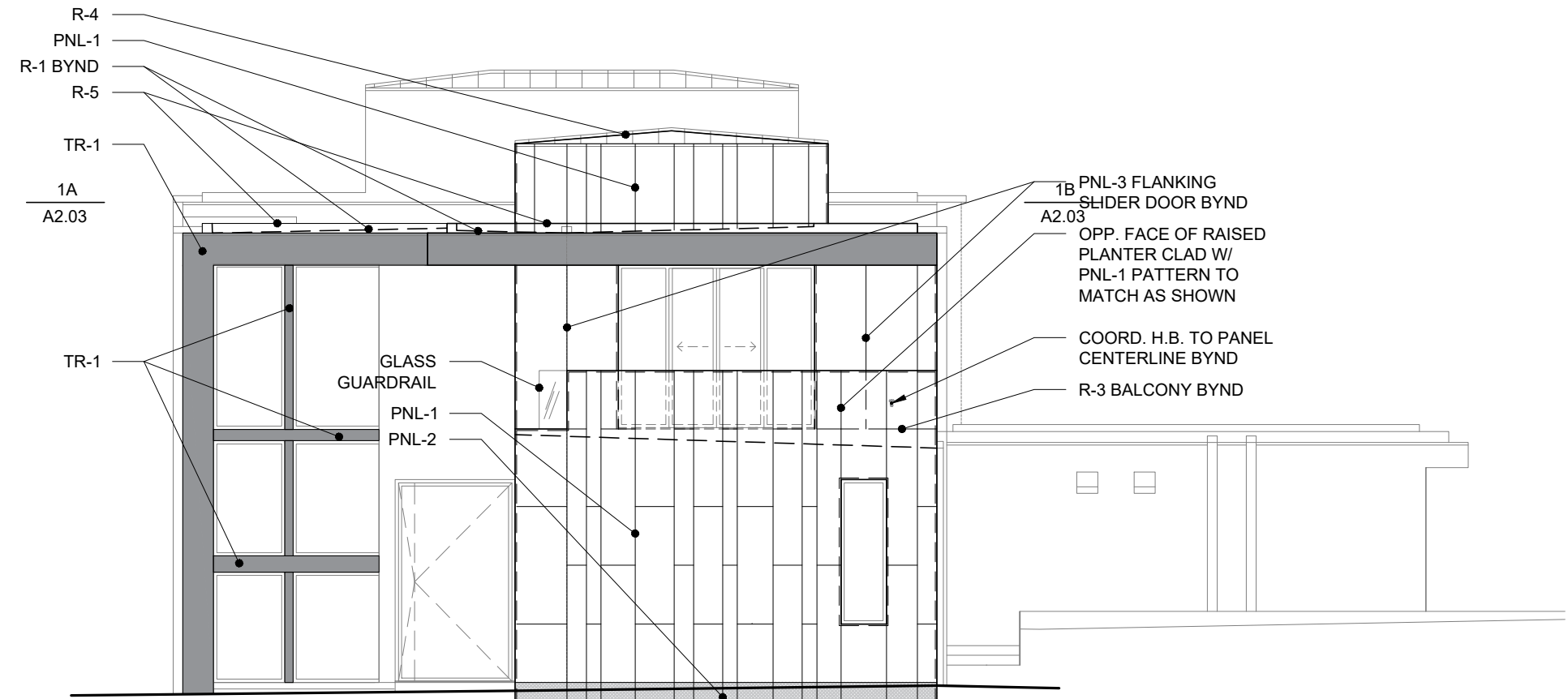


PLAN NORTH MAIN HOUSE AT DRIVE COURT

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"

PLAN EAST MAIN HOUSE AT BREEZEWAY

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"



PLAN EAST MAIN HOUSE

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"

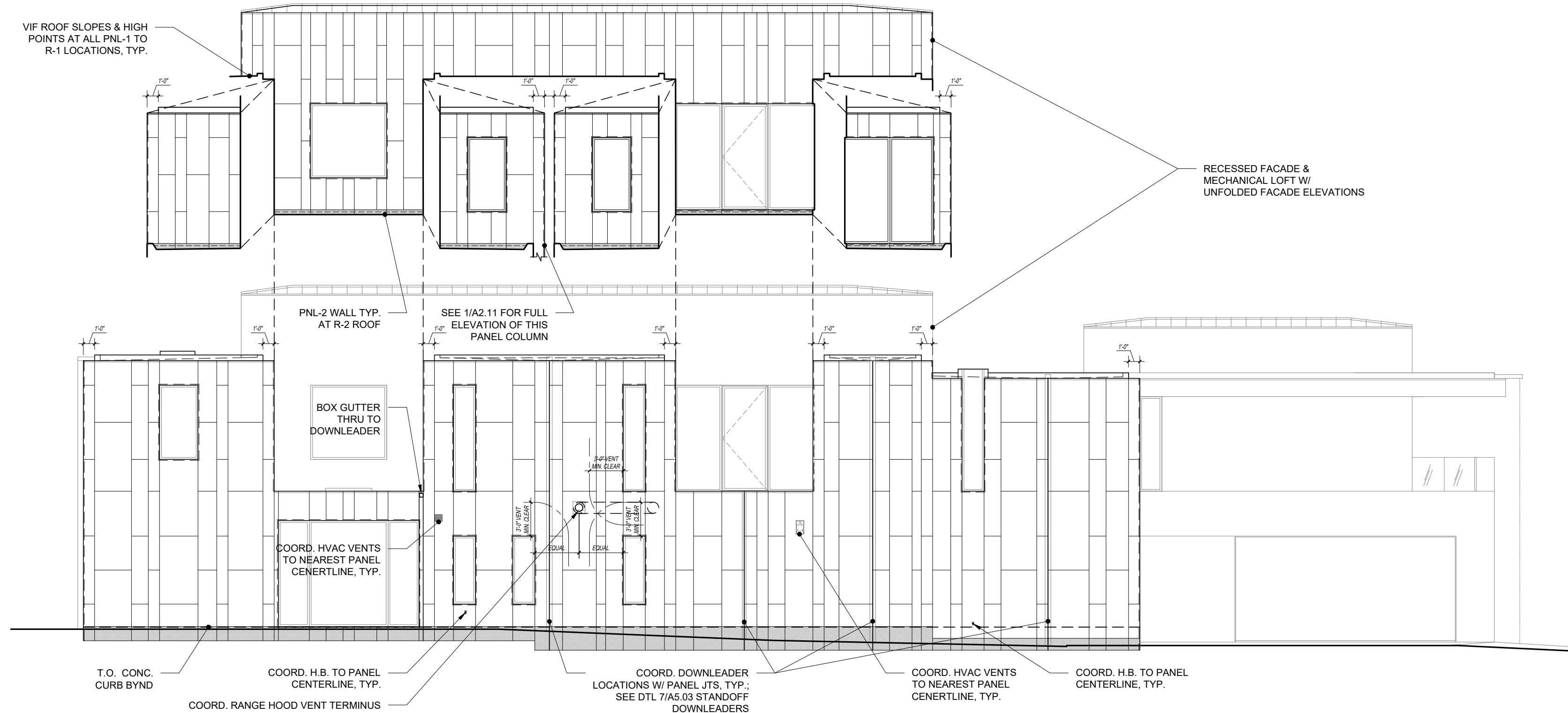
MATERIALS LEGEND

01	PNL-2	
02	TR-1	
03	BUILDING CUT	
04	MITER PANEL CORNER	

MATERIALS KEY

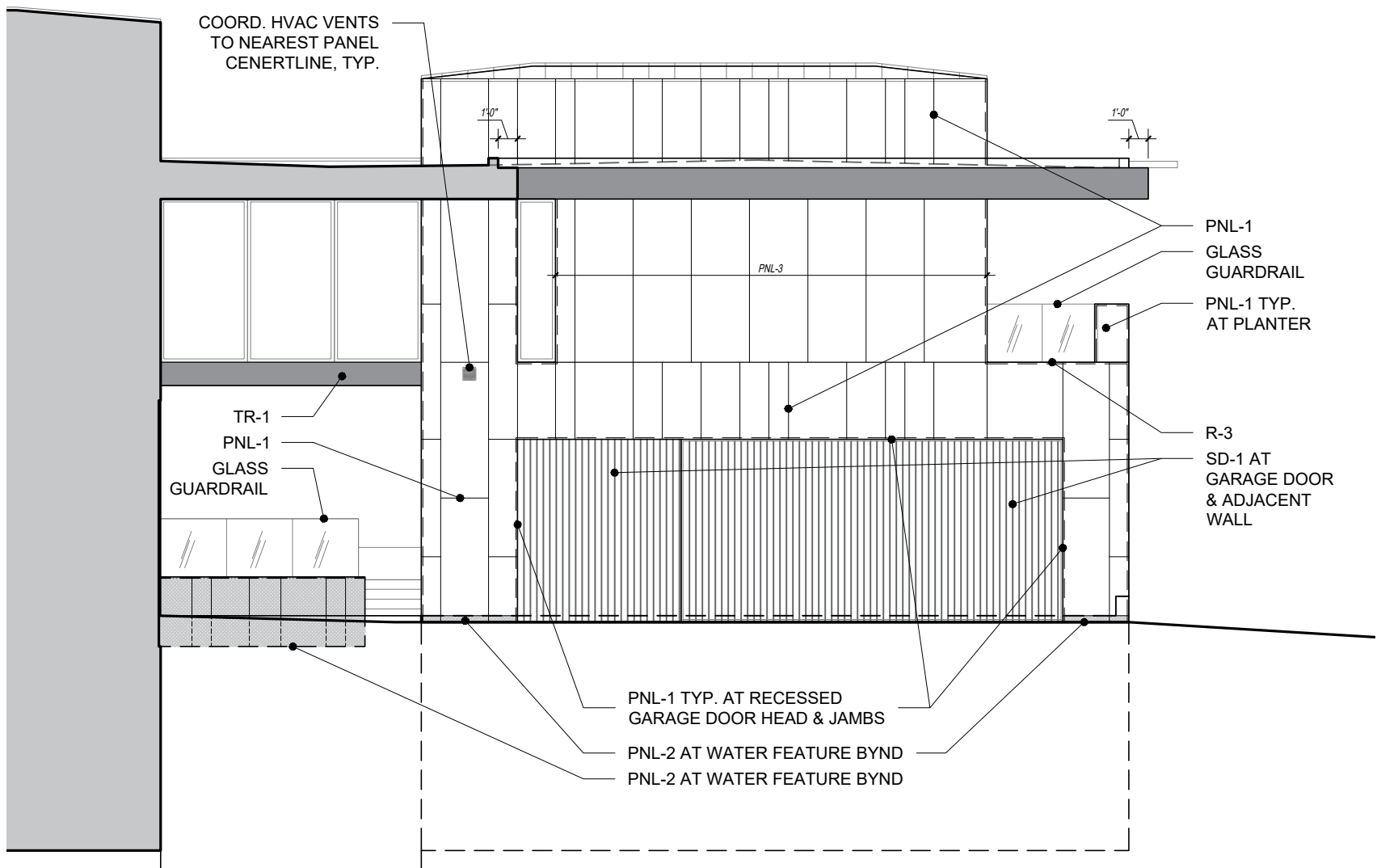
R-1: TYPICAL MAIN ROOF CLADDING ASSEMBLY: 60MIL. MECHANICALLY ATTACHED PVC MEMBRANE SLOPED 1/4":12" MINIMUM, TYP. U.O.N.	TR-1: PROJECTED EAVE FASCIA & FASCIA DOWNTURN CLADDING: PTD 1/4" STEEL PLATE W/ BLIND FASTENERS; ALL SEAMS WELDED & GROUND FLUSH U.O.N. AS JT. INSTALL OVER WP-3
R-2: GREEN ROOF ASSEMBLY - SEE DTLs & MNFR REQs FOR FULL ASSEMBLY. WP = 60 MIL. MECHANICALLY ATTACHED PVC MEMBRANE; 1/4":12" MIN. SLOPE WITH PARAPET UPTURN	PNL-1: TYPICAL ABOVE-GRADE WALL CLADDING ASSEMBLY: DEKTON PANEL & CLIP CLADDING SYSTEM W/ THRU-FLASHING AT SILL TRANSITION TO PNL-2 OR GRADE. INSTALL OVER WP-3 FINISH SELECTION TBD
R-3: BALCONY ASSEMBLY - SCHEDULED PAVERS SET W/ TILETECH PEDESTAL SYSTEM OVER 60 MIL. MECHANICALLY ATTACHED PVC MEMBRANE; 1/4":12" MINIMUM SLOPE WITH PARAPET UPTURN	PNL-2: TYPICAL BELOW-GRADE WALL CLADDING ASSEMBLY: DEKTON PANEL DIRECT APPLIED CLADDING SYSTEM. INSTALL OVER WP-5A FINISH SELECTION TO MATCH PNL-1. SEE MATERIALS NOTE 01
R-4: MECHANICAL LOFTS ROOF CLADDING ASSEMBLY: 2" DOUBLE-LOCK STANDING SEAM ROOF CLADDING W/ DRIP EDGE FLASHING OVER ICE & WATER SHIELD; 1":12" MIN. SLOPE	PNL-3: DEKTON PANEL & CLIP CLADDING SYSTEM. INSTALL OVER WP-3. FINISH SELECTION TBD.
R-5: TYPICAL PARAPET CLADDING ASSEMBLY: CONTINUOUS BRAKE METAL OVER TWO LAYERS ICE & WATER SHIELD AT PARAPET CAP, DOWNTURN TO PERIMETER PARAPET SETBACK, & DRIP EDGE AT WALL/FASCIA	SD-1: FLAT-SEAM VERTICAL METAL SIDING; SELECTION & FINISH TBD. STL-1: WEATHERED STEEL RETAINING WALL; SEE EXT. DTLs & STRUCT. STL-2: PTD STEEL, COLOR TBD

NOTE: SEE FINISH PLANS & MTRL SCHEDULES FOR ADDITIONAL EXTERIOR FINISHES SELECTIONS.



PLAN SOUTH MAIN HOUSE UNFOLDED ELEVATION

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"

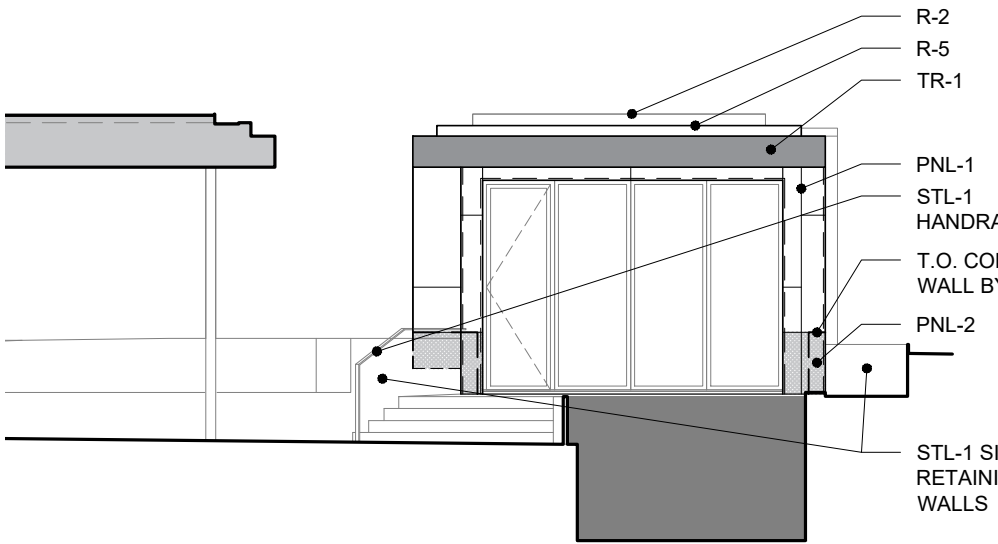


PLAN SOUTH MAIN HOUSE AT DRIVE COURT

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"

MATERIALS LEGEND		
01	PNL-2	
02	TR-1	
03	BUILDING CUT	
04	MITER PANEL CORNER	

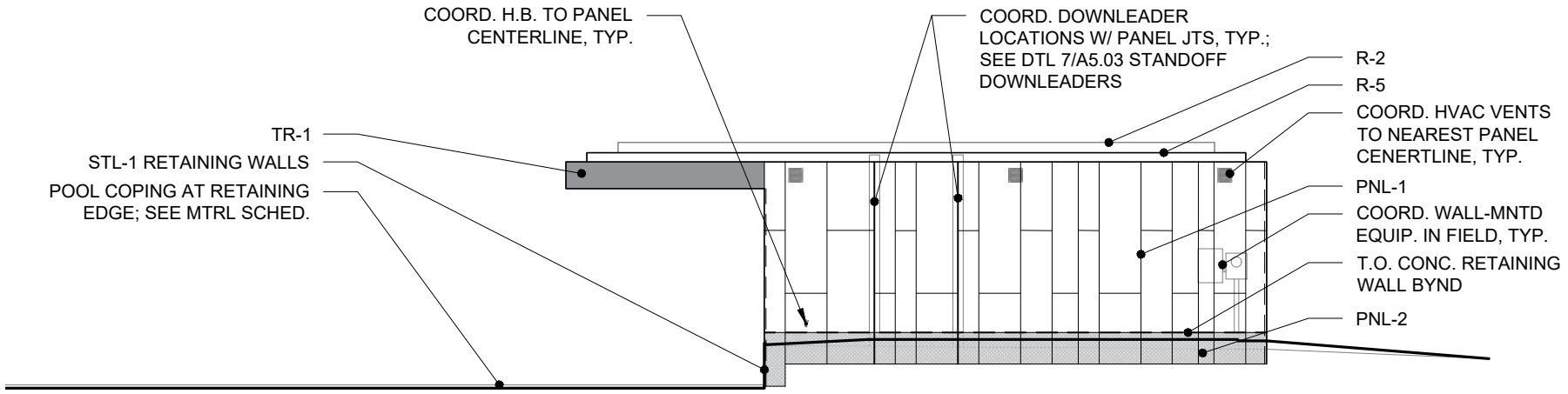
MATERIALS KEY		
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R-2:	GREEN ROOF ASSEMBLY - SEE DTLs & MNFR REQs FOR FULL ASSEMBLY - WP = 60 MIL. MECHANICALLY ATTACHED PVC MEMBRANE; 1/4":12" MIN. SLOPE WITH PARAPET UPTURN	PNL-1: TYPICAL ABOVE-GRADE WALL CLADDING ASSEMBLY: DEKTON PANEL & CLIP CLADDING SYSTEM W/ THRU-FLASHING AT SILL TRANSITION TO PNL-2 OR GRADE. INSTALL OVER WP-3 FINISH SELECTION TBD
R-3:	BALCONY ASSEMBLY - SCHEDULED PAVERS SET W/ TILETECH PEDESTAL SYSTEM OVER 60 MIL. MECHANICALLY ATTACHED PVC MEMBRANE; 1/4":12" MINIMUM SLOPE WITH PARAPET UPTURN	PNL-2: TYPICAL BELOW-GRADE WALL CLADDING ASSEMBLY: DEKTON PANEL DIRECT APPLIED CLADDING SYSTEM. INSTALL OVER WP-5A FINISH SELECTION TO MATCH PNL-1. SEE MATERIALS NOTE 01
R-4:	MECHANICAL LOFTS ROOF CLADDING ASSEMBLY: 2" DOUBLE-LOCK STANDING SEAM ROOF CLADDING W/ DRIP EDGE FLASHING OVER ICE & WATER SHIELD; 1":12" MIN. SLOPE	PNL-3: DEKTON PANEL & CLIP CLADDING SYSTEM. INSTALL OVER WP-3. FINISH SELECTION TBD.
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		STL-1: WEATHERED STEEL RETAINING WALL; SEE EXT. DTLs & STRUCT.
		STL-2: PTD STEEL, COLOR TBD
NOTE: SEE FINISH PLANS & MTRL SCHEDULES FOR ADDITIONAL EXTERIOR FINISHES SELECTIONS.		



PLAN EAST CABANA

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"

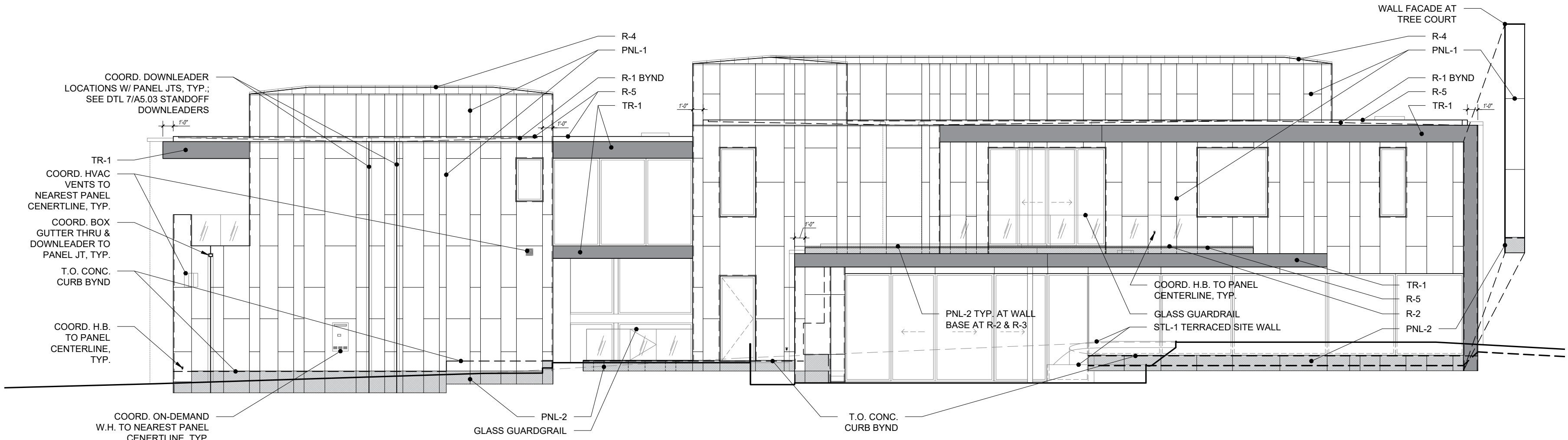
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PLAN NORTH CABANA

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"

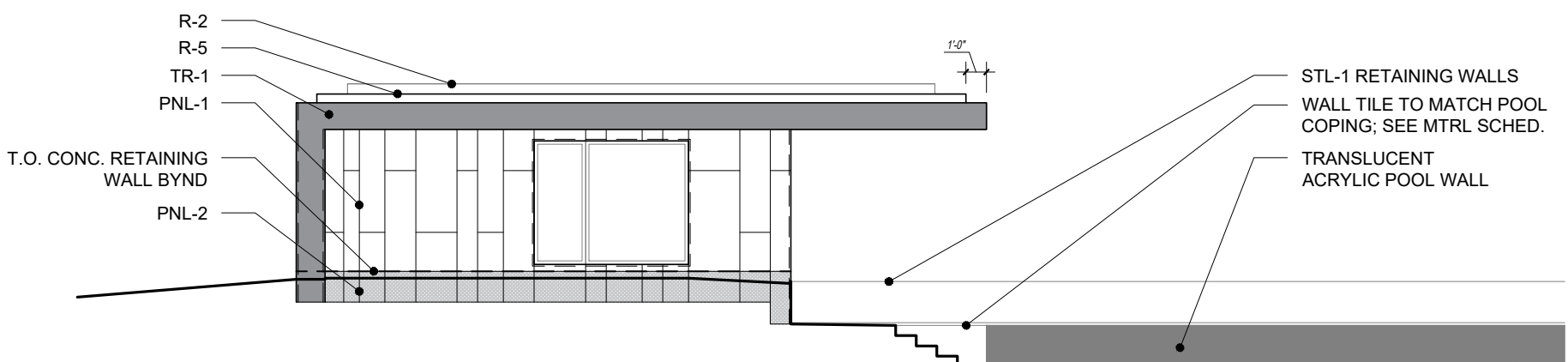
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PLAN NORTH MAIN HOUSE

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"

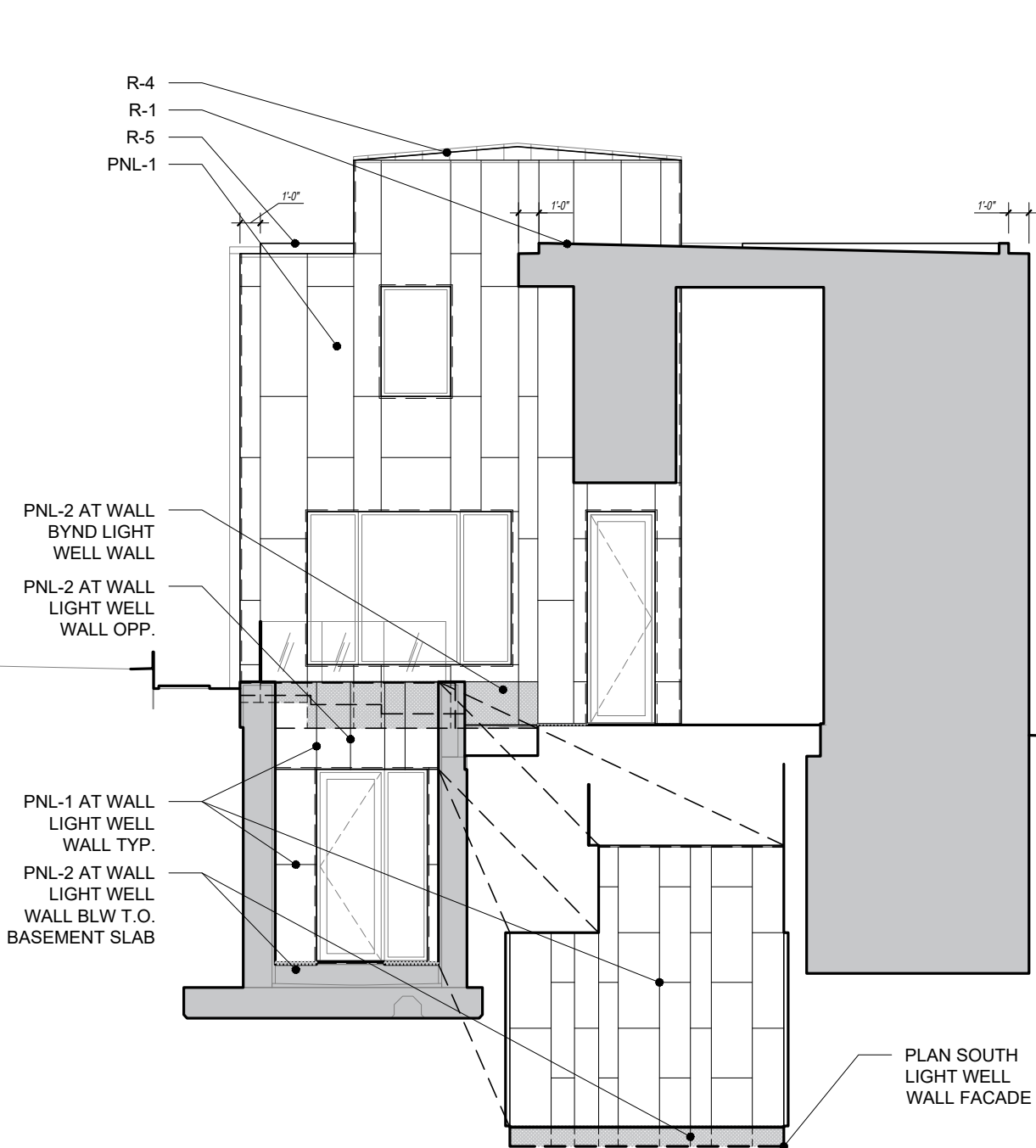
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PLAN SOUTH CABANA

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"

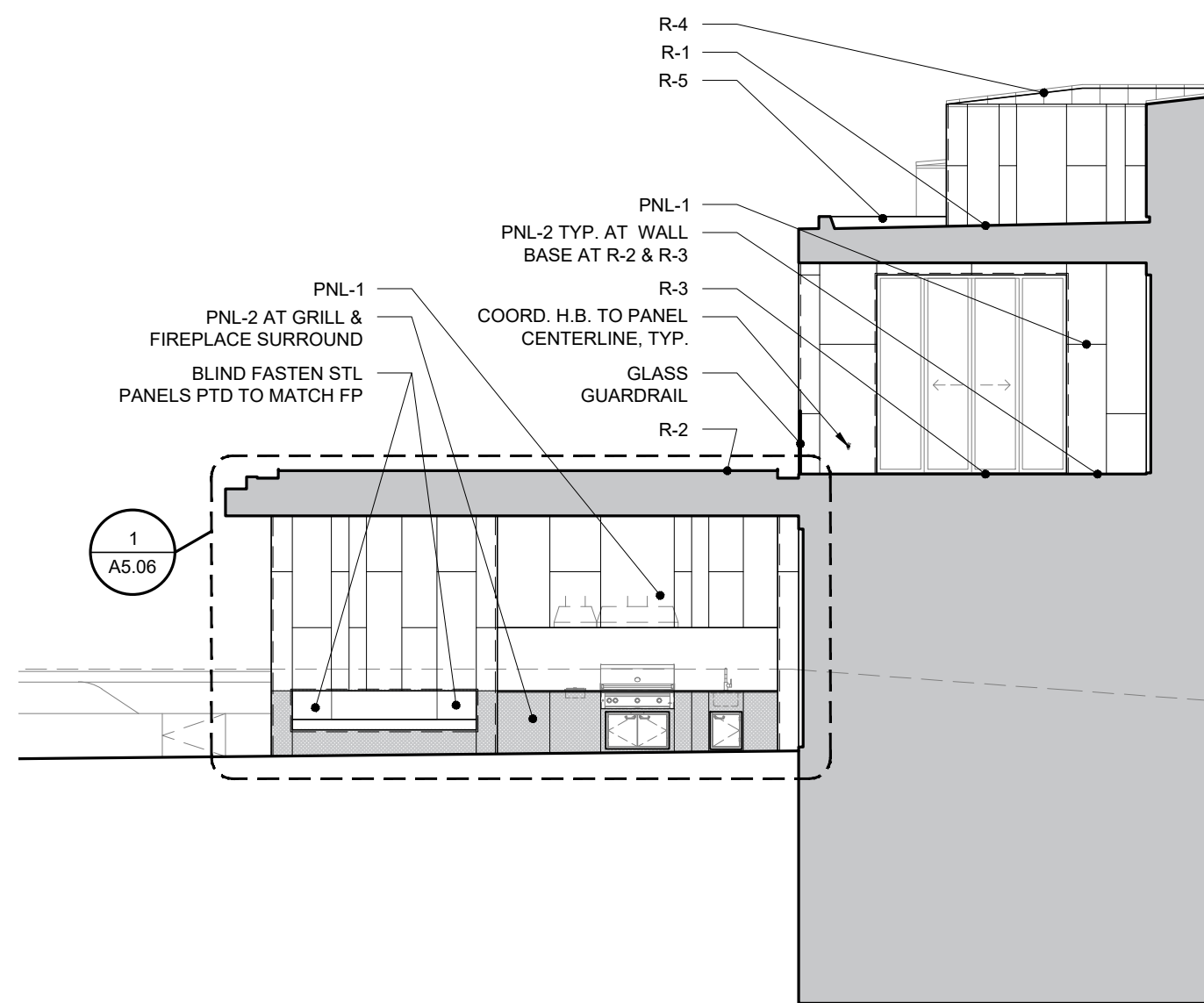
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PLAN WEST MAIN HOUSE AT BREEZEWAY

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"

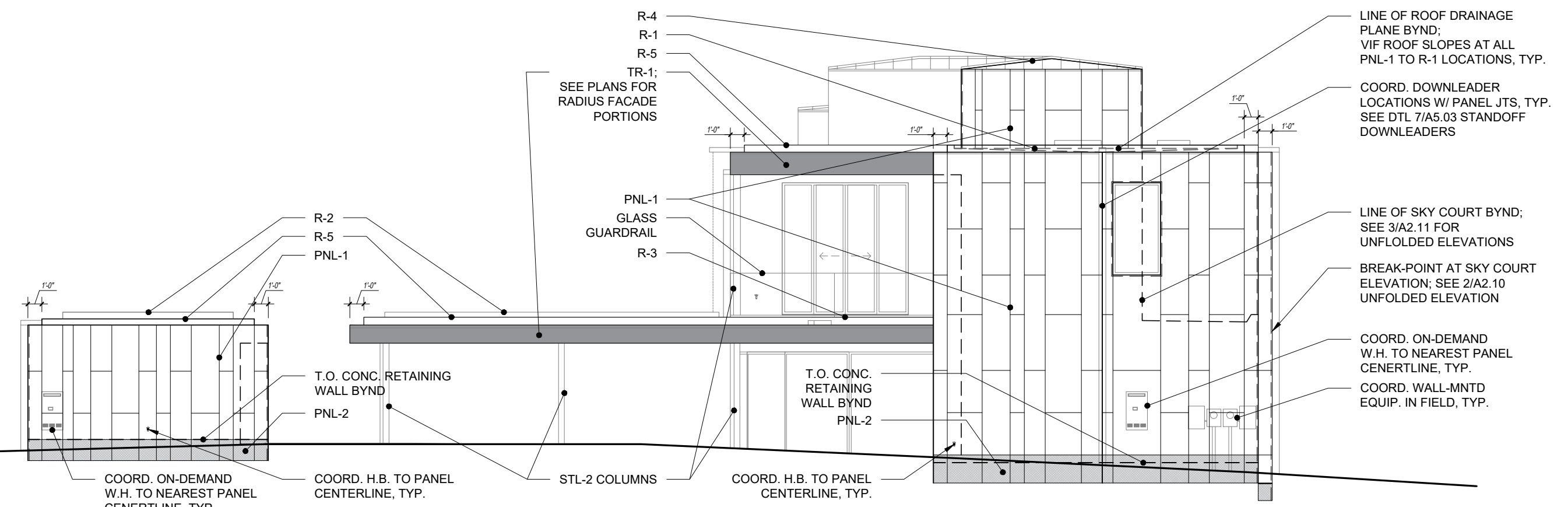
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PLAN WEST MAIN HOUSE AT OUTDOOR LIVING

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"

2



PLAN WEST MAIN HOUSE & CABANA

22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"

1

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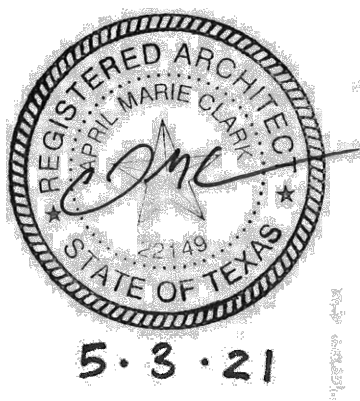
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A2.11