



# Residential New Construction and Addition Permit Application

DevelopmentATX.com | Phone: 311 (or 512-974-2000 outside Austin)  
For submittal and fee information, see [austintexas.gov/digitaldevelopment](http://austintexas.gov/digitaldevelopment)

*Download application before entering information.*

Property Information			
Project Address: 902 Spence Street		Tax Parcel ID:	
Legal Description: Lot 14 BLK 4 OLT 31-32 DIV			
Zoning District: SF-3		Lot Area (sq ft): 6,211.98	
Neighborhood Plan Area (if applicable):		Historic District (if applicable):	
Required Reviews			
Is project participating in S.M.A.R.T. Housing? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)		Does project have a Green Building requirement? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, attach signed conditional approval letter from Austin Energy Green Building)	
Is this site within an Airport Overlay Zone? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, approval through Aviation is required)		Does this site have a septic system? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, submit a copy of approved septic permit. OSSF review required)	
Does the structure exceed 3,600 square feet total under roof? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, Fire review is required)		Is this property within 200 feet of a hazardous pipeline? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, Fire review is required)	
Is this site located within an Erosion Hazard Zone? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, EHZ review is required)		Is this property within 100 feet of the 100-year floodplain? Y <input type="checkbox"/> N <input type="checkbox"/> (Proximity to floodplain may require additional review time.)	
Are there trees 19" or greater in diameter on/adjacent to the property? Y <input type="checkbox"/> N <input type="checkbox"/> If yes, how many? _____ (Provide plans with a tree survey, tree review required.)			
Was there a pre-development consultation for the Tree Review? Y <input type="checkbox"/> N <input type="checkbox"/>		Proposed impacts to trees: (Check all that apply) Root zone <input type="checkbox"/> Canopy <input type="checkbox"/> Removal <input type="checkbox"/> None/Uncertain <input type="checkbox"/>	
Is this site in the Capital View Corridor? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, a preliminary review through land use is needed to determine if full view corridor review is required.)		Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/>	
Does this site currently have: water availability? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> wastewater availability? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/>		(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)	
Does this site have or will it have an auxiliary water source? Y <input type="checkbox"/> N <input type="checkbox"/> (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)			
Does this site require a cut or fill in excess of four (4) feet? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, contact the Development Assistance Center for a Site Plan Exemption)			
Is this site within the Waterfront Overlay? Y <input type="checkbox"/> N <input type="checkbox"/> (LDC 25-2 Subchapter C Article 3)		Is this site within the Lake Austin Overlay? Y <input type="checkbox"/> N <input type="checkbox"/> (LDC 25-2-180, 25-2-647)	
Does this site front a paved street? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (If no, contact Development Assistance Center for Site Plan requirements.)		Is this site adjacent to a paved alley? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (Public Works approval required to take access from a public alley.)	
Does this site have a Board of Adjustment (BOA) variance? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.) Case # _____ (if applicable)			
Description of Work			
Is Total New/Added Building Area > 5,000 sq. Ft.? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, construction material recycling is required per LDC 25-11-39)			
Existing Use: vacant <input type="checkbox"/> single-family residential <input type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential <input type="checkbox"/> other: _____			
Proposed Use: vacant <input type="checkbox"/> single-family residential <input type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential <input type="checkbox"/> other: _____			
Project Type: new construction <input type="checkbox"/> addition <input type="checkbox"/> addition/remodel <input type="checkbox"/> other: _____			
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (Notes: Removal of all or part of a structure requires a Demolition Permit Application per LDC 25-11-37. A demo permit is not required for the removal of all or part of an interior wall, floor or ceiling)			
# existing bedrooms: 3	# bedrooms upon completion: 4	# baths existing: 1.0	# baths upon completion: 3
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) Remodel Interior of Existing Single Story House replace exterior windows and add a Two Story Addition in the back of the House.			
Trade Permits Required (Check as applicable): <input type="checkbox"/> electric <input type="checkbox"/> plumbing <input type="checkbox"/> mechanical (HVAC) <input type="checkbox"/> concrete (R.O.W.)			



**Total Remodeled Floor Area (if applicable)**

917 sq ft. (work within existing habitable square footage)

**Job Valuation – For Properties in a Floodplain Only**

Total Job Valuation:

\$ 0

Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.

Amount for Primary Structure: \$

Elec: ☐ Y ☐ N | Plmbg: ☐ Y ☐ N | Mech: ☐ Y ☐ N

Amount for Accessory Structure: \$

Elec: ☐ Y ☐ N | Plmbg: ☐ Y ☐ N | Mech: ☐ Y ☐ N**Site Development Information****Area Description**

Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.

**Existing sq. ft. to Remain****New/Added sq. ft.****Total sq. ft.****Bldg. 1****Bldg. 2****Bldg. 1****Bldg. 2****Bldg. 1****Bldg. 2**a) 1<sup>st</sup> Floor conditioned area

917.00

529.00

1,446.00

0.00

b) 2<sup>nd</sup> Floor conditioned area

479.00

479.00

0.00

c) 3<sup>rd</sup> Floor conditioned area

0.00

0.00

d) Basement

0.00

0.00

e) Covered parking (garage or carport)

0.00

0.00

f) Covered patio, deck, porch, and/or balcony area(s)

99.00

422.00

521.00

0.00

g) Other covered or roofed area

0.00

0.00

h) Uncovered wood decks

0.00

0.00

0.00

0.00

0.00

**Total Building Area** (total a through h)

1,016.00

0.00

1,430.00

0.00

2,446.00

0.00

i) Pool

0.00

0.00

j) Spa

0.00

0.00

k) Remodeled Floor Area, excluding Addition / New Construction

0.00

0.00

**The Calculation Aid on page 7 is to be used to complete the following calculations and to provide additional information.****Building Coverage Information**

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Total Building Coverage (sq ft): 1,967.00

% of lot size: 32.00

**Impervious Cover Information**

Note: Impervious cover is the total horizontal area of covered spaces including building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)

Total Impervious Cover (sq ft): 2,406.00

% of lot size: 39.00

**Setbacks**

Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492)

Y

N

Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513)

Y

N

Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778)

Y

N

**Height Information** (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)

Building Height: 23 ft 9 in Number of Floors: 2

**Parking** (LDC 25-6 Appendix A & 25-6-478)

# of spaces required: 1 # of spaces provided: 1

**Right-of-Way Information**

Is a sidewalk required for the proposed construction? (LDC 25-6-353)

Y

N

\*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project?

Y

N

Width of approach (measured at property line): 10.0 ft

Distance from intersection (for corner lots only): ft

Are storm sewer inlets located within ten (10) feet of the end of any proposed driveway?

Y

N

(New driveways within ten(10) feet of an inlet will require additional review)



## Subchapter F

### Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing sq. ft. to remain	New/Added sq. ft.	Proposed Exemption (check article utilized)	Applied Exemption sq. ft.	Total sq. ft.
1 <sup>st</sup> Floor	917.00	529.00			1,446.00
2 <sup>nd</sup> Floor		479.00			479.00
3 <sup>rd</sup> Floor					0.00
Area w/ ceilings > 15'			Must follow article 3.3.5		0.00
Ground Floor Porch <sup>1</sup> (check article utilized)	99.00		<input checked="" type="checkbox"/> Full Porch sq. ft. (3.3.3.A) <input type="checkbox"/> 200 sq. ft. (3.3.3 A 2)	99.00	0.00
Basement <sup>4</sup>			Must follow article 3.3.3B, see note below		0.00
Attic <sup>5</sup>			Must follow article 3.3.3C, see note below		0.00
Garage <sup>2</sup> (check article utilized)	Attached		<input type="checkbox"/> 200 sq. ft. (3.3.2 B 1)		0.00
	Detached		<input type="checkbox"/> 450 sq. ft. (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq. ft. (3.3.2 B 2a / 2b)		0.00
Carport <sup>2</sup> : (check article utilized)	Attached		<input type="checkbox"/> 450 sq. ft. (3.3.2 A 3) <input type="checkbox"/> 200 sq. ft. (3.3.2 B 1) <sup>3</sup>		0.00
	Detached		<input type="checkbox"/> 450 sq. ft. (3.3.2 A 1)		0.00
Accessory Building(s) (detached)					0.00
Totals	1,016.00	1,008.00	TOTAL GROSS FLOOR AREA		1,925.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 0.31 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y ☒ N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

**1 Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

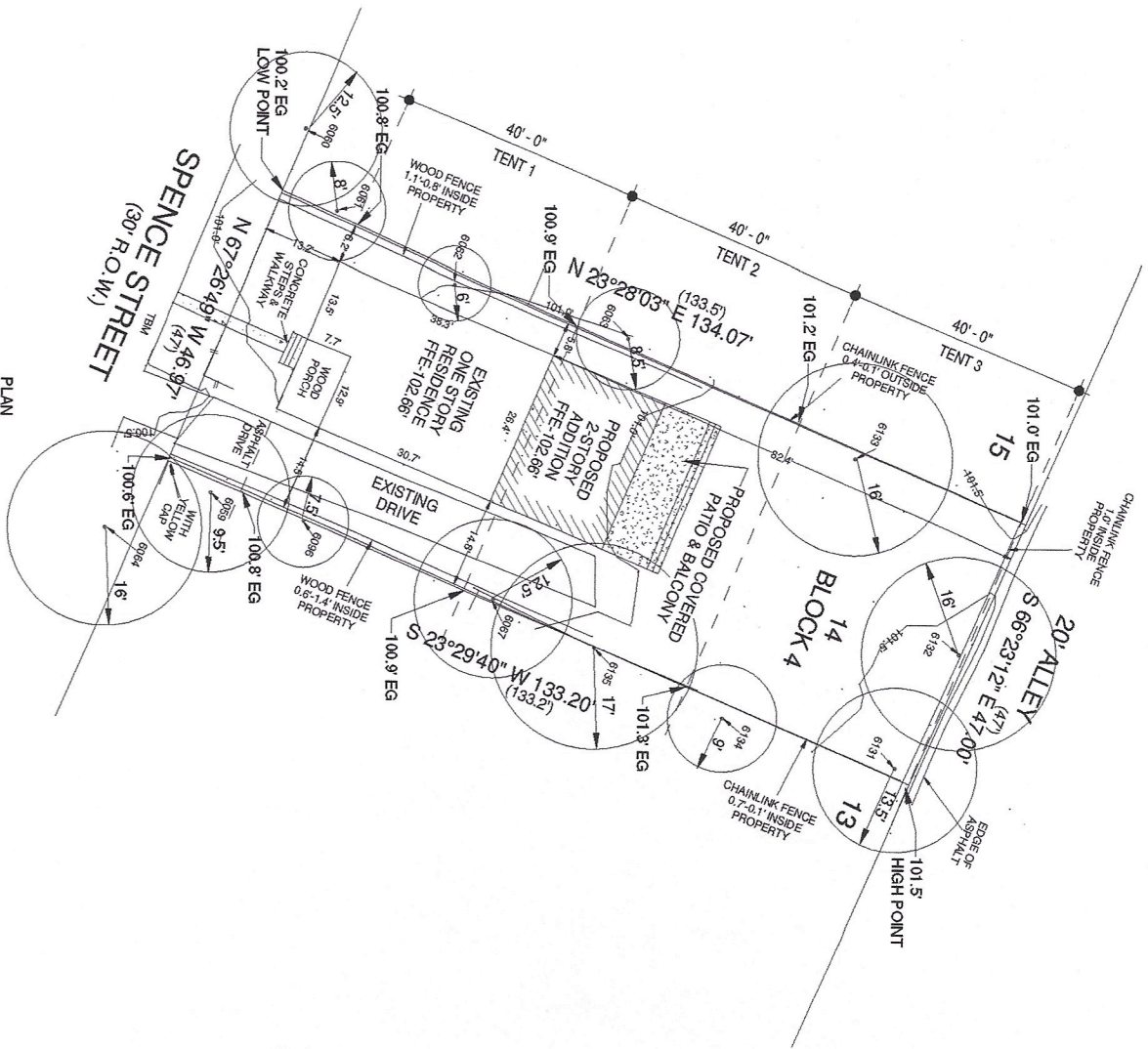
**2 Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

**3 Ordinance article 3.3.2 B 1** is 200 sq. ft. exemption may be combined with a 450 sq. ft. exemption. Otherwise only one 450 exemption or one 200 sq. ft. exemption may be taken.

**4 Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

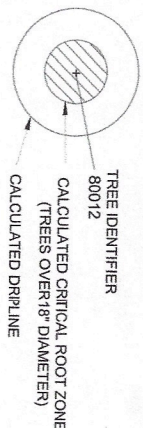
**5 Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area over 5 feet has a ceiling height of seven feet or less.





TREE LEGEND	
TREE #	TREE TYPE & DIAMETER(SIZE IN INCHES)
6059	UNKNOWN TREE 7.5, 9.6
6060	CHINESE PARASOL TREE 12.5
6061	CHINESE PARASOL TREE 8
6062	CHINESE PARASOL TREE 6
6063	PECAN 8.5
6064	PALM 16
6096	HACKBERRY 7.5
6067	HACKBERRY 6, 6, 7
6131	HACKBERRY 13.5
6132	HACKBERRY 16
6133	HACKBERRY 16
6134	RED OAK 9
6135	PECAN 17

GRAPHIC REPRESENTATION OF TREE DRIPLINE:  
 EXAMPLE: A TRIPLE STEM TREE WITH STEMS 10", 8", 6"  
 SHALL RENDER A GRAPHICAL RADIUS OF  $10 + (8/2) + (6/2) = 17$  FEET



ALL structures MUST maintain 7' clearance from ALL overhead distribution power lines (this includes wires) indicated by A&E and NEPC codes.  
 THIS REVIEW DOES NOT INCLUDE TRANSMISSION LINES.

**APPROVED**  
 By dated at 8:38 am, Apr 10, 2021





# Demolition Permit Application

DevelopmentATX.com | Phone: 311 (or 512-974-2000 outside Austin)  
For submittal and fee information, see [austintexas.gov/digitaldevelopment](http://austintexas.gov/digitaldevelopment)

Download application before entering information.

## For Office Use Only – Permit Information

BP- \_\_\_\_\_ PR- \_\_\_\_\_ Historic Review: \_\_\_\_\_ Year Built: \_\_\_\_\_  
Referred By: \_\_\_\_\_ Historic District Name: \_\_\_\_\_  
☐ Release permit  
\_\_\_\_\_  
Historic Preservation Office \_\_\_\_\_ Date \_\_\_\_\_

**IMPORTANT:** Inspections are required for all demolition projects. If you do not schedule a final inspection, the permit will expire after twelve (12) months from the date of application. To close an expired permit, applicants must submit a NEW application for the project and associated fees for the project.

**DO NOT LET YOUR PERMIT EXPIRE!**

**HISTORIC LANDMARKS AND HISTORIC DISTRICTS:** If this property is a historic landmark or a contributing property in a local or National Register Historic District, additional applications and fees apply. Visit the Historic Preservation Office website at [www.austintexas.gov/department/historic-preservation](http://www.austintexas.gov/department/historic-preservation) for more information.

## Submittal Requirements

- ☐ 1. Owner authorization/signature, **notarized** at the bottom of the next page, **OR** a **notarized** letter of authorization from the owner giving the applicant permission to apply. Electronically notarized applications are preferred; otherwise, a hard copy of the original notarized application must be mailed for City records to, City of Austin – DSD, Attn: Residential Review, PO Box 1088, Austin, TX 78767
- ☐ 2. Dimensioned site plans or survey that shows all existing structures and the structures to be demolished
- ☐ 3. Certified tax certificate(s) from the Travis County Tax Assessor (5501 Airport Boulevard, 512-854-9473)
- ☐ 4. Photos of each side of structure. One photo must show the entire elevation visible from the street. Photos must be two megapixels (1200 x 1600 pixels) or larger.
- ☐ 5. Tree survey with all trees 19" or greater shown on plans
- ☐ 6. Review Fee (see [fee schedule](#) for applicable fees)

### Additional requirements for commercial demolitions:

- ☐ 7. Approved/Red-stamped Site Plan OR an approved Site Plan Exemption Form
- ☐ 8. Texas Department of Health Asbestos Notification Form completed by a licensed inspector or contractor

## Property Information

Address: 902 Spence Street  
City: Austin Zip: 78702  
Current Use: Residential

## Demolition Type

☐ Total ☒ Partial: identify the exterior wall(s), roof, or portion of wall(s) and roof to be demolished:  
\_\_\_\_\_  
\_\_\_\_\_

## Demolition Contractor Information

Company: A Vision General Contractors, LLC  
Address: PO Box 19524  
City: Austin Zip: 7876  
Phone: (512) 633-8982

## Structural Information

Square Feet: 858  
Building Materials: Wood Frame  
Foundation Type: pier n beam  
Estimated Cost of Demolition: \$2,500.00



Owner	Applicant
Name: <u>Ronald D Wong</u>	Name: <u>Art Ramirez</u>
Address: <u>902 Spence Street</u>	Address: <u>1110 E. 81</u>
City: <u>Austin</u> Zip: <u>78702</u>	City: <u>Aus, Tx. 78702</u> Zip: _____
Phone: <u>(210) 445-6421</u>	Phone: <u>(512) 633-8582</u>
Email: <u>rwongsatx@yahoo.com</u>	Email: <u>artramirez777@yahoo.com</u>

### Additional Questions

Are there trees 19 inches or greater in diameter on the site or along neighboring properties? ☐ Yes ☐ No

Was the structure inhabited within the last 12 months? ☒ Yes ☐ No

What is the total number of housing units that will be demolished? 0

What is the total number of bedrooms in the units that will be demolished? 0

How many currently occupied residential units will be demolished? 0

If 5 or more, tenant notification and a certified form may be required with your application per the City of Austin Land Development Code (Division 23-4E-8; F25-1-712 and 713). Visit [www.austintexas.gov/page/tenant-relocation-assistance](http://www.austintexas.gov/page/tenant-relocation-assistance) for more information.

Is the property located in a National Register historic district, a historic district (zoned HD), or a historic landmark (zoned H)? \_\_\_\_\_

### Consent, Authorizations, and Signatures

I understand and will adhere to the following rules or regulations:

1. No work may begin prior to issuance of this permit. All required permits must be obtained prior to the start of work.
2. Verify with the Development Assistance Center that new construction will be permitted on the property at this location PRIOR to submitting this application.
3. If the structure to be demolished is tied into water and/or sewer services provided by the City of Austin, you must contact Austin Water Utility at 512-494-9400 to obtain specific water and sewer service information.
4. Erosion and sedimentation controls are required by the City of Austin Land Development Code (§23-4D-7; F25-8-181). Failure to comply may result in a Stop Work Order and/or legal action by the City of Austin, including criminal charges and fines of up to \$2,000 per day. Inspection of erosion, sedimentation controls, and tree protection must be requested by the owner before construction begins (§23-5B-6050 (B); F25-1-288). Call (512) 974-2278 or email [environmental.inspections@austintexas.gov](mailto:environmental.inspections@austintexas.gov) to obtain these inspections.
5. Tree preservation is required per the Land Development Code (Article 23-4C; F25-8-B) and Environmental Criteria Manual (§3.5.2 (A)). Proposed work that will remove, impact the critical root zone, or prune more than 25% of the canopy of a protected size tree must be reviewed for a tree permit. Note: Root zone protection measures (e.g. fencing, boards attached to the trunk, mulch) are required prior to work. Obtain an application from the City Arborist Program at [cityarborist@austintexas.gov](mailto:cityarborist@austintexas.gov) or [www.austintexas.gov/department/community-tree-preservation](http://www.austintexas.gov/department/community-tree-preservation).
6. If the proposed work will require use of City right of way, a Right of Way Application must be approved. Obtain an application from the Transportation Department at (512) 974-7180 or [www.austintexas.gov/rowman](http://www.austintexas.gov/rowman).
7. The Historic Preservation Office will determine if the referenced structure meets historic designation criteria as defined by the Land Development Code (Article 23-6E; F25-11-213 to 214; and §23-3C-10090; F25-2-352). Additional review by the Historic Landmark Commission may be required and additional fees may be assessed. If the property is a historic landmark or is located in a local or National Register historic district, the Historic Landmark Commission must review plans for new construction before the demolition permit is released. Call (512) 974-3583, email [preservation@austintexas.gov](mailto:preservation@austintexas.gov), or visit [www.austintexas.gov/department/historic-preservation](http://www.austintexas.gov/department/historic-preservation) for more information.
8. Construction projects exceeding 5,000 square feet of new, added, or remodeled floor area and all permitted commercial and multifamily demolition projects are required to divert construction debris from the landfill per the Land Development Code (§23-6C-2060; F25-11-39). Email [constructionrecycling@austintexas.gov](mailto:constructionrecycling@austintexas.gov) or visit [www.austintexas.gov/department/construction-demolition-recycling-ordinance](http://www.austintexas.gov/department/construction-demolition-recycling-ordinance) for more information.



902 SPENCE



FRONT

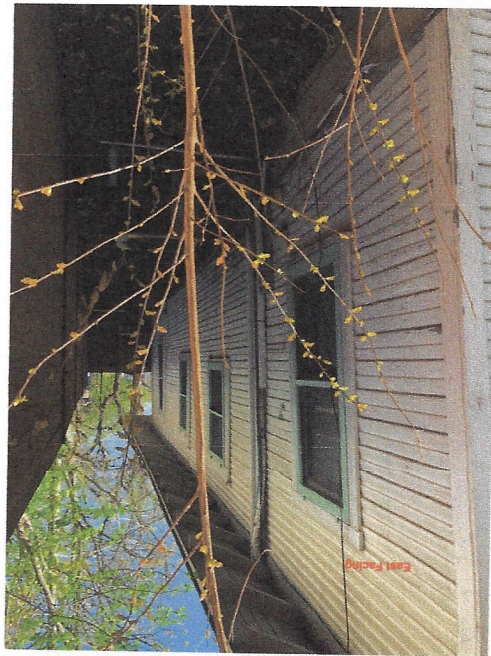
BACK







WEST



EAST

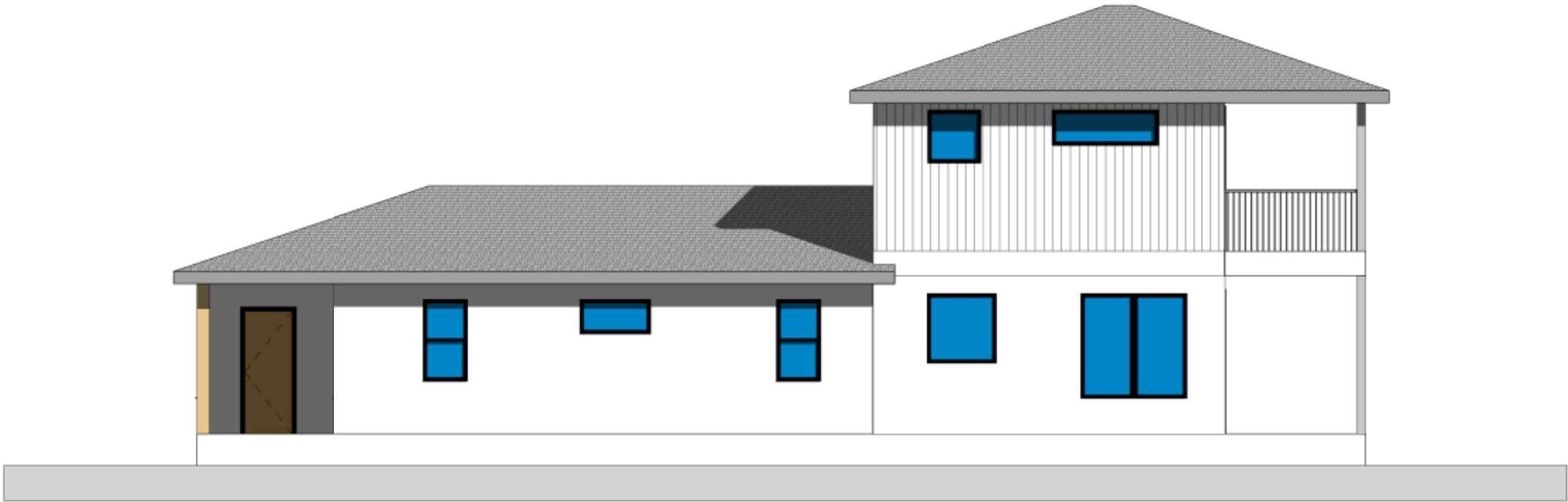
902 SPENCE





Ponceano Morales III

3/22/21



**INDEX OF DRAWINGS**

NOTE: All drawings are drawn for compliasnce with the 2015 IRC and City of Austin Amendments

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- A1 Site Survey
- A2 McMansion Site Plan
- A3 Existing Demo Floor Plan
- A4 Renovated First Floor Plan & General Notes
- A5 New Second Floor Plan & Door and Window Schedules
- A6 North and South Exterior Elevations
- A7 East and West Exterior Elevations
- A8 Electrical Floor Plans 1st and 2nd Floors and Roof Plan
- A9 Interior Elevations
- A10 Interior Elevations & Wall Section

**Structural Drawings:**

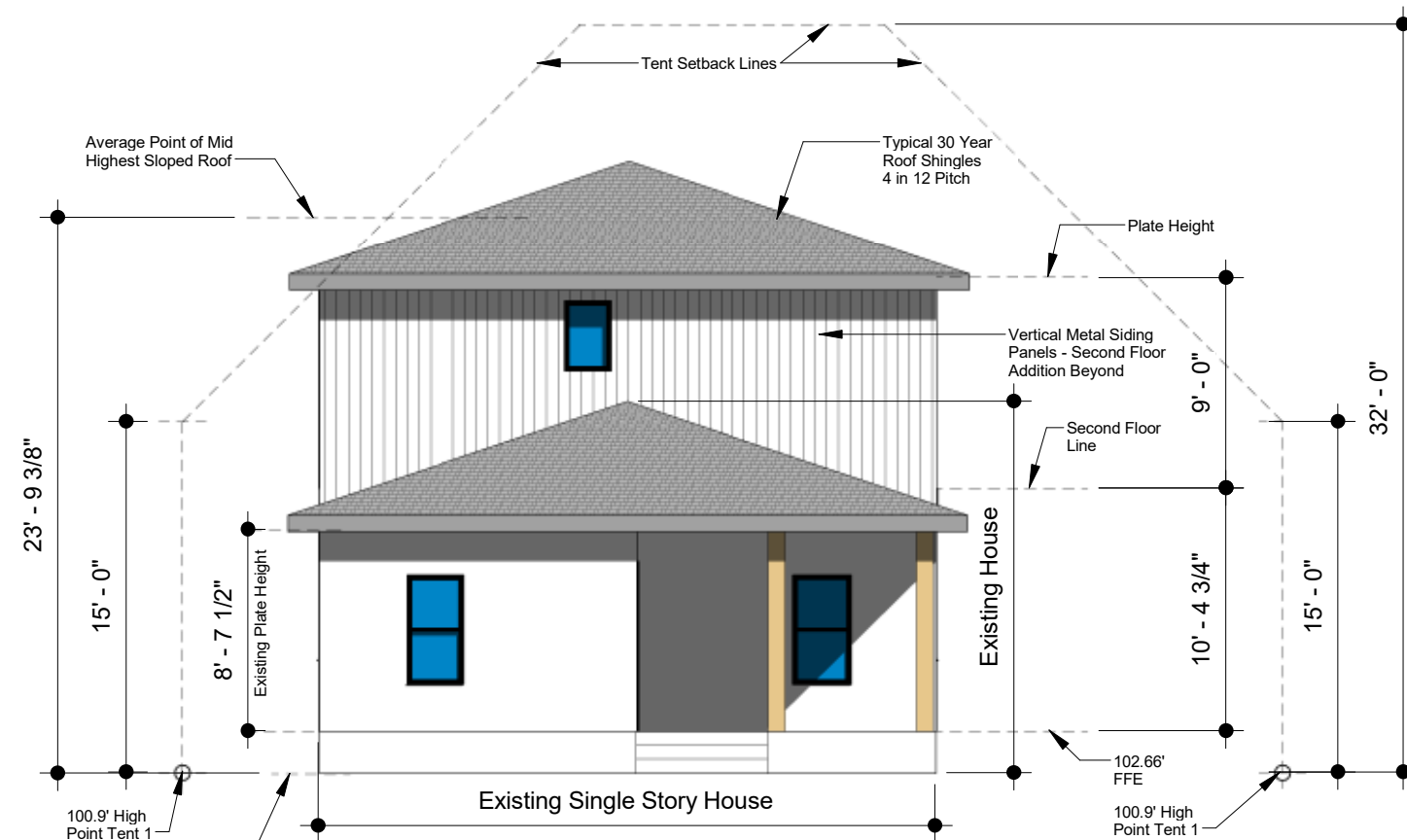
- S1 Structural General Notes
- S2 Foundation Plan
- S3 2nd Floor & Lower Roof Framing Plans
- S4 Roof Framing Plan
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- S6 Structural Details
- S7 Wind Brace Plan First Floor
- S8 Wind Brace Plan Second Floor





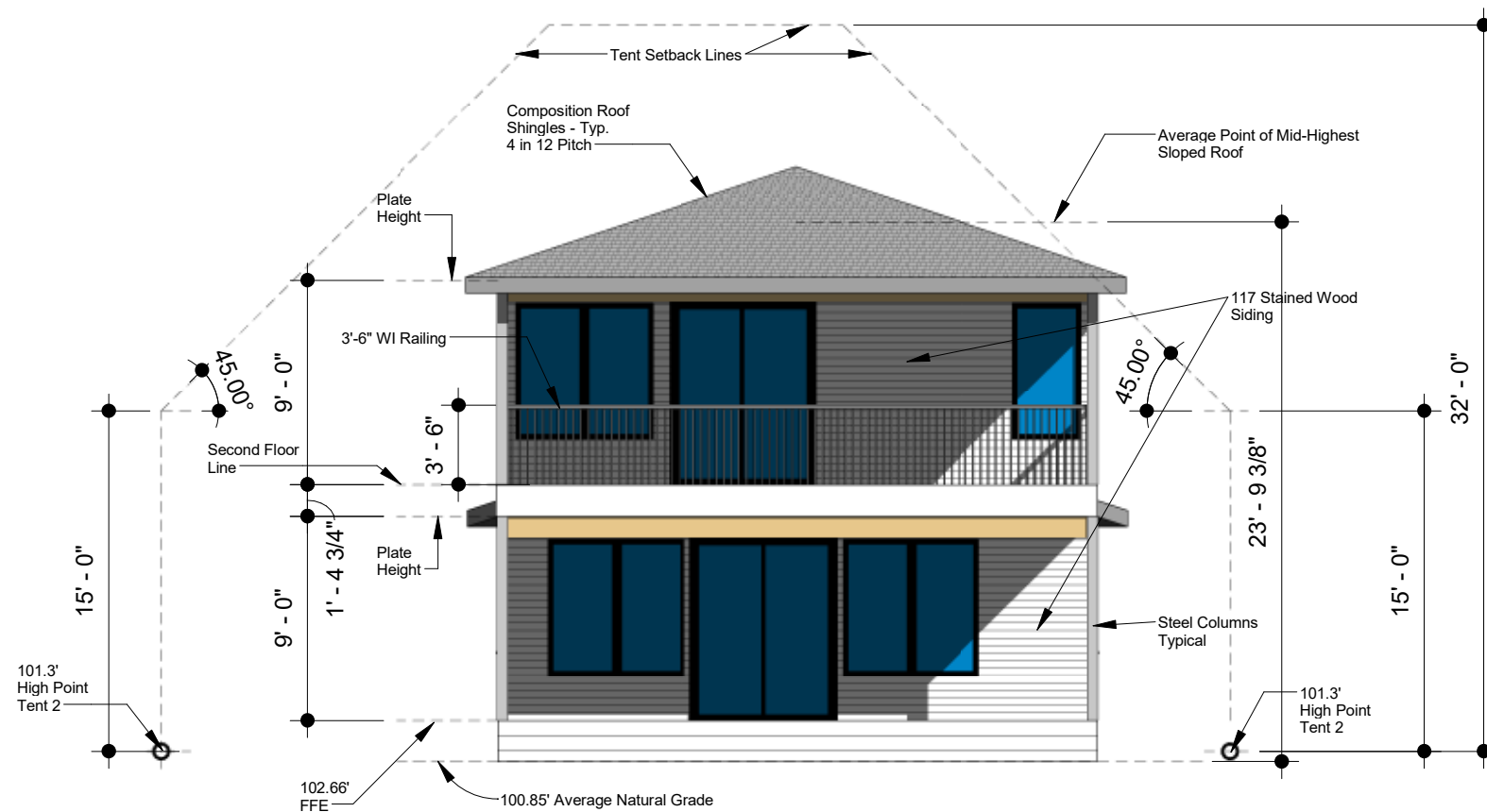
Ponceano Morales III

3/22/21



### South Front Elevation

Scale: 1/8" = 1'-0"



### North Rear Elevation

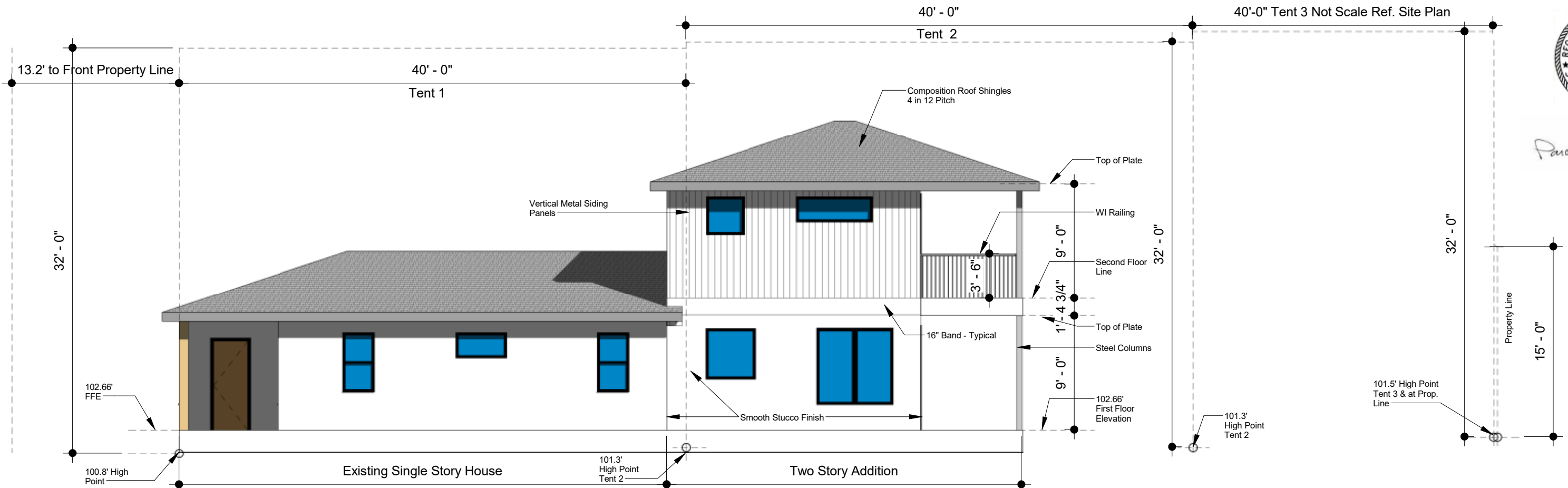
Scale: 1/8" = 1'-0"





Ponceano Morales III

3/22/21



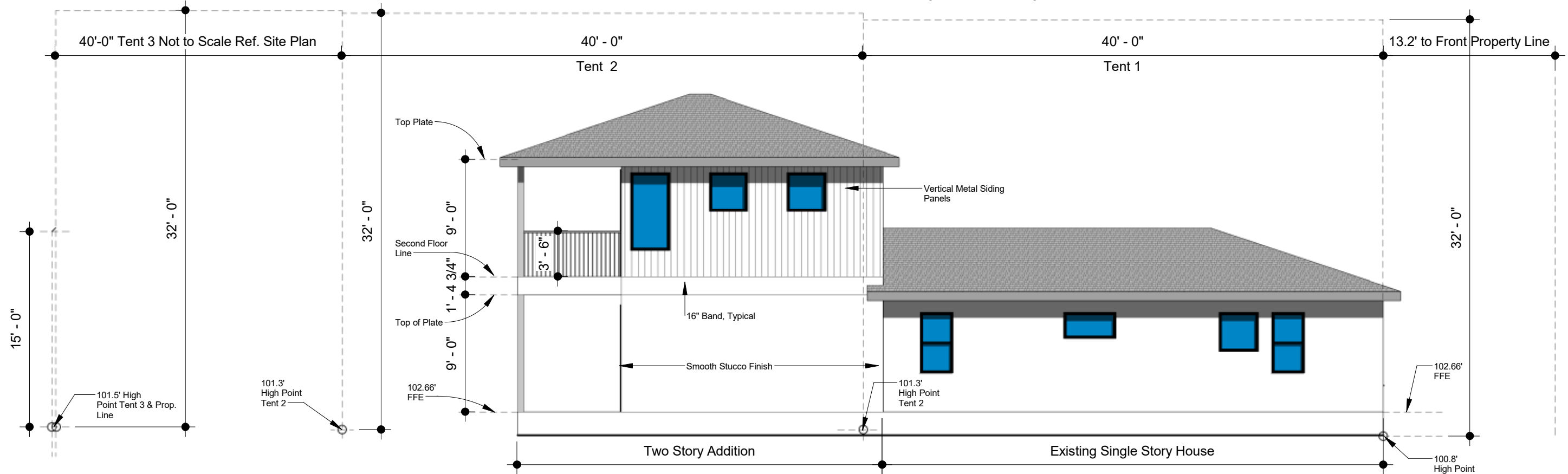
## East Right Side Elevation

Scale: 1/8" = 1'-0"

### NOTES:

Install Steel Surround Shadow Box on East and West Wall Windows of the New Two Story Addition Only.

Replace all Existing Deteriorated Wood Siding on Existing House with New Wood Siding to Match Existing



## West Left Side Elevation

Scale: 1/8" = 1'-0"