

Elisabet Ney Museum Building Restoration & Site Improvements - HVAC and Lighting

CIP: 7551.005

304 E 44th St,
Austin, TX 78751

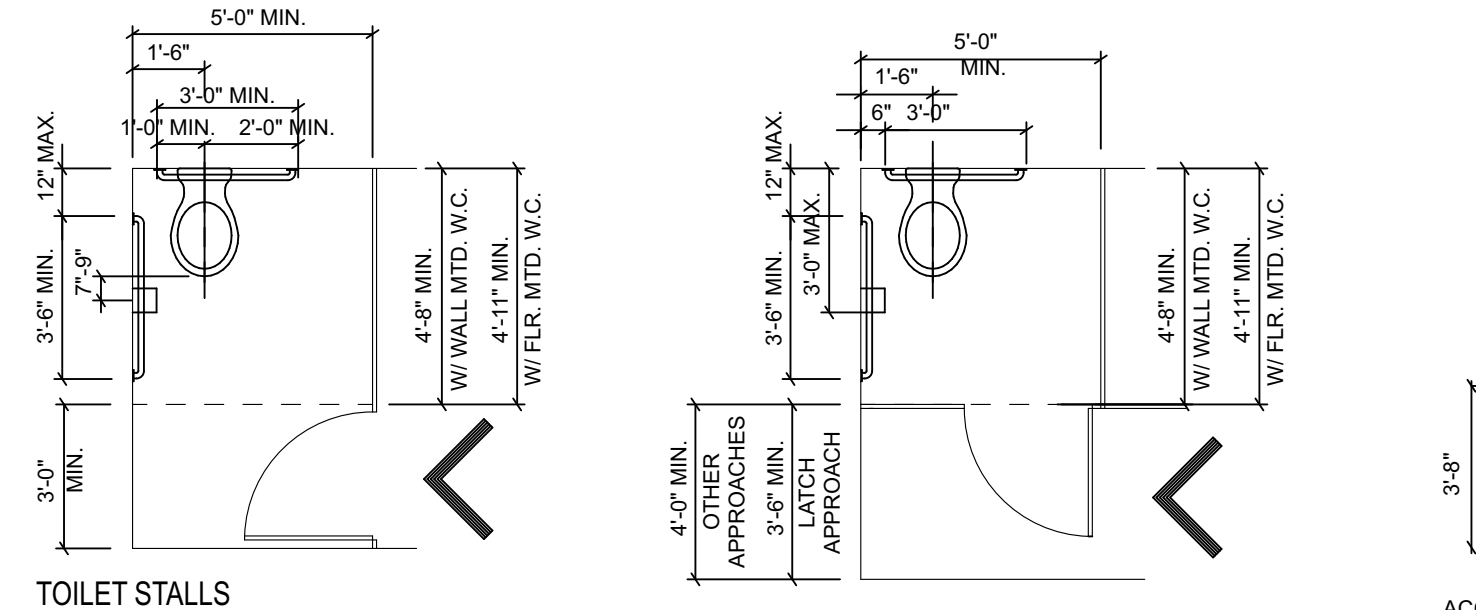
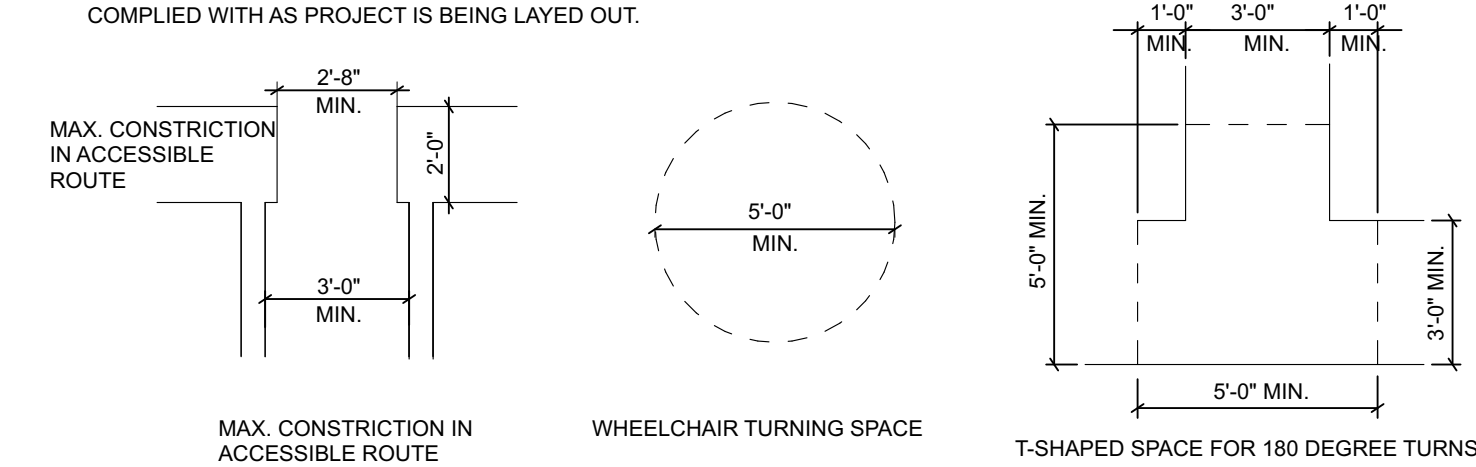
ELIZABETH NEY MUSEUM BUILDING RESTORATION SITE IMPROVEMENTS - HVAC AND LIGHTING AUSTIN, TX BUILDING CODE REQUIREMENTS									
APPLICABLE CODES:									
BUILDING	2015 IRC W/ LOCAL AMENDMENTS								
ENERGY	2015 IECC W/ LOCAL AMENDMENTS								
EXIST. BUILDING	2015 IECC W/ LOCAL AMENDMENTS								
ELEC	2009 NEC W/ LOCAL AMENDMENTS								
MECH	2015 IMC W/ LOCAL AMENDMENTS								
PLUMB	2015 UPC W/ LOCAL AMENDMENTS								
FIRE	2015 IFC W/ LOCAL AMENDMENTS								
ACCESSIBILITY	Texas Accessibility Standards								
OCCUPANCY AND CONSTRUCTION TYPE									
BUILDING CONSTRUCTION TYPE:	OCCUPANCY TYPE	CONSTR. TYPE	ALLOWABLE HEIGHT	ALLOWABLE STORIES	ALLOWABLE AREA**				
MUSEUM	A-3	NS-III-B*	55	2	9,500				
* Based on available information from existing drawings.									
ALLOWABLE AREA									
Area Calculation: $A_g = A_t + (A_t * F) + (A_t * I_s)$									
Where: A_t = Tabular Area									
I_s = Area increase due to Frontage-See Below									
I_s = Area increase due to Spillover ² for multi-story buildings, 3 for single									
Frontage Calculation: $I_s = (FIP - 0.25) * WIS$									
Where: F = Building Perimeter which fronts at least 20' clear space									
P = Building Perimeter									
W = Width of Open Space									
MUSEUM - Unsprinkled	P	P	W	P	I _s	A _g			
	224	P	224	30	0.75	1	16,825		
OCCUPANT LOAD AND EXITING REQUIREMENTS:									
Occupancy Type	Sq. Ft.	Area/ Occ.	Occ. Load	Required Exit Width					
				Stairs	Corr.	2 BRIDGE**			
Reception Room 101	A-3	200	30 Net	2	6	5			
Studio 102	A-3	795	30 Net	27	6	5			
Studio 103	A-3	665	30 Net	22	7	4			
Bedroom Studio 201	A-3	845	30 Net	22	6	4			
Office 005	A-3	265	100	3	1	1			
Club Storage 001	A-3	120	300	0	0	0			
Collection Storage Room 002	A-3	119	300	0	0	0			
Storage 003	A-3	75	300	0	0	0			
Kitchenette 004	A-3	159	200	1	0	0			
Bedroom 003	A-3	22	100	0	0	0			
Hall 006	A-3	94	100	1	0	0			
Stair Hall 007	A-3	103	100	1	0	0			
Stair Hall 104	A-3	102	100	1	0	0			
Stair Hall 202	A-3	99	100	1	0	0			
SUBTOTAL		3,467		86	26	17			
TOTAL BUILDING AREA		3,467							
ALLOWED BUILDING AREA		9,500							
**100% 2 The minimum width in inches of any means of egress component shall not be less than that specified for such component, elsewhere in this code.									

FIRE RESISTIVE REQUIREMENTS:		FIRE RESISTIVE RATINGS FOR EXT. WALLS	
BUILDING CONSTRUCTION TYPE	II-B	TYPE I-B	TYPE II-B
STRUCTURAL FRAME (including columns, girders, beams)	0	0-2"	0-2"
BEARING WALLS	2	0-2"	0-2"
NON-BEARING WALLS	0	0-2"	0-2"
FLOOR CONSTRUCTION (including support beams and joists)	0	0-2"	0-2"
ROOF CONSTRUCTION (including support beams and joists)	0	0-2"	0-2"

MAXIMUM AREA OF EXTERIOR OPENING		UNPROT. RE.	UNPROT. S.	PROTECTED
7'-0"	NP	NP	NP	NP
8'-0"	NP	NP	NP	NP
9'-0"	NP	NP	NP	NP
10'-0"	NP	NP	NP	NP
11'-0"	NP	NP	NP	NP
12'-0"	NP	NP	NP	NP
13'-0"	NP	NP	NP	NP
14'-0"	NP	NP	NP	NP
15'-0"	NP	NP	NP	NP
16'-0"	NP	NP	NP	NP
17'-0"	NP	NP	NP	NP
18'-0"	NP	NP	NP	NP
19'-0"	NP	NP	NP	NP
20'-0"	NP	NP	NP	NP
21'-0"	NP	NP	NP	NP
22'-0"	NP	NP	NP	NP
23'-0"	NP	NP	NP	NP
24'-0"	NP	NP	NP	NP
25'-0"	NP	NP	NP	NP
26'-0"	NP	NP	NP	NP
27'-0"	NP	NP	NP	NP
28'-0"	NP	NP	NP	NP
29'-0"	NP	NP	NP	NP
30'-0"	NP	NP	NP	NP

NOTE: GENERAL CONTRACTOR SHALL VERIFY ALL REQUIRED CLEARANCE REQUIREMENTS ARE COMPLIED WITH AS PROJECT IS BEING LAYED OUT.

ACCESSIBLE ROUTE

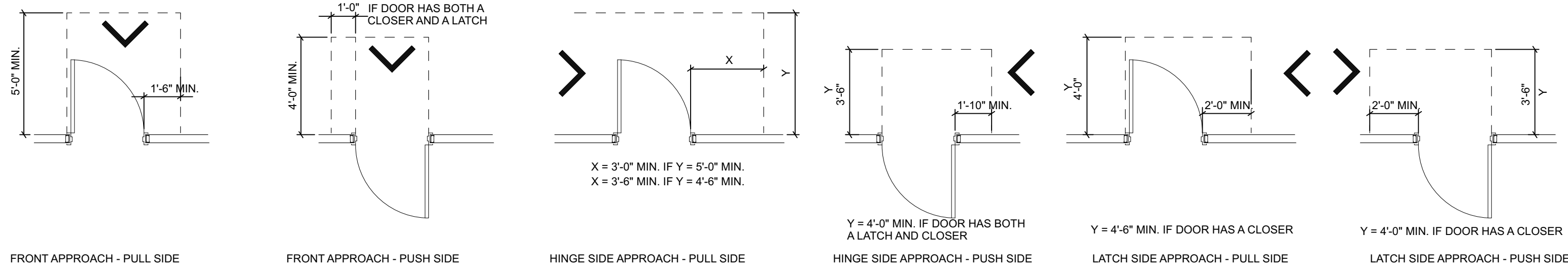


NOTE: FLUSH CONTROLS SHALL BE LOCATED ON WIDE SIDE OF ROOM AND SHALL BE MOUNTED NO MORE THAN 44 IN. ABOVE F.F.

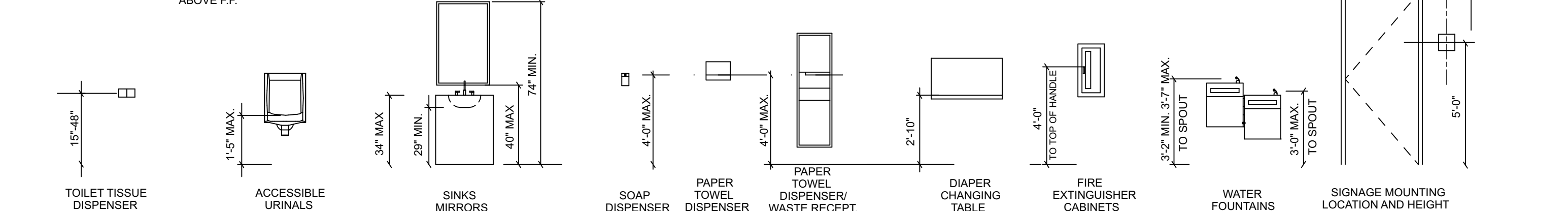
STANDARD STALL (END OF ROW)

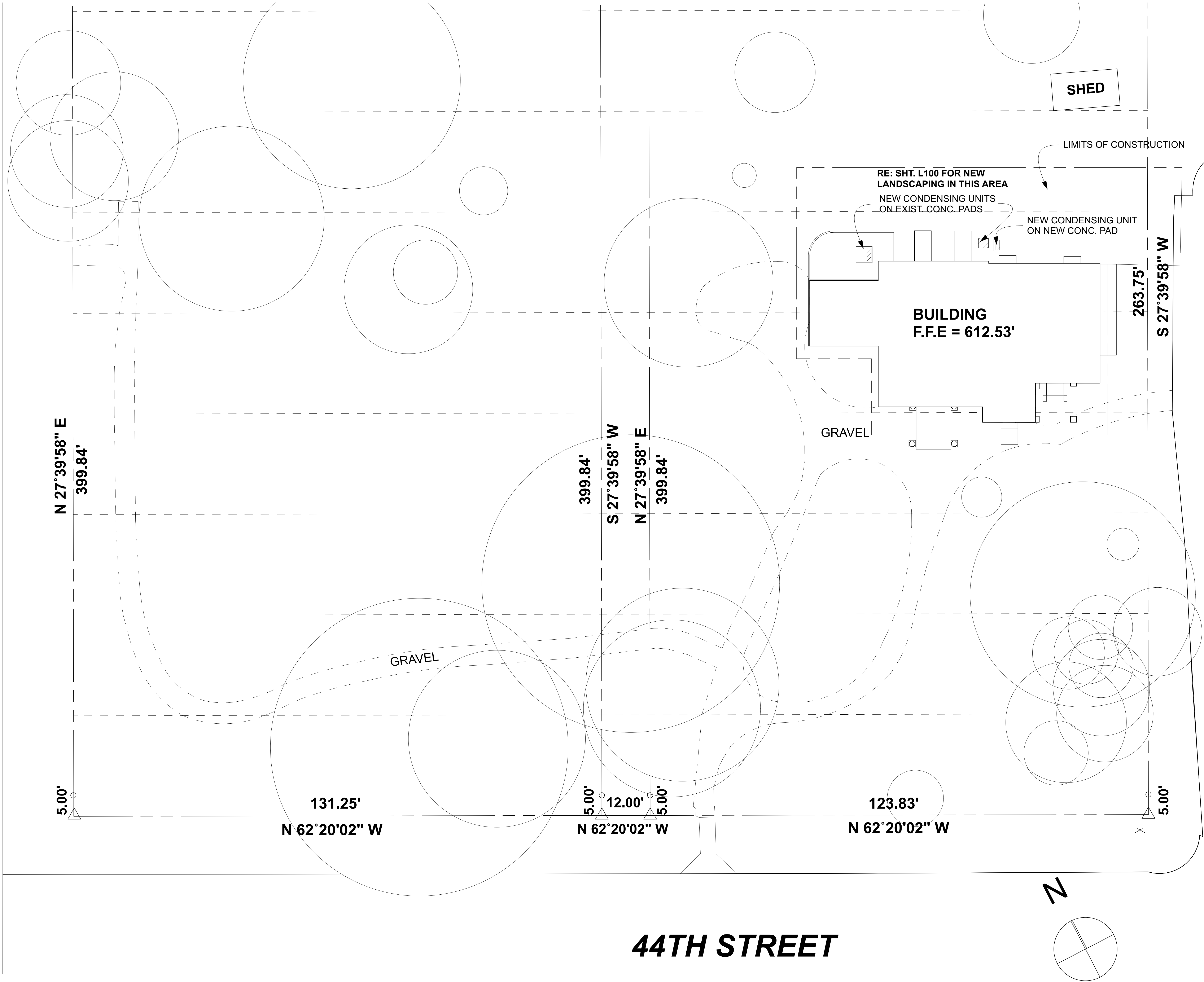
ACCESSIBILITY & FIRE/LIFE SAFETY STANDARDS

MANEUVERING CLEARANCES AT DOORS



NOTE: URINAL FLUSH CONTROLS SHALL BE MOUNTED NO MORE THAN 44 IN. ABOVE F.F.





- GENERAL NOTES:
1. PRIOR TO PROPOSAL SUBMISSION, THE CONTRACTOR SHALL VISIT THE SITE TO REVIEW THE EXISTING CONDITIONS ASSOCIATED WITH THE SCOPE OF WORK AND ADJACENT AREAS TO ASCERTAIN THE DIFFICULTIES WHICH WILL AFFECT THE EXECUTION OF THE WORK OF THIS CONTRACT.
 2. SUBMISSION OF A PROPOSAL WILL ALSO BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR ACKNOWLEDGES THAT THE PLANS ARE SUFFICIENT TO DO WORK AND THE ABOVE SITE EXAMINATION HAS BEEN MADE. LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE. PROVIDING A BID FOR THE WORK IS ACKNOWLEDGING THAT PLANS ARE SUFFICIENT TO DO WORK.
 3. EXISTING BUILDINGS, PAVEMENT, SIDEWALKS, CURBS, DRIVEWAYS, ELECTRICAL TRANSFORMERS, DITCHES, DRAINAGE PIPES AND STRUCTURES, FENCES, LAWNS, TREES, BUSHES, MAILBOXES, SIGNS, POWER POLES ETC., TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE DURING CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE. ALL DAMAGES SHALL BE RESTORED OR REPLACED TO AT LEAST THEIR ORIGINAL CONDITION OR AS REQUIRED OR DICTATED BY STATE, COUNTY, CITY OR LOCAL GOVERNING AGENCIES. ANY UTILITIES REQUIRED TO REMAIN IN SERVICE FOR EXISTING BUILDING ADDITIONS TO REMAIN SHALL BE PROTECTED.
 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER AND ALL THE UTILITY COMPANIES AND DEPARTMENTS 72 HOURS OR AS REQUIRED BEFORE CONSTRUCTION IS TO START TO VERIFY ANY UTILITIES THAT MAY BE PRESENT ON SITE. ALL VERIFICATIONS, LOCATIONS, SIZE AND DEPTHS SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES OR DEPARTMENTS. WHEN EXCAVATING UNDER OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THE UTILITY MAY BE PRESENT DURING THE EXCAVATION TO INSTRUCT AND OBSERVE DURING THE EXCAVATION, VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE STARTING CONSTRUCTION OPERATIONS.
 5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY WITH EACH UTILITY COMPANY AND OR AGENT WHO IS RESPONSIBLE TO REMOVE OR RELOCATE EACH EXISTING UTILITY. IT FURTHER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BEAR THE COST FOR THE REMOVAL, TERMINATION OR RELOCATION OF UTILITIES IF THE RESPONSIBILITY IS NOT COVERED BY THE UTILITY COMPANY.
 6. ALL CONTRACTORS MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. ACTUAL FIELD LOCATIONS OF ALL THE EXISTING UTILITIES ARE THE CONTRACTOR'S RESPONSIBILITY AND MUST BE LOCATED EITHER BY THE REPRESENTATIVE OF THE UTILITY COMPANY OR BY A PRIVATE UNDERGROUND UTILITY LOCATING COMPANY PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AT HIS EXPENSE ALL AUTOMOBILE AND PEDESTRIAN TRAFFIC CONTROL DEVICES REQUIRED BY STATE, COUNTY AND OR LOCAL AGENCIES.

BOUNDARY SURVEY OF
TRACT 1A (52,478 SQ.FT.)
LOTS 1-16, BLOCK 2
VOLUME 684, PAGE 365, DEED RECORDS OF TRAVIS
COUNTY, TEXAS.
TRACT 1B (49,513 SQ.FT.)
LOTS 17-32, BLOCK 2
VOLUME 684, PAGE 365, DEED RECORDS OF TRAVIS
COUNTY, TEXAS.
TRACT 2 (3,883 SQ.FT.)
R.O.W. VACATION
ORDINANCE NO. 690703-E
VOLUME 3712, PAGE 1106, DEED RECORDS OF TRAVIS
COUNTY, TEXAS.

1 PARTIAL SITE PLAN
SCALE: 1" = 10'

7509 Manchaca Rd., Bldg. 6 Austin, Texas 78745
Tel: (512) 478-1621
www.heimsath.com

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304 E 44th St., Austin, TX 78751

Architect / Registration:
Ben Heimsath, #13983
Date: 5/21/21

Not for regulatory approval, permitting, or construction

80% CONSTRUCTION DOCUMENTS

ARCHITECTURAL SITE

Revisions		
No.	Date	Remarks

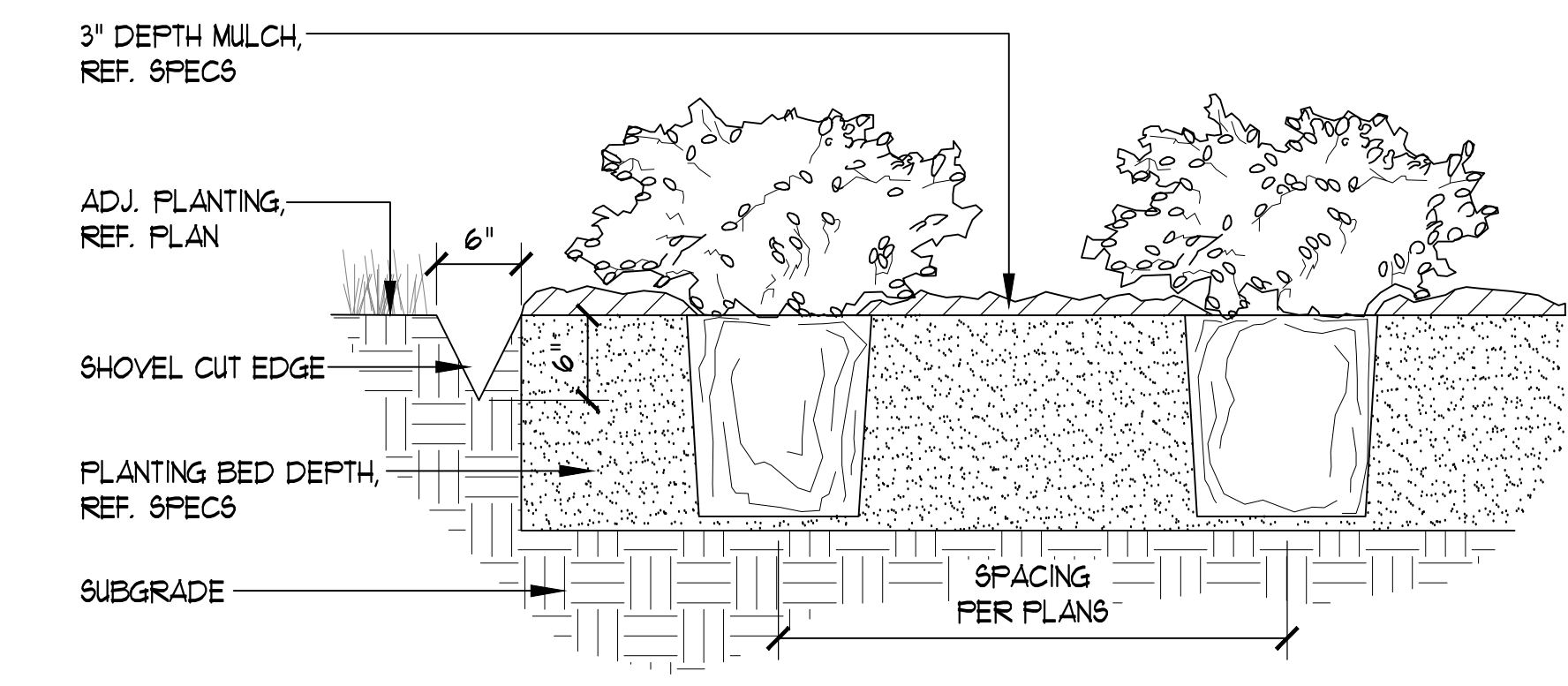
Project #:
2019-930

Date:
5/21/21

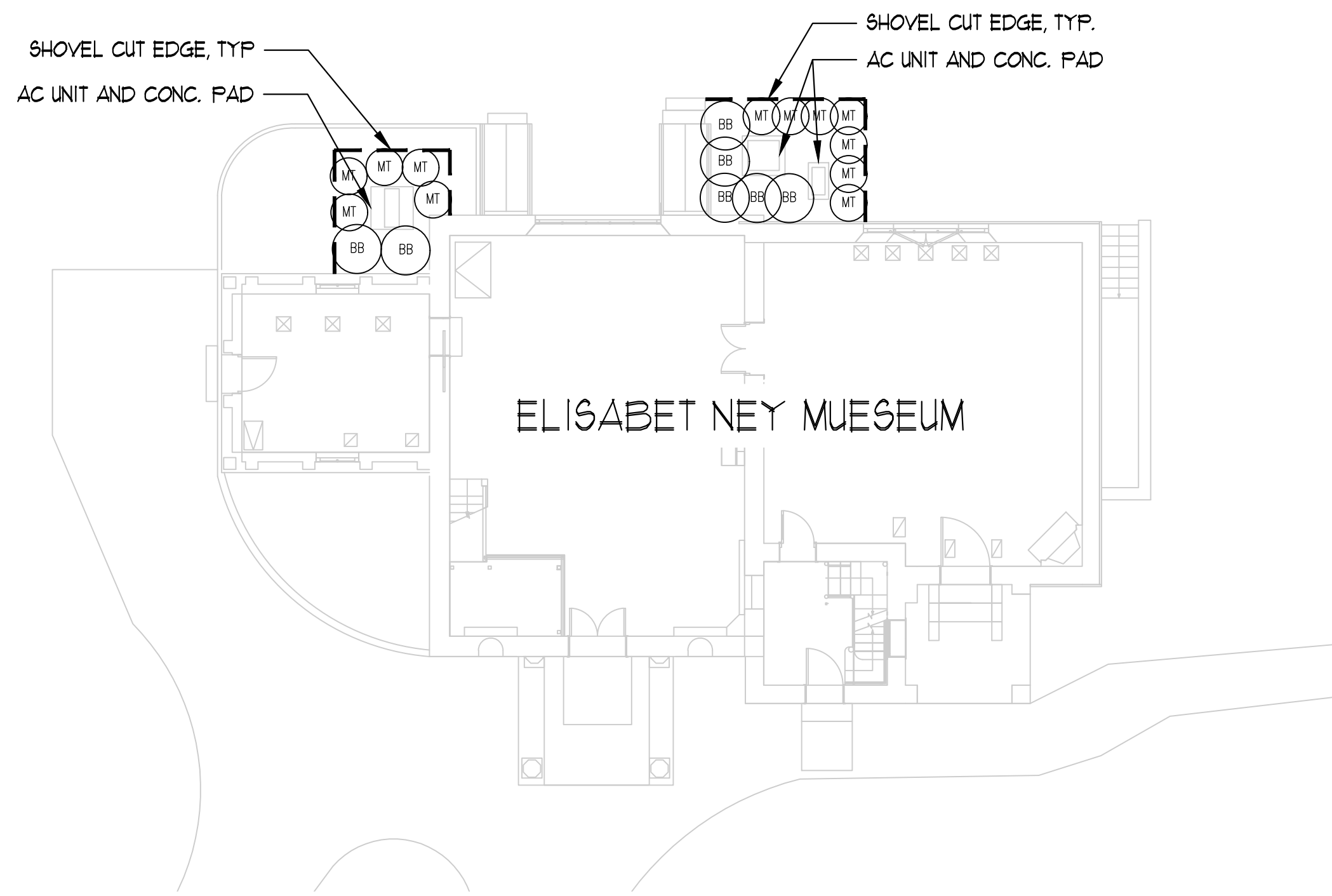
Sheet Number

A1.0

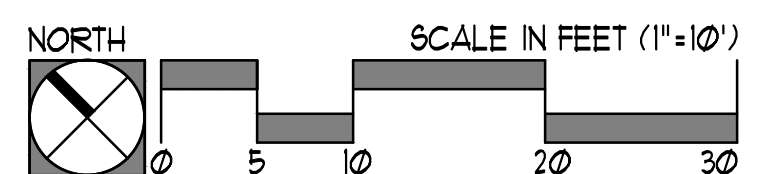
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1 SHRUB PLANTING / SHOVEL CUT EDGE SECTION SCALE: 1"=1'-0"



PLANT SCHEDULE				
SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT	SPACING
BB	1	AMERICAN BEAUTYBERRY CALLICARPA AMERICANA	5 GAL	48" o.c.
MT	12	AGARITA MAHONIA TRIFOLIATA	5 GAL	36" o.c.



GENERAL NOTES:

- REFERENCE CITY OF AUSTIN 6006 - PLANTING FOR SHRUB PLANTING
- REFERENCE CITY OF AUSTIN 6036 - NATIVE SEEDING AND PLANTING FOR RESTORATION TO REVEGETATE ALL AREAS DISTURBED NOT SHOWN ON THIS PLAN DURING CONSTRUCTION.
- REFERENCE CITY OF AUSTIN 6066 - FERTILIZATION.
- NO PERMANENT IRRIGATION IS REQUIRED, ALL SHRUBS SHOULD BE HAND WATERED TO ESTABLISH.

SITE DEVELOPMENT PERMIT LANDSCAPE NOTES:

- ALL LANDSCAPED AREAS TO BE PROTECTED BY 6 INCH CURBS, WHEEL-STOPS OR OTHER APPROVED BARRIERS AS PER ECM 2.4.1(A).
- THE OWNER WILL CONTINUOUSLY MAINTAIN THE REQUIRED LANDSCAPING IN ACCORDANCE WITH LDC 25-2-384.
- EXISTING TREES TO BE SAVED SHALL BE PROTECTED BY FENCING BEFORE CONSTRUCTION BEGINS. NO EQUIPMENT OR MATERIALS SHALL BE STORED OR OPERATED WITHIN THE FENCED-IN AREAS. FENCES SHALL BE AT THE DRIP LINE AND COMPLETELY SURROUND THE TREE OR CLUSTERS OF TREES. NO BURNING OF DEBRIS, CLEANING FLUIDS, CONCRETE SPILLS, ETC. WILL BE ALLOWED WITHIN THESE AREAS.
- BUFFERING OF THE STREET YARD WILL BE ACCOMPLISHED THROUGH THE COMBINATION OF TREES, SHRUBS, GRADE CHANGES, AND FENCES.
- GRADE CHANGES THAT DO NOT APPEAR ON THE SITE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
- TRENCHING SHALL NOT OCCUR WITHIN THE FENCED DRIP LINE AREAS OF EXISTING TREES.
- SHRUB MATERIAL NOT TO EXCEED 36" O.C. UNLESS OTHERWISE SPECIFIED. GROUNDCOVERS NOT TO EXCEED 18" O.C. DURING THE TIME OF MARCH 15-OCTOBER 15 INSTALLATION OF HYDROMULCH SHALL BE COMMON BERMUDA OR SAHARA BERMUDA FOR OCTOBER 16 -MARCH 14 INSTALLATION OF HYDROMULCH SHALL BE ANNUAL OR PERENNIAL RYE WITH A SPRING APPLICATION OF COMMON BERMUDA OR SAHARA BERMUDA.
- ALL LAWN AREAS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE RE-VEGETATED WITH BERMUDA SOO OR RYE UNLESS NATIVE RESTORATION MIX IS SPECIFIED.
- NOT MORE THAN 50% OF THE TREES AND 50% OF SHRUBS PROPOSED WILL BE OF THE SAME SPECIES.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED. SEE IRRIGATION NOTES IN THESE DRAWINGS FOR REQUIREMENT.
- IF ESTABLISHING VEGETATION DURING ANY STAGE OF DROUGHT, SECTION 6-4-30 MAY REQUIRE A VARIANCE. CONTACT AUSTIN WATER CONSERVATION STAFF AT (512-914-3199 OR AT WATERUSECOMPVAR@AUSTINTEXAS.GOV.

LANDSCAPE CERTIFICATION

I, AAN G. COLEMAN, DO HEREBY CERTIFY THAT THE PLANS FOR THE DEVELOPMENT PROJECT LOCATED AT 304 E. 44TH STREET, SATISFY THE REQUIREMENTS OF THE LDC-25-2 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE, AND ALL AMENDMENTS.

Marissa McKinney 5/10/21
MARISSA MCKINNEY DATE
COLEMAN & ASSOCIATES

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE LANDSCAPE ARCHITECT WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY ON THE ADEQUACY OF THE WORK OF THE LANDSCAPE ARCHITECT.

IRRIGATION NOTES:

- AUTOMATIC IRRIGATION SYSTEMS SHALL COMPLY WITH TCEQ CHAPTER 344, AS WELL AS THE FOLLOWING REQUIREMENTS:
- THESE REQUIREMENTS SHALL BE NOTED ON THE SITE DEVELOPMENT PERMIT AND SHALL BE IMPLEMENTED AS PART OF THE LANDSCAPE INSPECTION:
 - THE SYSTEM MUST PROVIDE A MOISTURE LEVEL ADEQUATE TO SUSTAIN GROWTH OF THE PLANT MATERIALS.
 - THE SYSTEM DOES NOT INCLUDE SPRAY IRRIGATION ON AREAS LESS THAN (10) FEET WIDE (SUCH AS MEDIANS, BUFFER STRIPS, AND PARKING LOT ISLANDS).
 - CIRCUIT REMOTE CONTROL VALVES HAVE ADJUSTABLE FLOW CONTROLS.
 - SERVICEABLE IN-HEAD CHECK VALVES AREA ADJACENT TO PAVED AREAS WHERE ELEVATION DIFFERENCES MAY CAUSE LOW HEAD DRAINAGE
 - A MASTER VALVE INSTALLED ON THE DISCHARGE SIDE OF THE BACKFLOW PREVENTER
 - ABOVE-GROUND IRRIGATION EMISSION DEVICES ARE SET BACK AT LEAST SIX (6) INCHES FROM IMPERVIOUS SURFACES.
 - AN AUTOMATIC RAIN SHUT-OFF DEVICE SHUTS OFF THE IRRIGATION SYSTEM AUTOMATICALLY AFTER MORE THAN A ONE-HALF INCH (1/2") RAINFALL.
 - NEWLY PLANTED TREES SHALL HAVE PERMANENT IRRIGATION CONSISTING OF DRIP OR BUBBLERS.
 - THE IRRIGATION INSTALLER SHALL DEVELOP AND PROVIDE AN AS-BUILT DESIGN PLAN TO THE CITY AT THE TIME THE FINAL IRRIGATION INSPECTION IS PERFORMED.
 - UNLESS FISCAL SECURITY IS PROVIDED TO THE CITY FOR THE INSTALLATION OF THE SYSTEM, IT MUST BE OPERATIONAL AT THE TIME OF THE FINAL LANDSCAPE INSPECTION.
 - THE IRRIGATION INSTALLER SHALL ALSO PROVIDE EXHIBITS TO BE PERMANENTLY INSTALLED INSIDE OR ATTACHED TO THE IRRIGATION CONTROLLER, INCLUDING:
 - A LAMINATED COPY OF THE WATER BUDGET CONTAINING ZONE NUMBERS, PRECIPITATION RATE, GALLONS PER MINUTE AND THE LOCATION OF THE ISOLATION VALVE, AND AN AS BUILT PLAN.
 - THE IRRIGATION INSTALLER SHALL PROVIDE A REPORT TO THE CITY ON A FORM PROVIDED BY THE AUSTIN WATER UTILITY DEPARTMENT CERTIFYING COMPLIANCE WITH SUBSECTION I WHEN THE FINAL PLUMBING INSPECTION IS PERFORMED BY THE CITY.

FILE NUMBER:	SITE PLAN RELEASE	Sheet _____ of _____
CASE MANAGER:	EXPIRATION DATE:	
APPROVED ADMINISTRATIVELY ON:	APPLICATION DATE:	
APPROVED BY PLANNING COMMISSION ON:		
APPROVED BY CITY COUNCIL ON:		
Under Section _____	of Chapter _____	of the Austin City Code.
Date: 5/10/21		
Signing For Director, Development Services Department		
DATE OF RELEASE:	ZONING:	
Rev. 1 _____	Correction 1 _____	
Rev. 2 _____	Correction 2 _____	
Rev. 3 _____	Correction 3 _____	
RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA. INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL. WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.		

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80% CONSTRUCTION DOCUMENTS

LANDSCAPE PLAN

Revisions
No. Date Remarks

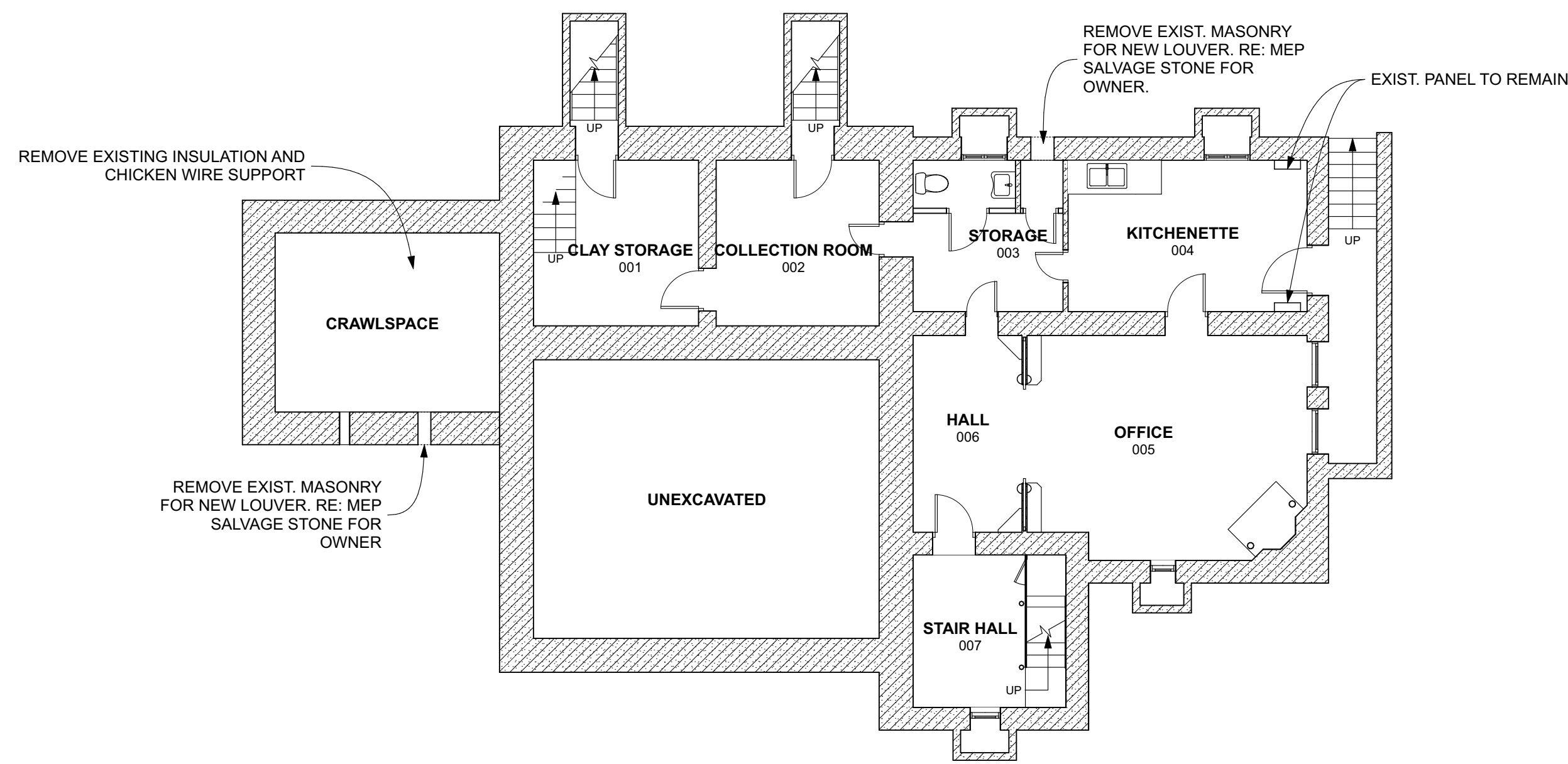
Project # 2019-930

Date: 5/10/21

Sheet Number

L100

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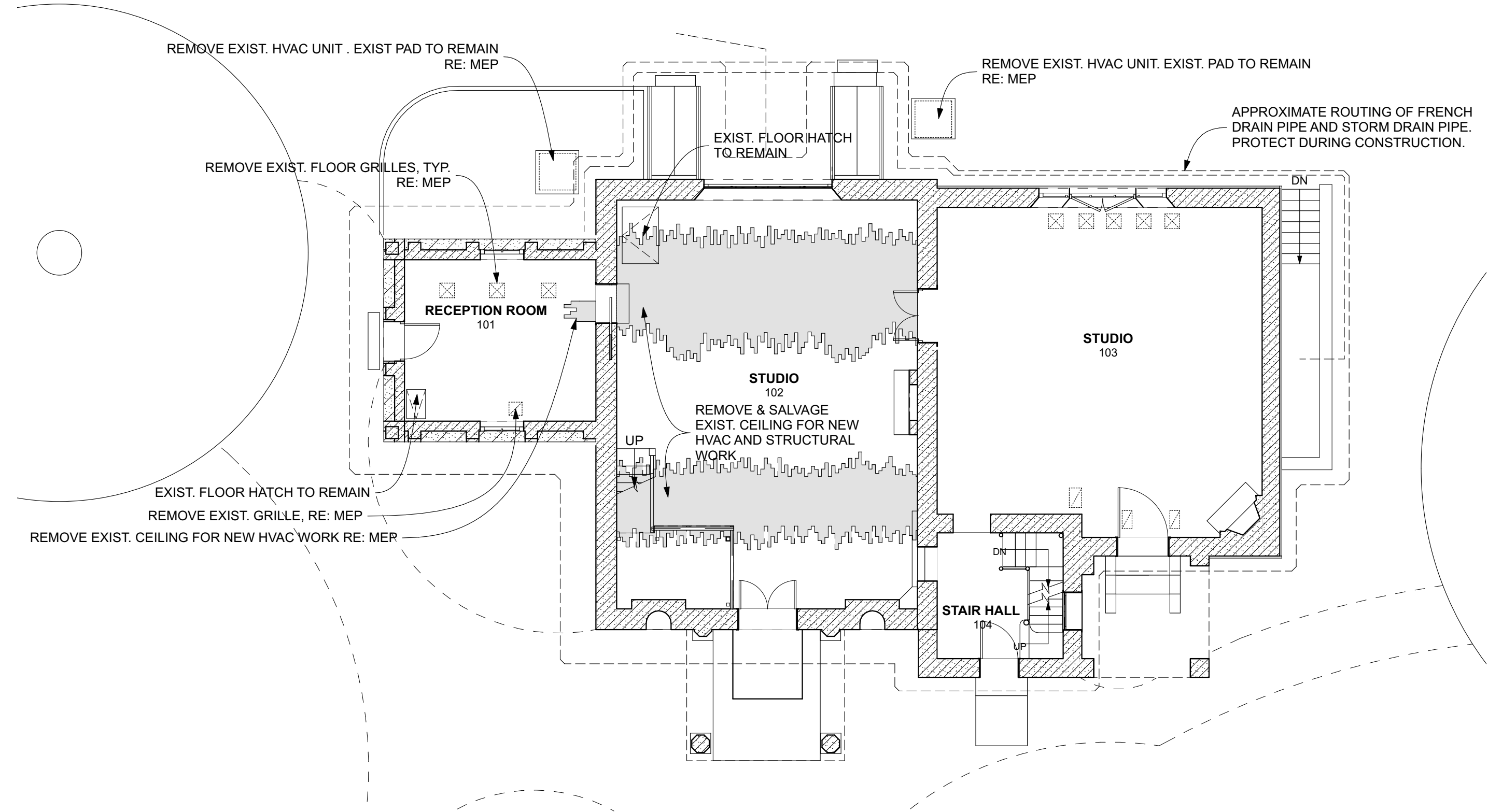


1 BASEMENT PLAN DEMO

SCALE: 1/8" = 1'-0"

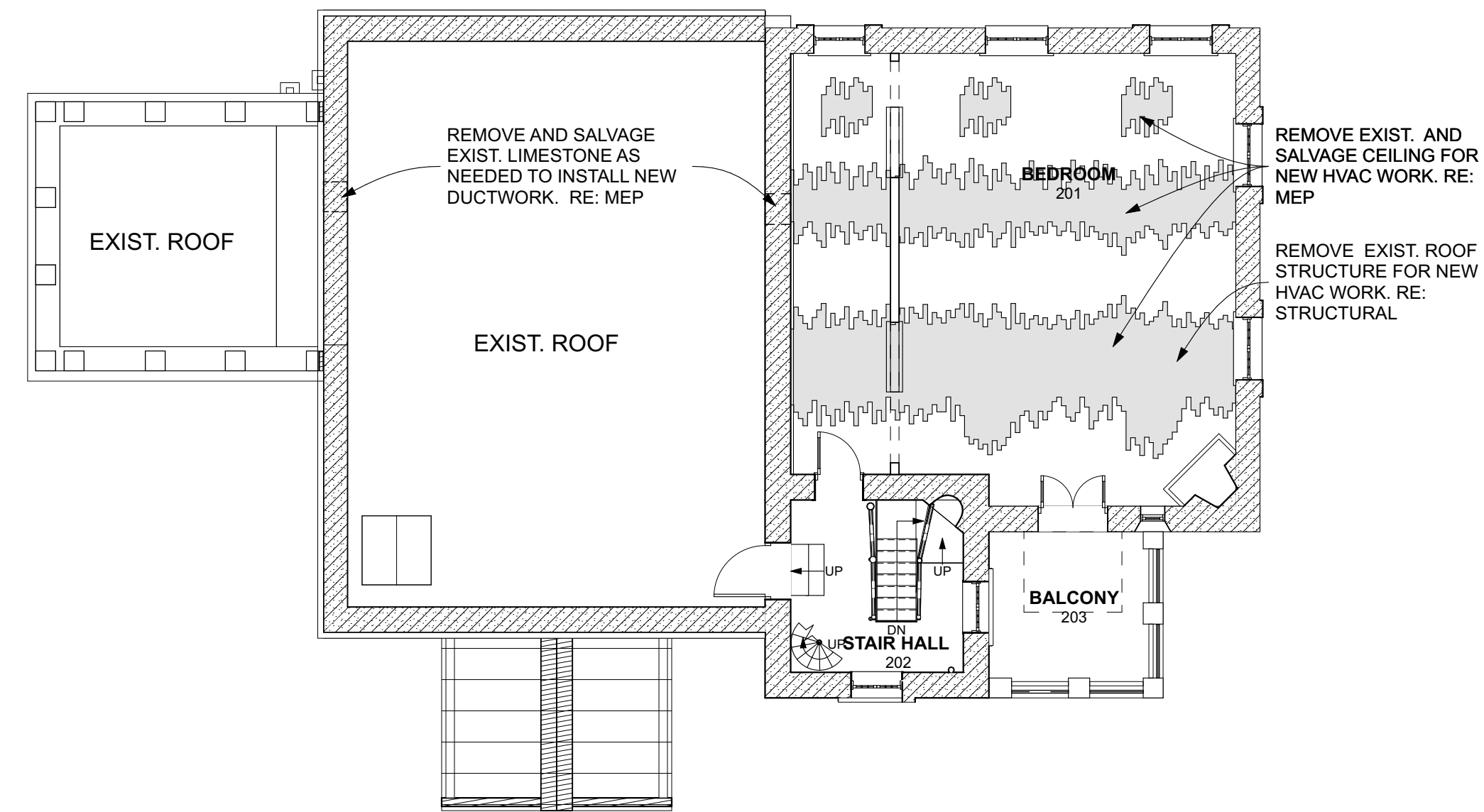
GENERAL DEMO NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE TO REVIEW THE EXISTING CONDITIONS ASSOCIATED WITH THE SCOPE OF WORK AND ADJACENT AREAS TO ASCERTAIN THE DIFFICULTIES WHICH WILL AFFECT THE EXECUTION OF THE WORK OF THIS CONTRACT.
2. SUBMISSION OF A PROPOSAL WILL ALSO BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR ACKNOWLEDGES THAT THE PLANS ARE SUFFICIENT TO DO WORK AND THE ABOVE SITE EXAMINATION HAS BEEN MADE. LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE. PROVIDING A BID FOR THE WORK IS ACKNOWLEDGING THAT PLANS ARE SUFFICIENT TO DO WORK.
3. THE OWNER HAS PROVIDED ASBESTOS SURVEY FOR THE CONTRACTOR'S USE. OTHER THAN THAN THIS REPORT THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOB SITE. THE CONTRACTOR SHALL TAKE THE APPROPRIATE MEASURES IN COORDINATING SITE EXAMINATION BY AN OFFICIAL IN IDENTIFYING THE PRESENCE OF THESE MATERIALS ON SITE AS OUTLINED IN THE TEXAS HEALTH PROTECTION RULES (TAHPR).
4. CONTRACTOR TO COORDINATE WORK OF VARIOUS DISCIPLINES AND REPORT ANY CONFLICTS OR DISCREPANCIES PRIOR TO BEGINNING WORK.
5. FULL EXTENT OF REQUIRED DEMOLITION MAY NOT BE INDICATED ON THIS PLAN. PROVIDE ALL DEMOLITION WORK EVEN WHERE NOT SPECIFICALLY INDICATED FOR A COMPLETELY FINISHED PROJECT.
6. MAINTAIN RECORD DRAWINGS OF ALL SITE WORK. NOTE ANY DISCREPANCY BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITION ESPECIALLY WHERE HIDDEN.
7. CAUSE NO DAMAGE TO EXISTING CONSTRUCTION. TAKE CARE TO NOT ENCROACH INTO ADJACENT AREAS NOT WITHIN THE SCOPE OF WORK. PROTECT ALL EXISTING FINISHES, DOORS, FRAMES, CABINETRY, MILLWORK, ETC WHICH ARE TO REMAIN.
8. CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, SIDEWALKS, AND OTHER ADJACENT OCCUPIED SPACES. COMPLY WITH LOCAL JURISDICTION REQUIREMENTS FOR RECYCLING AND TREATMENT OF ITEMS TO BE RECYCLED.
9. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR MECHANICAL AND ELECTRICAL DEMOLITION SCOPE. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL & PLUMBING DRAWINGS FOR SPECIFIC NOTES & SPECIFICATIONS REGARDING THESE DISCIPLINES. ALL HVAC, ELECTRICAL AND PLUMBING ITEMS SHALL BE CAPPED AND IDENTIFIED.
10. COMPLY WITH LOCAL JURISDICTION REQUIREMENTS FOR RECYCLING AND TREATMENT OF ITEMS TO BE RECYCLED.



2 FIRST FLOOR DEMO

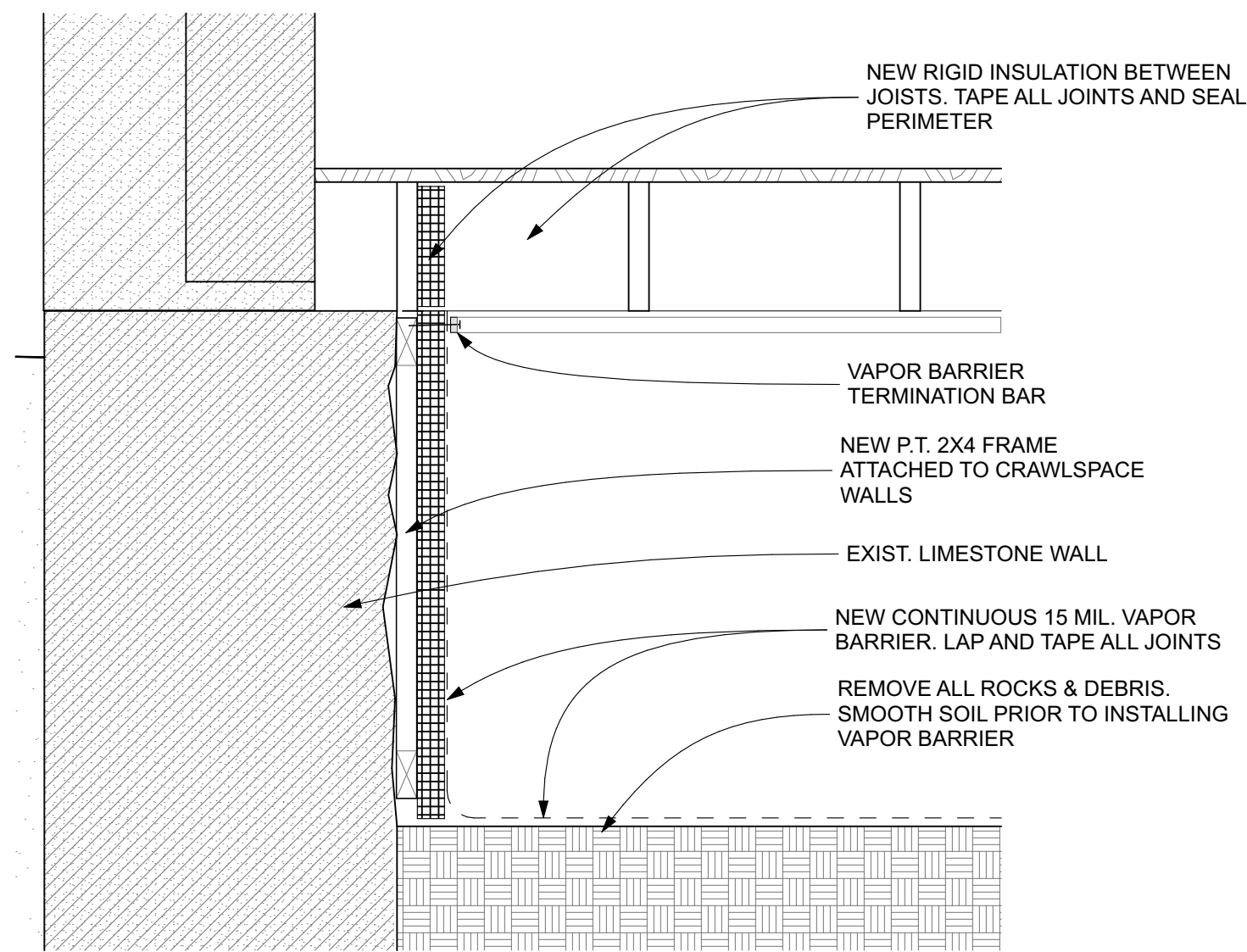
SCALE: 1/8" = 1'-0"



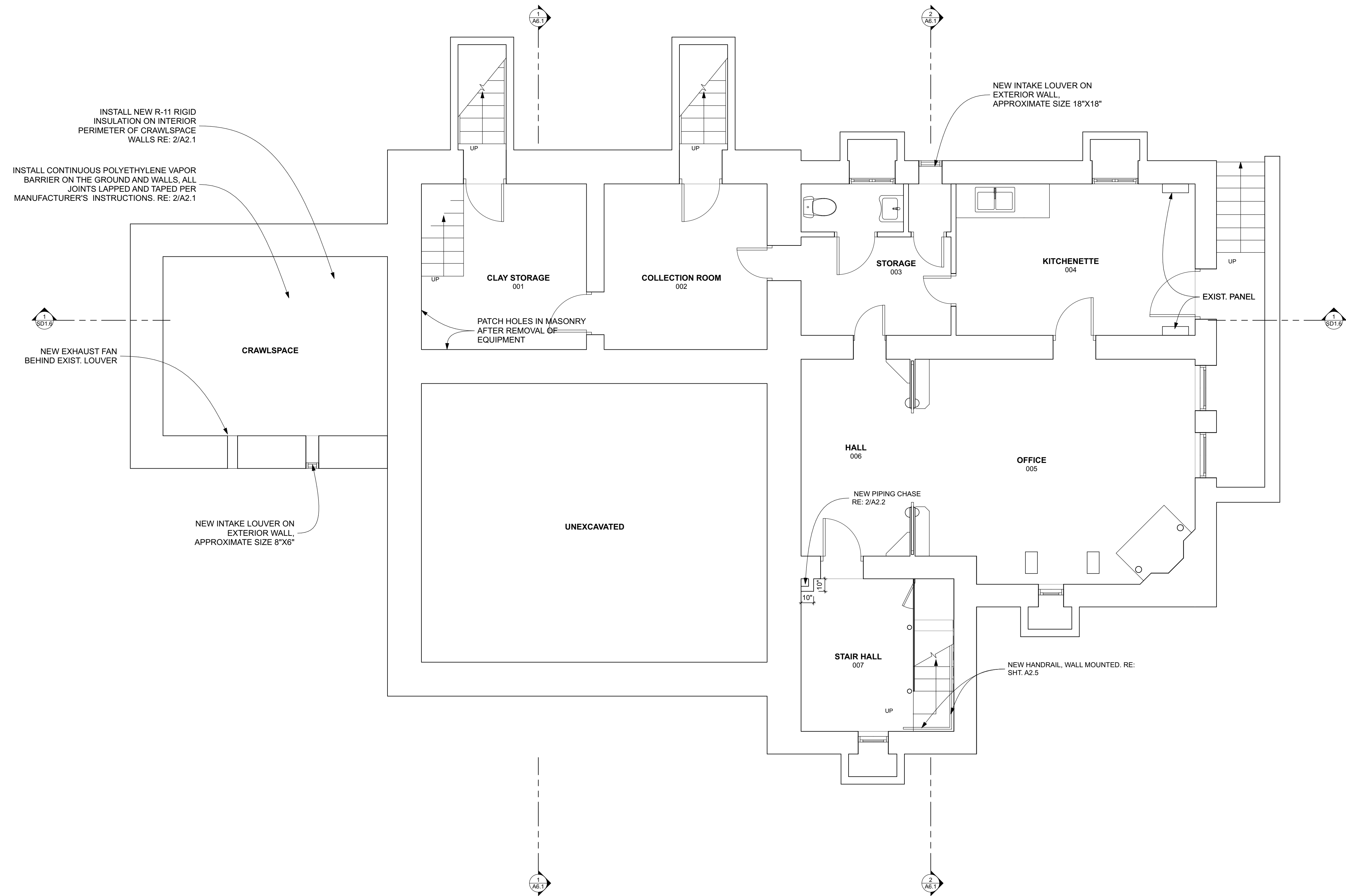
3 SECOND FLOOR DEMO

SCALE: 1/8" = 1'-0"

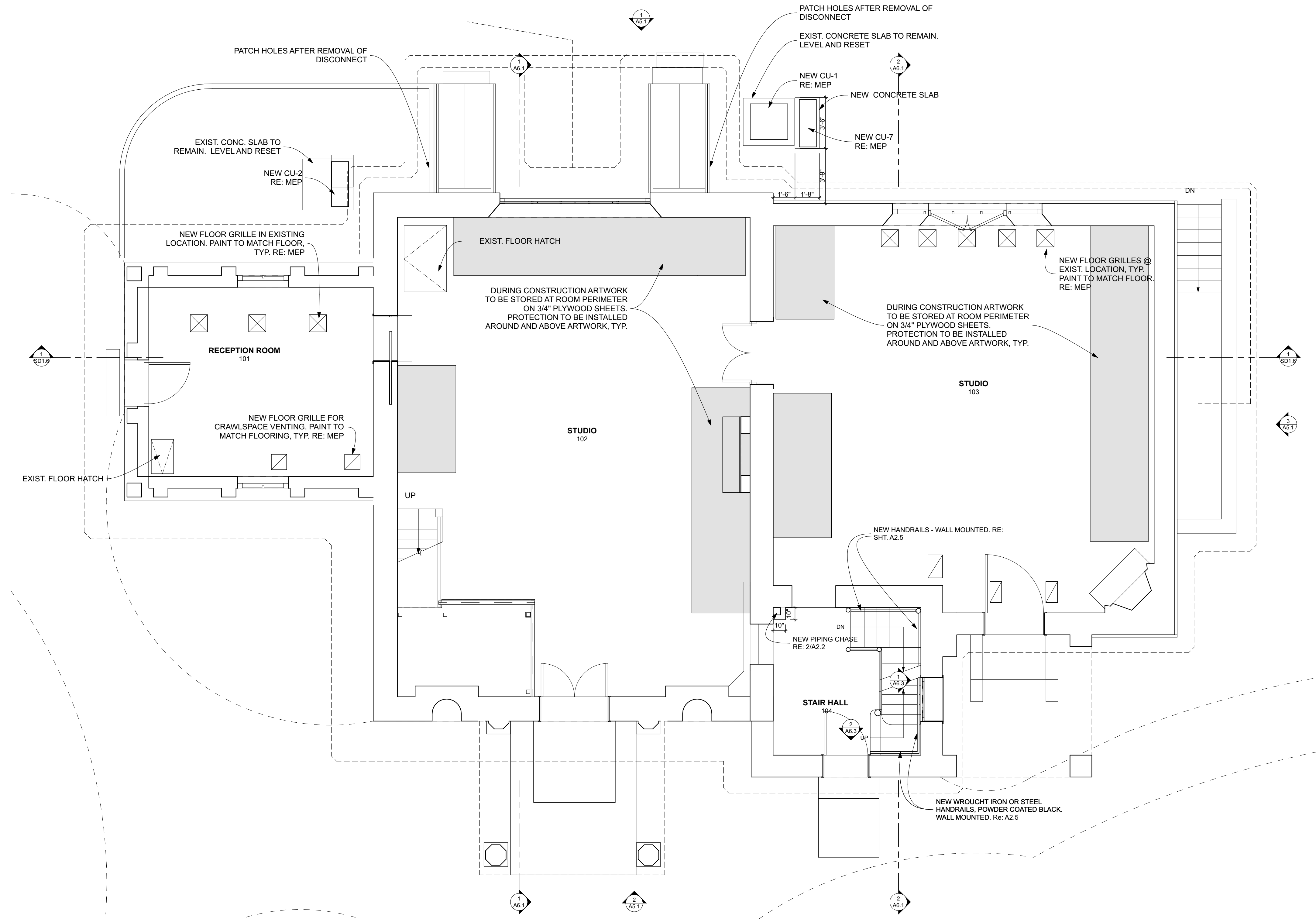
REFER TO SHEETS A4.2 AND M2-03 FOR ROOFING DEMOLITION



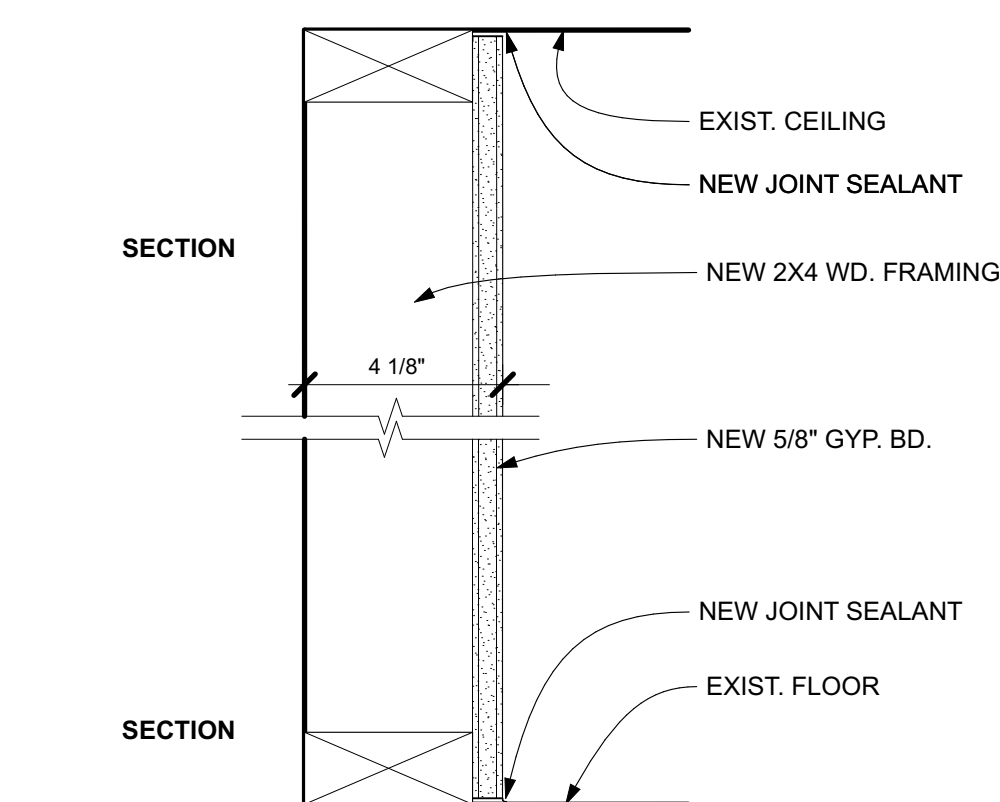
2 DETAIL @ CRAWL SPACE
SCALE: 1" = 1'-0"



1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 CHASE DETAIL
SCALE: 1 1/2" = 1'-0"

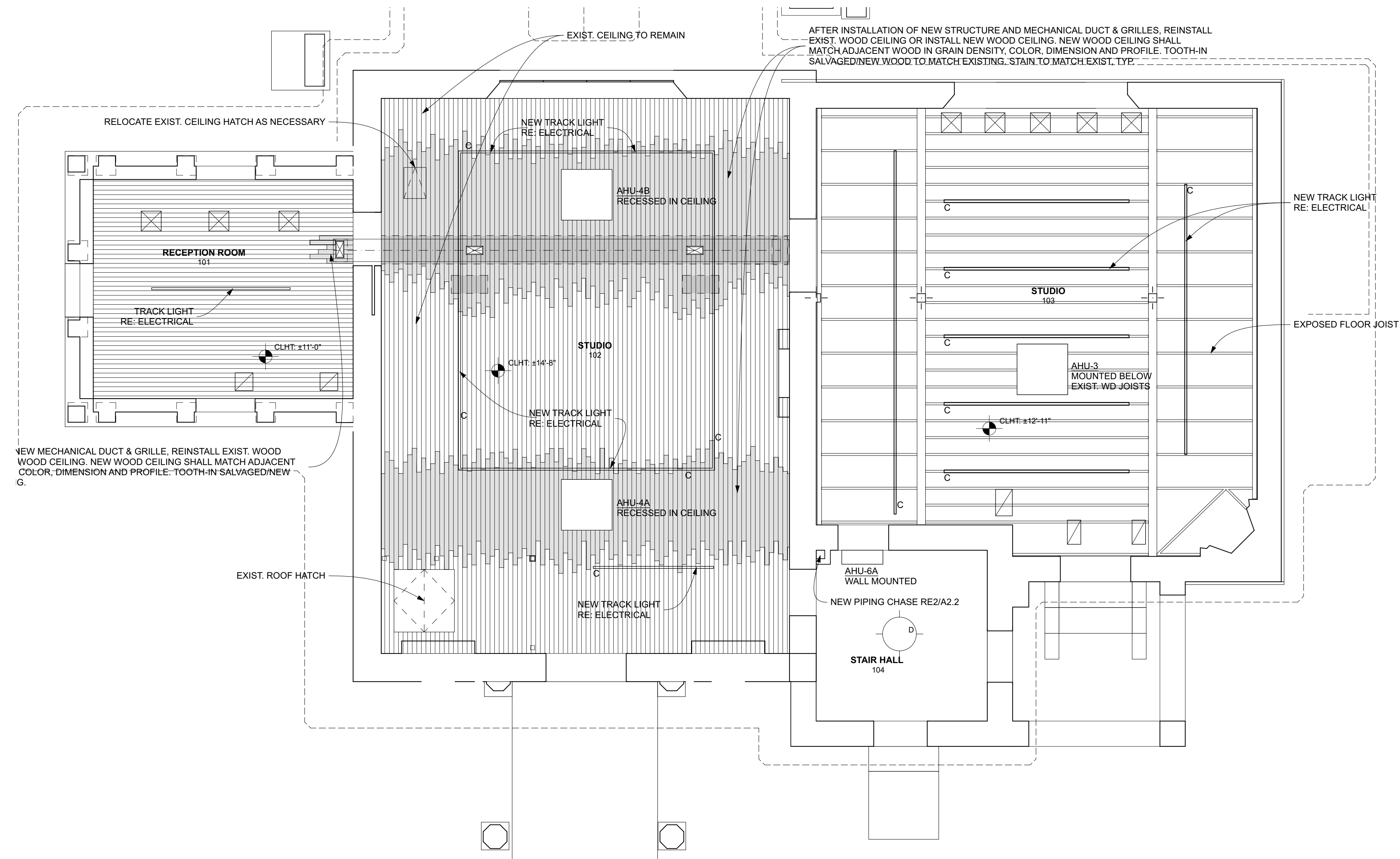


RCP LEGEND

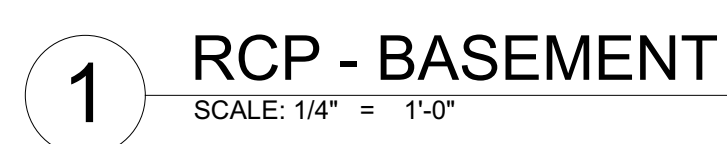
- EXIST. WOOD CEILING
- REINSTALLED WOOD CEILING/NEW WOOD CEILING
- CEILING MOUNTED/WALL MOUNTED FRESH AIR GRILLE
- RETURN AIR GRILLE
- A CEILING MOUNTED 1X4 LED FIXTURE
- B RECESSED CAN LED FIXTURE
- C TRACK LIGHT

GENERAL NOTES:

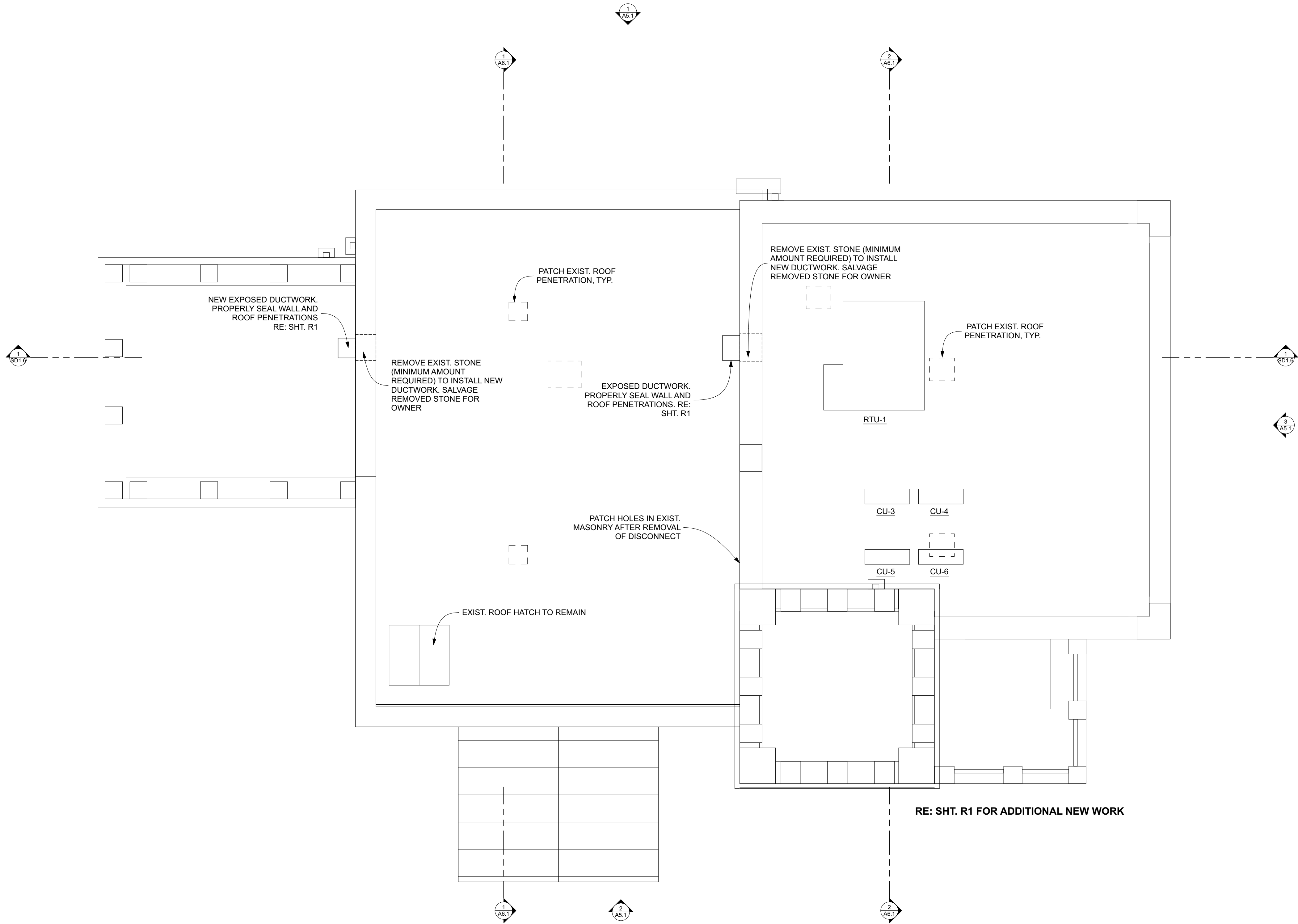
1. COORDINATE LOCATION OF ALL EXPOSED CONDUIT, PIPING AND CONDENSATE LINES WITH OWNER AND ARCHITECT. ALL ARE TO BE INSTALLED IN ALIGNMENT WITH EXISTING STRUCTURE AND HIDDEN AS MUCH AS POSSIBLE.
2. PATCH ALL HOLES IN CEILINGS AFTER REMOVAL OF EXIST. FIXTURES. PAINT OR STAIN PATCHES TO MATCH EXIST. CEILING FINISH.

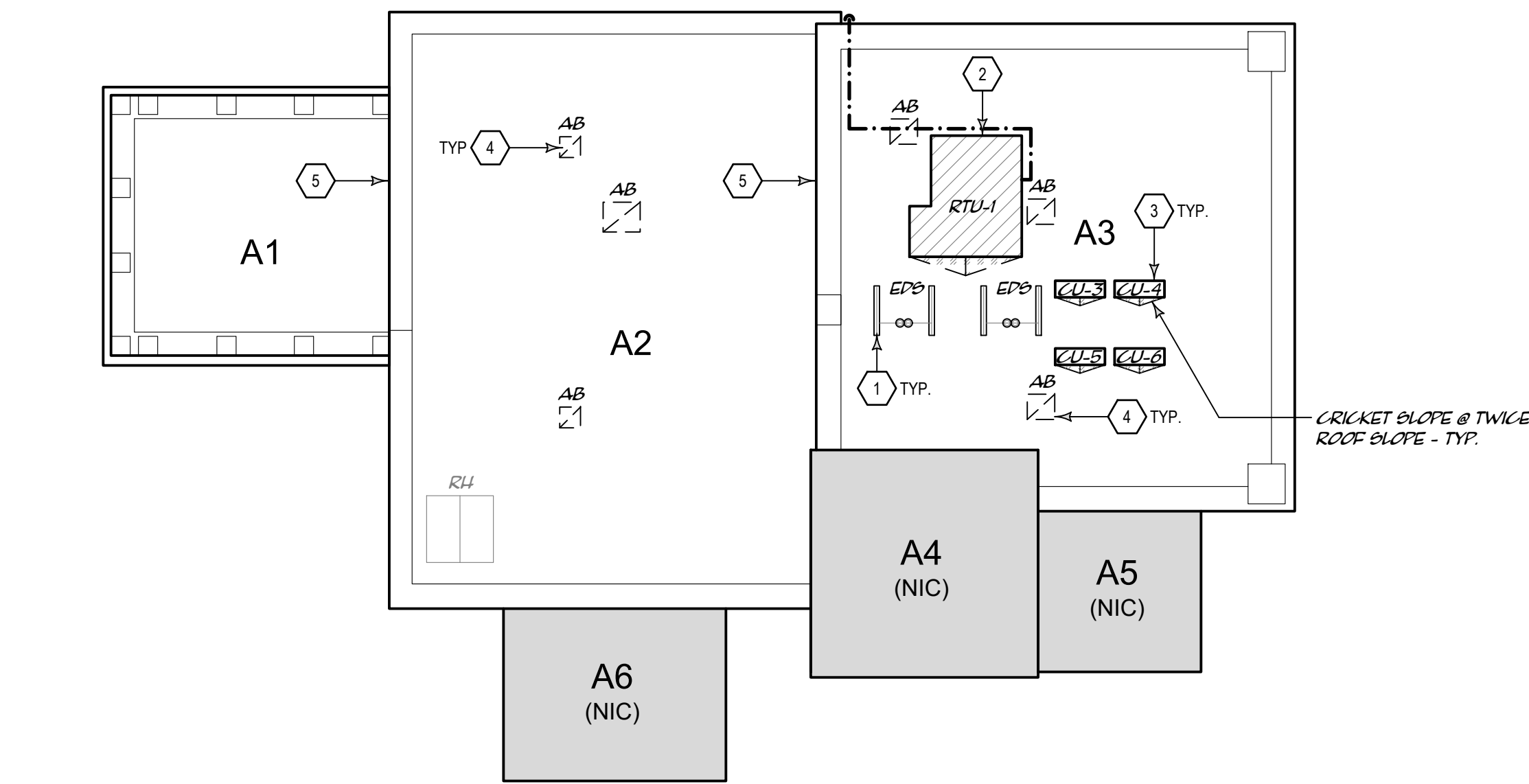


1 RCP - FIRST FLOOR
SCALE: 1/4" = 1'-0"



1 ROOF
SCALE: 1/4" = 1'-0"





1
R1
PLAN NORTH
ROOF PLAN - ELISABET NEY MUSEUM
SCALE: 1/8" = 1'-0"

- GENERAL NOTES TO CONTRACTORS
- GENERAL NOTES:
1. CONTRACTOR SHALL VERIFY FIELD DIMENSIONS.
 2. FIELD MEASUREMENTS ARE REQUIRED FOR BIRPPING PURPOSES.
 3. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING ROOFING SYSTEM DRAINAGE:
1. PROVIDE TAPERED CRICKETS ON HIGH SIDE OF CURBED PENETRATIONS AS REQ'D TO DIRECT DRAINAGE AROUND PENETRATION.
2. CONTRACTOR SHALL FIELD VERIFY EXACT CRICKET SIZE AND PROFILE IN THE FIELD TO ENSURE POSITIVE DRAINAGE AROUND CURBED PENETRATIONS.
- ROOF TOP EQUIPMENT / PENETRATIONS:
1. CONTRACTOR SHALL VERIFY OPERATIONAL STATUS OF ROOF TOP EQUIPMENT W/ OWNER PRIOR TO COMMENCING WITH THE WORK.
 2. ABANDONED EQUIPMENT AND CURBS SHALL BE REMOVED FROM THE BUILDING, AND DISPOSED OF. REPAIR DECKING AT ABANDONED PENETRATIONS (NOT SCHEDULED ON THE DRAWINGS FOR REMOVAL) PER UNIT PRICING, DETAILS AND SPECIFICATIONS.
 3. LOCATION AND ROUTING OF PIPING / CONDUIT SHOWN ON ROOF PLAN IS SCHEMATIC. CONTRACTOR TO FIELD VERIFY LOCATION AND ROUTING.
- EQUIPMENT / PIPING SUPPORTS:
1. APPROPRIATE PIPE SUPPORTS ARE DETERMINED BY OUTSIDE DIAMETER OF PIPING / CONDUIT. SEE SPECIFICATION SECTION 07 7200 FOR DESCRIPTIONS OF DESIGNED ROOF TOP PIPE SUPPORTS:
 - a) TYPE 'A' - ADJUSTABLE HEIGHT PIPE SUPPORT SEE DETAIL 4/R2
 - b) TYPE 'B' - ADJUSTABLE HEIGHT PIPE SUPPORT SEE DETAIL 5/R2
 - c) TYPE 'C' - HANGING PIPE SUPPORT SEE DETAIL 6/R2
 2. PIPING OR CONDUIT INSTALLATION SHALL PROVIDE A MINIMUM CLEARANCE OF 12" ABOVE FINISHED ROOF SURFACE FOR SUPPORT TYPES 'A', 'B', 'C'.
- PAINTING:
1. SCRAPE, PRIME AND PAINT GAP LINES PER SECTION 09 9100
- TRAFFIC PROTECTION:
1. PROVIDE TRAFFIC PROTECTION PAIRS AT ROOF ACCESS POINTS AND ON ALL SIDES OF ROOF TOP UNITS.

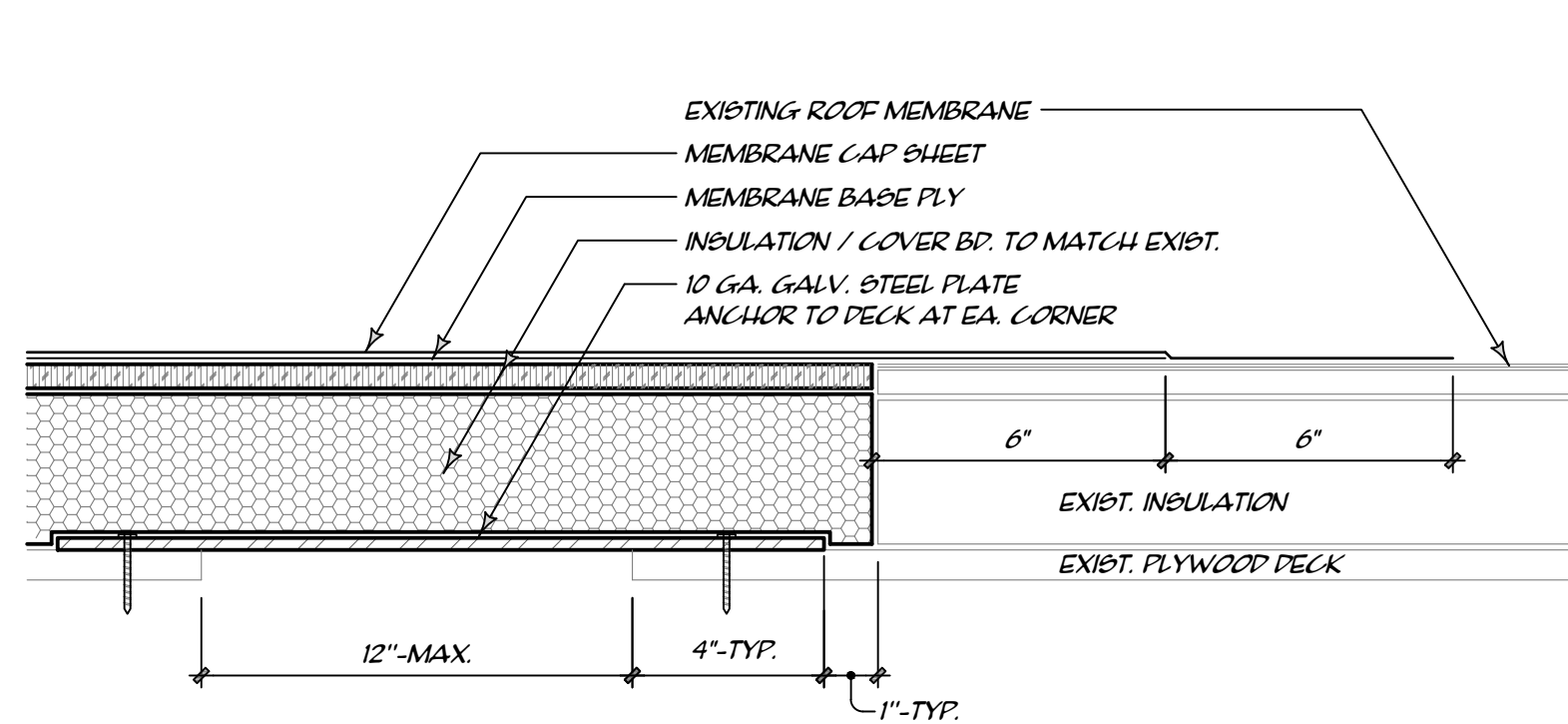
- KEYED NOTES TO CONTRACTOR
1. PROVIDE ELECTRICAL DISCONNECT RACK PER DETAIL 3/R1
 2. PROVIDE ROOF TOP UNIT CURB PER DETAIL 1/R2
 3. PROVIDE ENCLOSED CURB PER DETAIL 2/R2
 4. PROVIDE DECK REPAIR PER DETAIL 1A/R1 OR 1B/R1
 5. PROVIDE WALL REPAIR PER DETAIL --/---

SYMBOL LEGEND

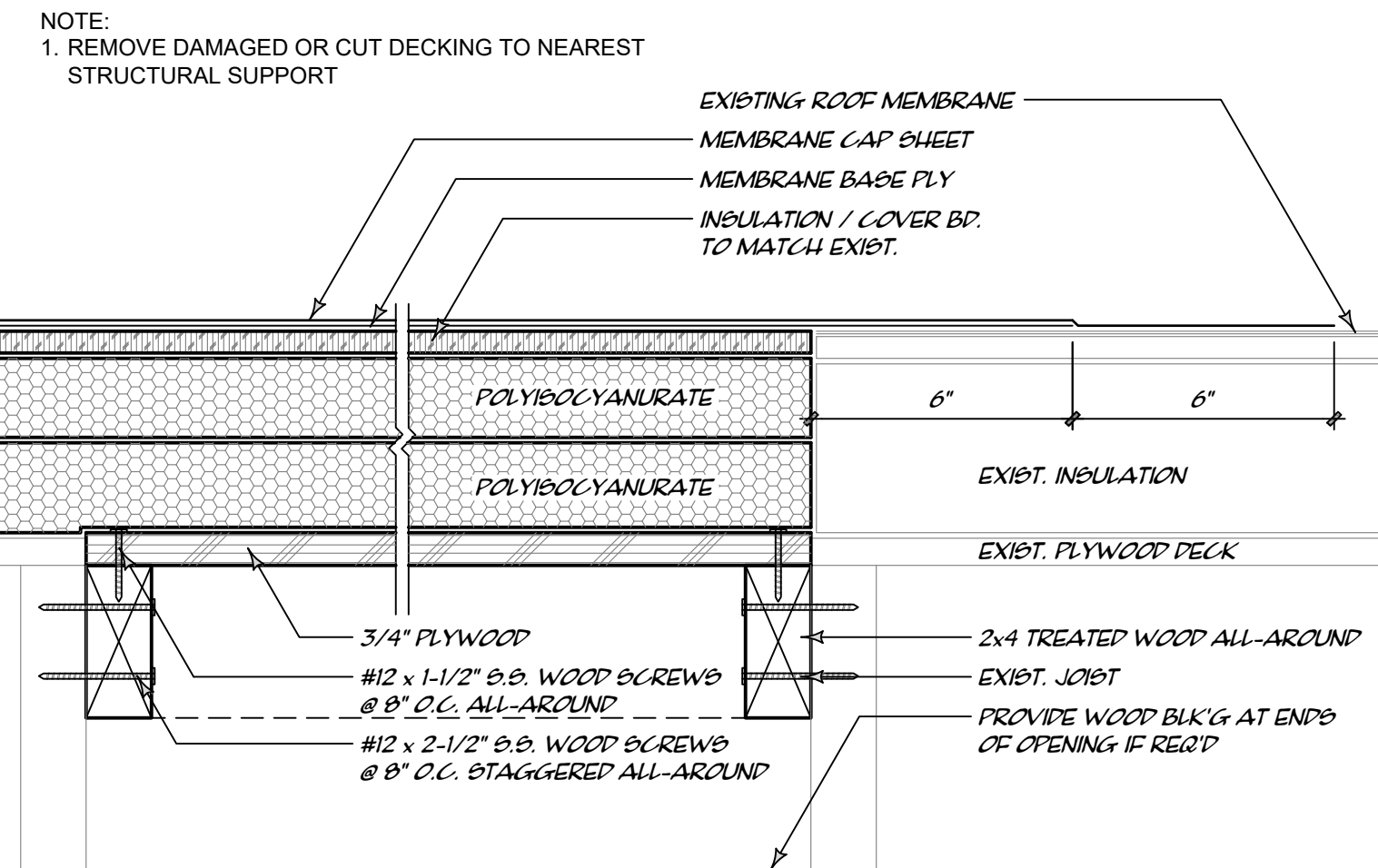
SYMBOL	LABEL	DESCRIPTION	DETAIL
	AB	ABANDONED DUCT PENETRATION	1A/R1, 1B/R1
	CU	CONDENSING UNIT	2/R2
	RTU	ROOF TOP UNIT	1/R2
	C	CONDENSATE LINE	
	E	ELECTRICAL LINE	SECTION 07 7200
	G	GAP LINE	
		NOT IN CONTRACT	
		TAPERED CRICKET	7/R2, 8/R2
		TRAFFIC PAD	

WARRANTY SCHEDULE

ROOF SECTION	MANUFACTURER	EXP. DATE	WARRANTY
A01, A02, A03	BIFLASH	3/6/2033	45186

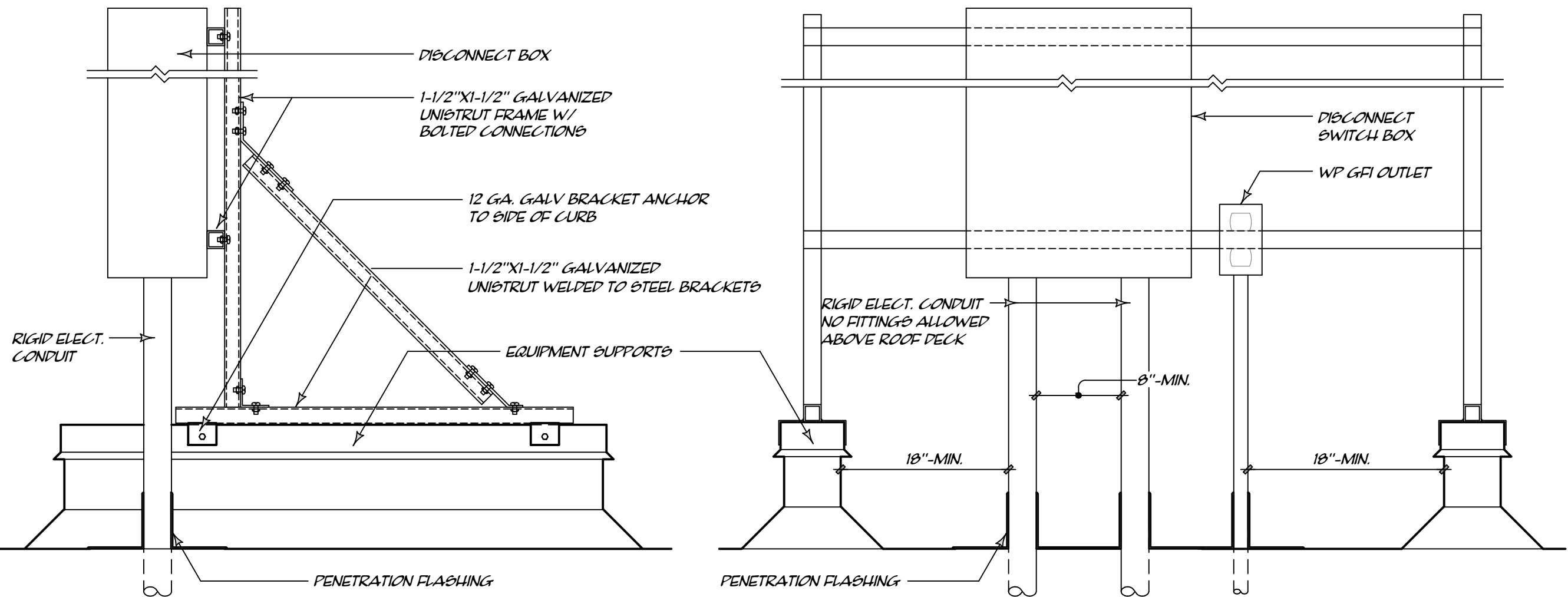


A SMALL DECK REPAIR

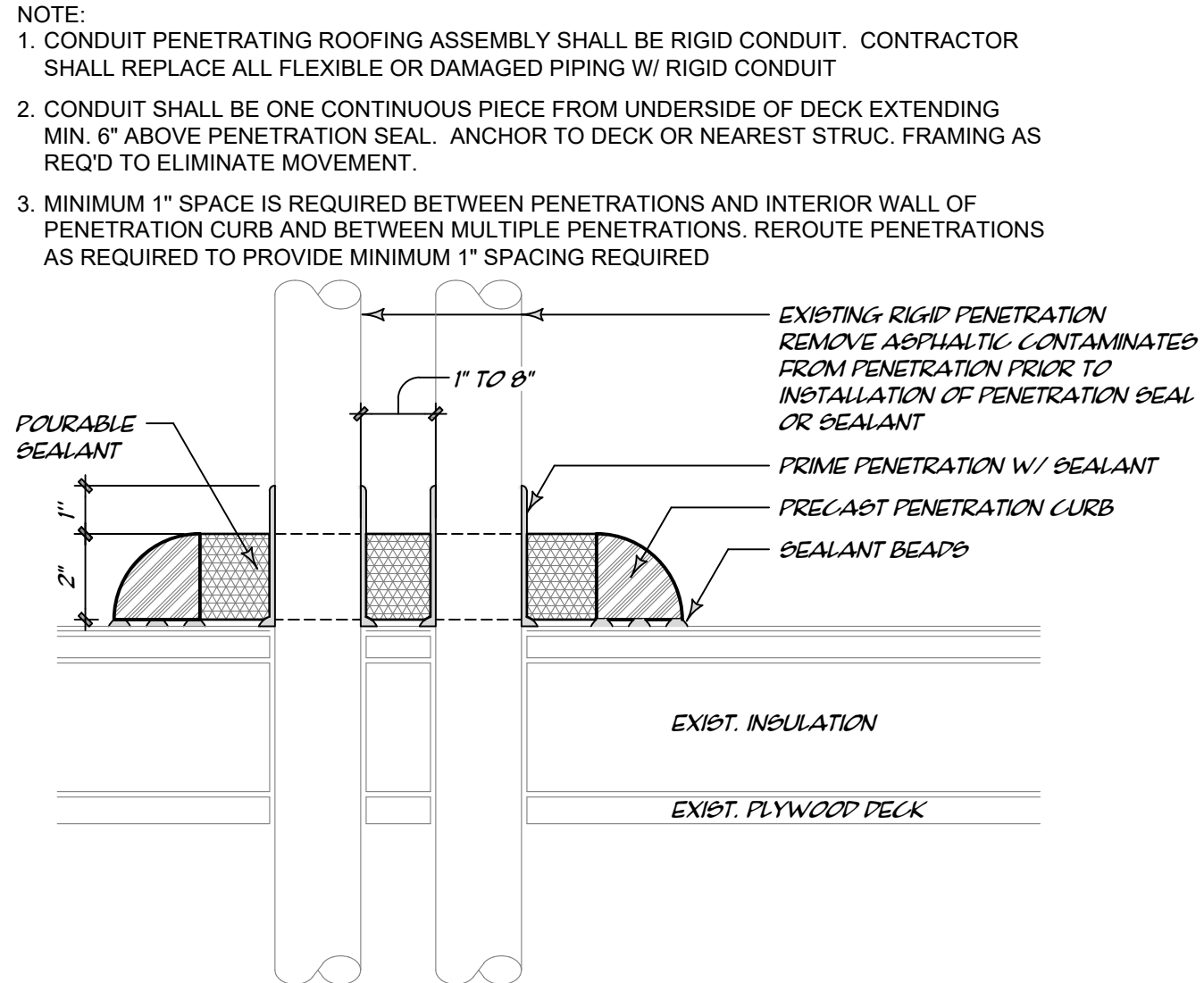


B LARGE DECK REPAIR

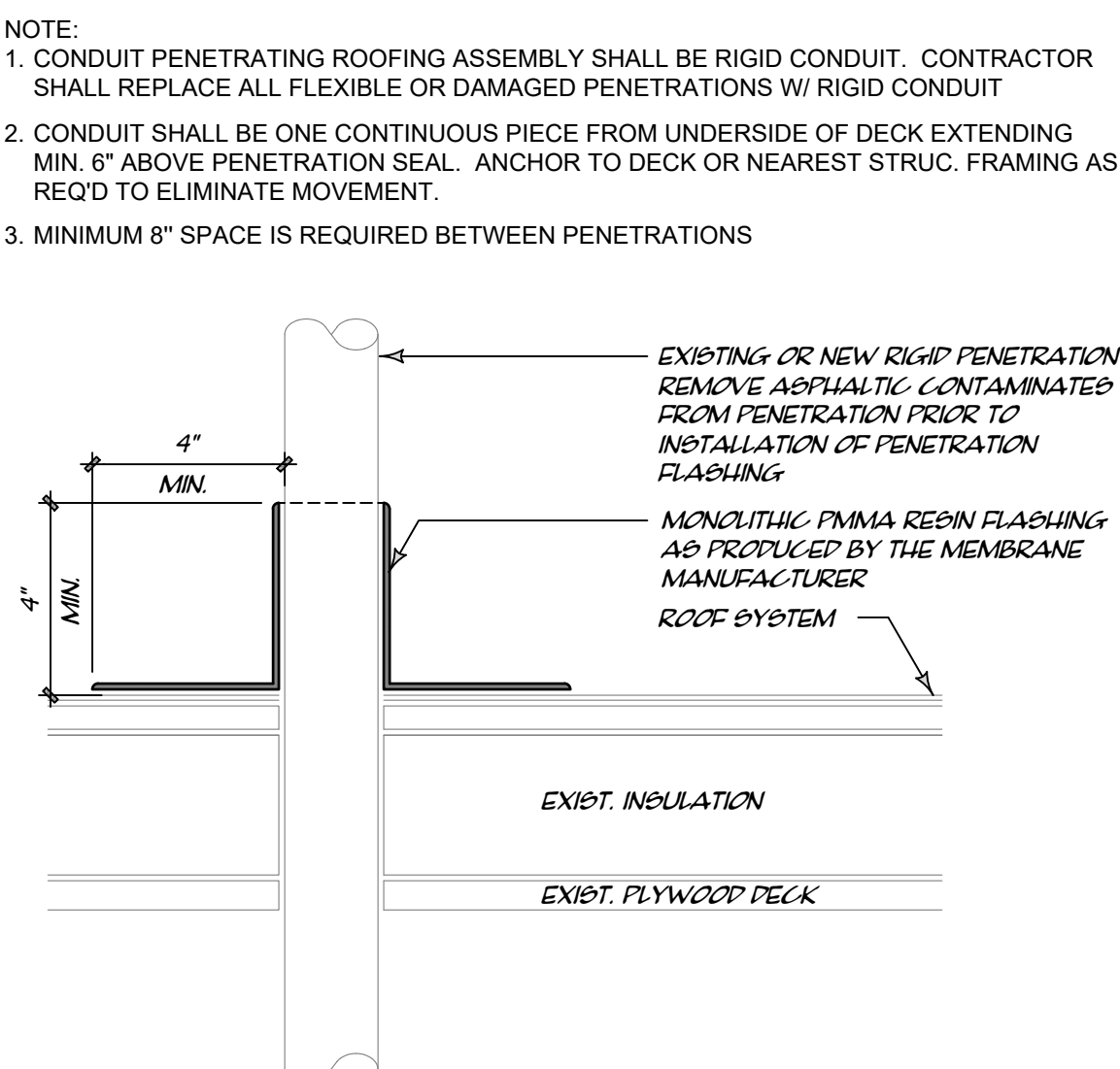
1
R1
3" = 1'-0"
SMALL DECK REPAIR



3
R1
NOT TO SCALE
ELECTRICAL DISCONNECT SUPPORT



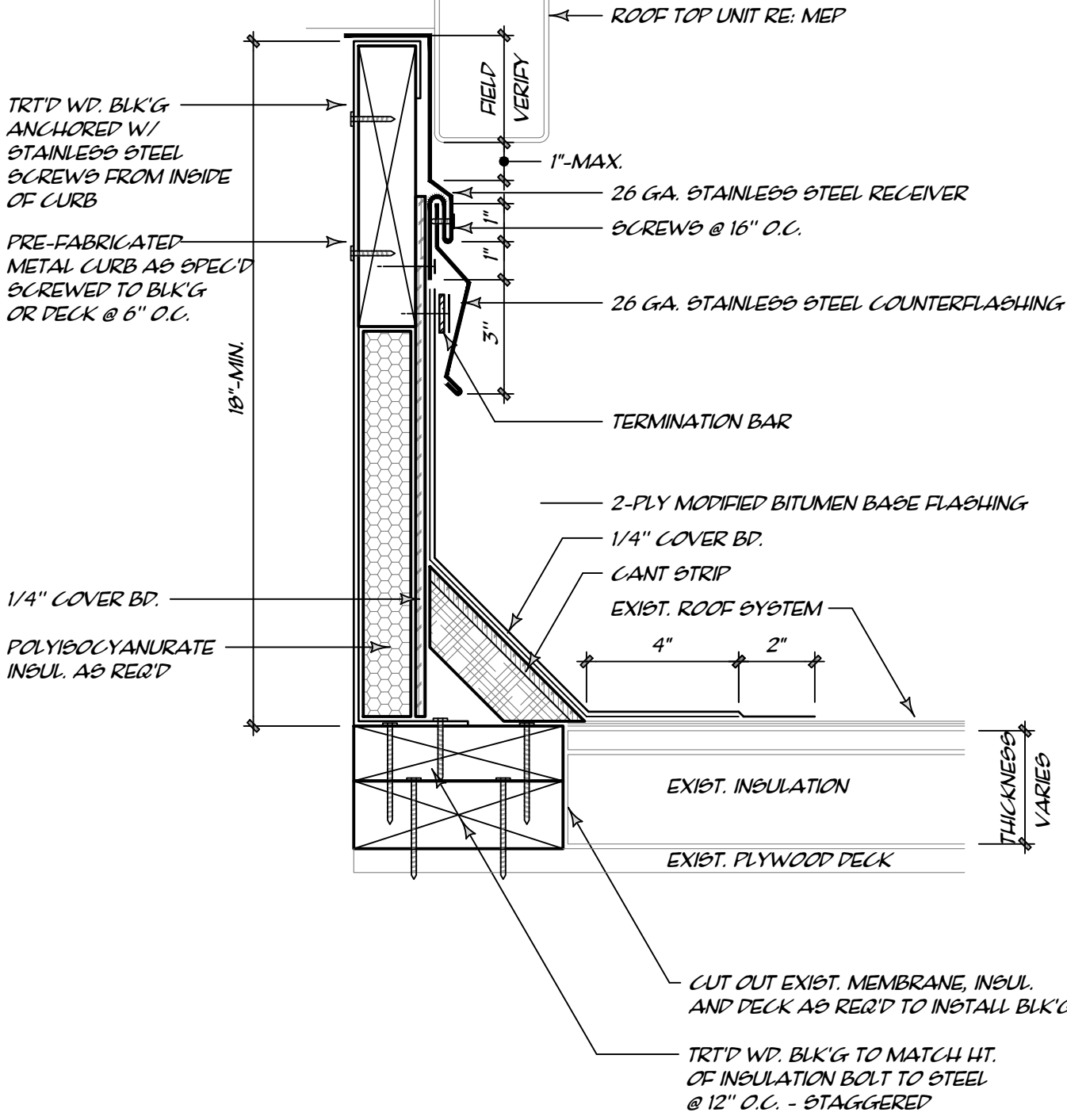
A MULTIPLE CONDUIT W/ LESS THAN 8" CLEARANCE ALL SIDES



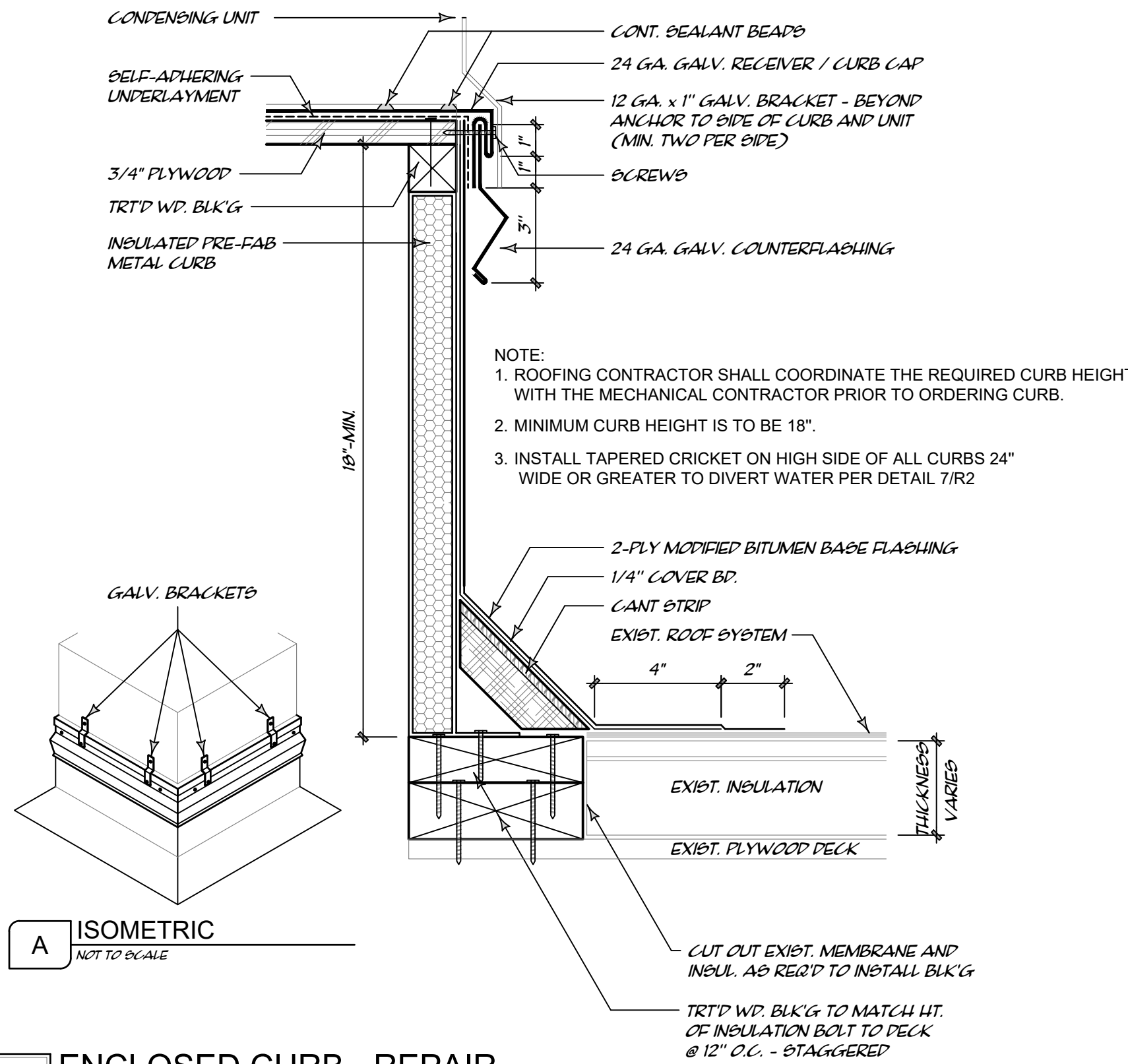
B CONDUIT W/ GREATER THAN 8" CLEARANCE ALL SIDES

2
R1
3" = 1'-0"
PENETRATION FLASHING - REPAIR

- NOTE:
1. ROOFING CONTRACTOR SHALL COORDINATE THE REQUIRED CURB HEIGHT WITH THE MECHANICAL CONTRACTOR PRIOR TO ORDERING CURB.
2. MINIMUM CURB HEIGHT IS TO BE 18".
3. INSTALL TAPERED CRICKET ON HIGH SIDE OF ALL CURBS 24" WIDE OR GREATER TO DIVERT WATER PER DETAIL B/R2

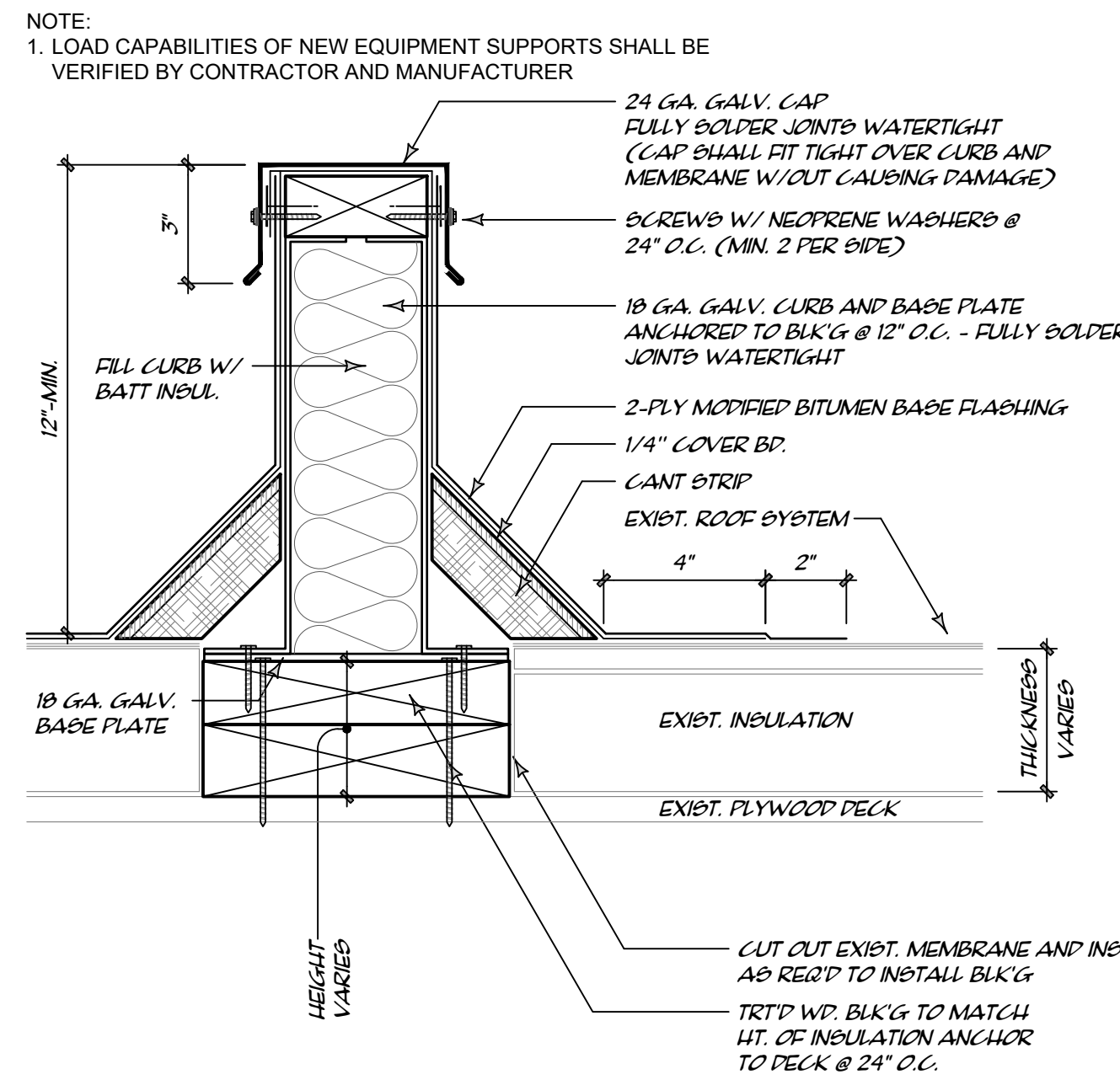


1 ROOF TOP UNIT CURB - REPAIR
R2 3" = 1'-0"



A ISOMETRIC
NOT TO SCALE

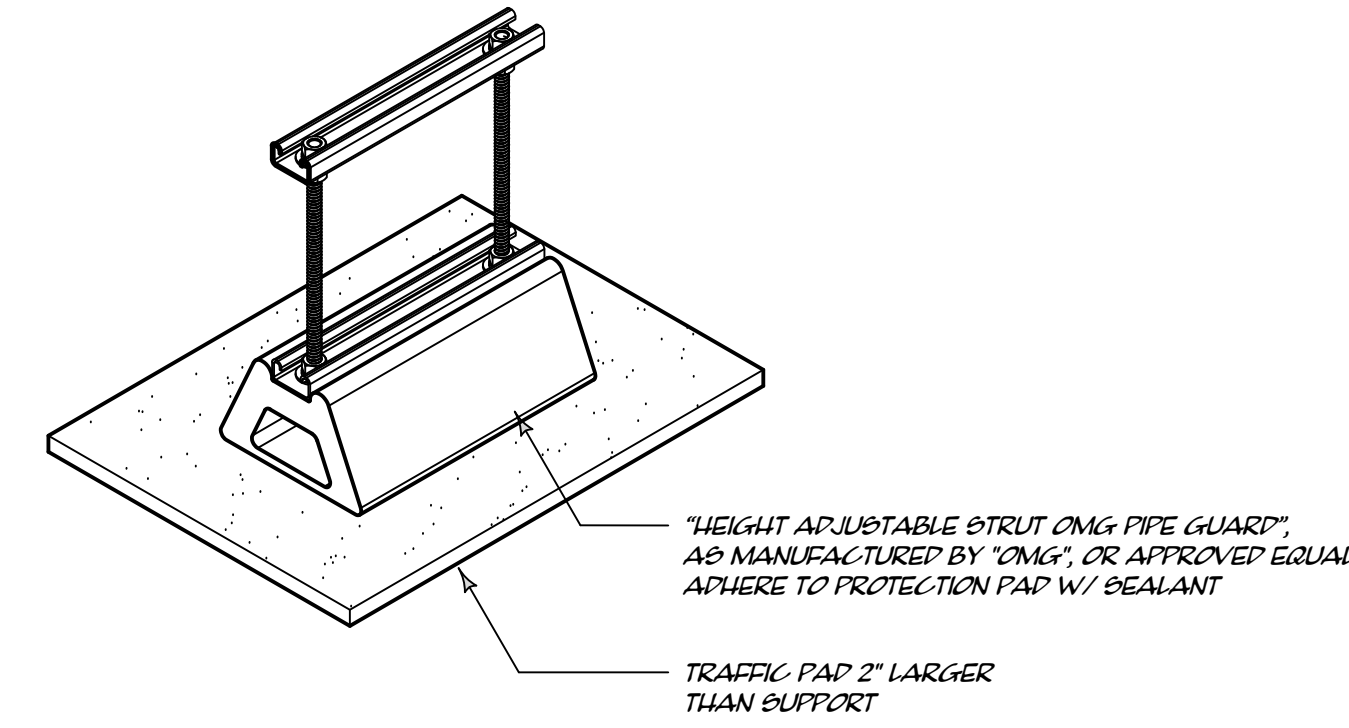
2 ENCLOSED CURB - REPAIR
R2 3" = 1'-0"



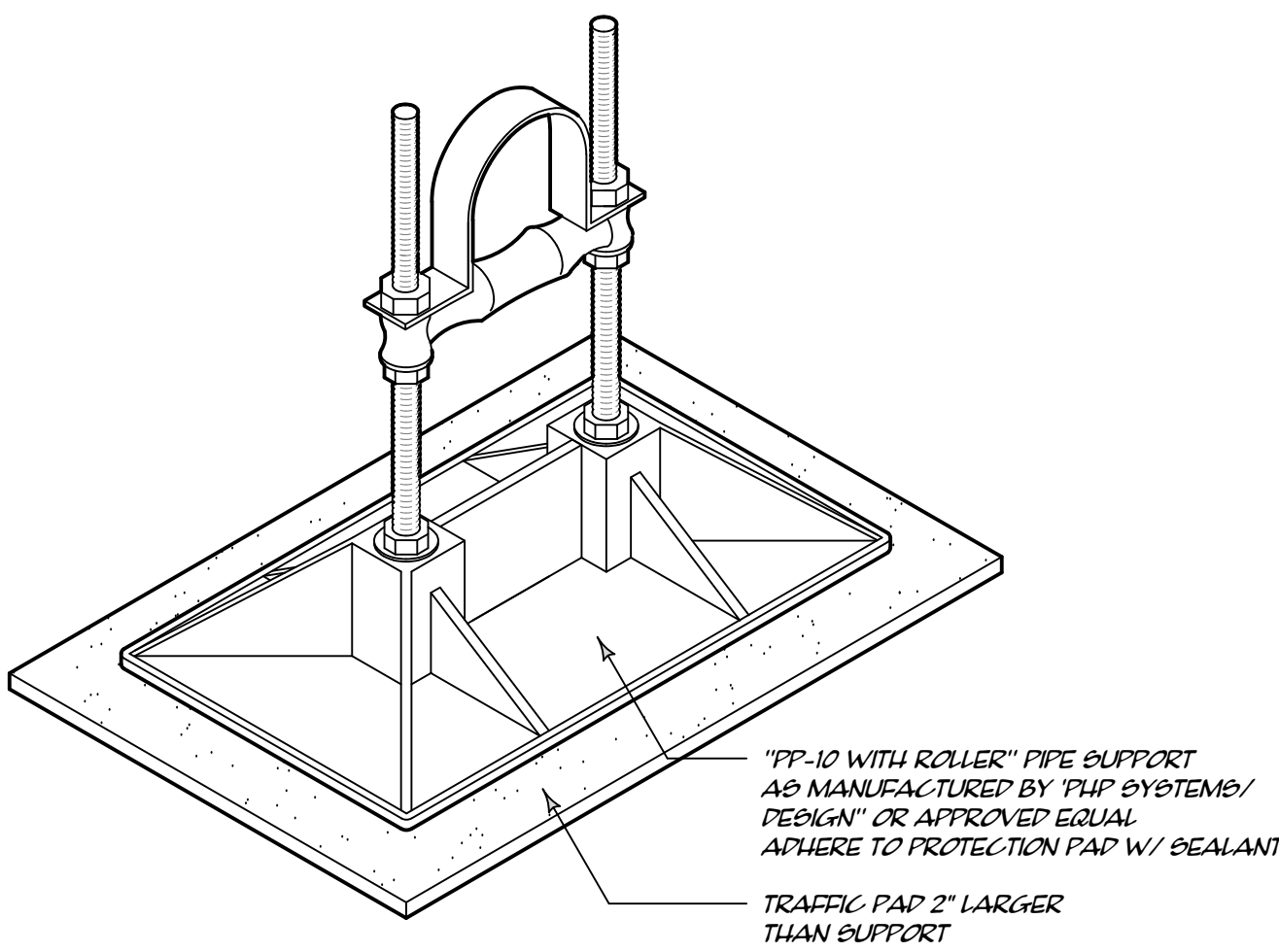
3 EQUIPMENT SUPPORT - REPAIR
R2 3" = 1'-0"

GENERAL PIPE SUPPORT NOTES, DTLS 4/R2 THRU 6/R2:

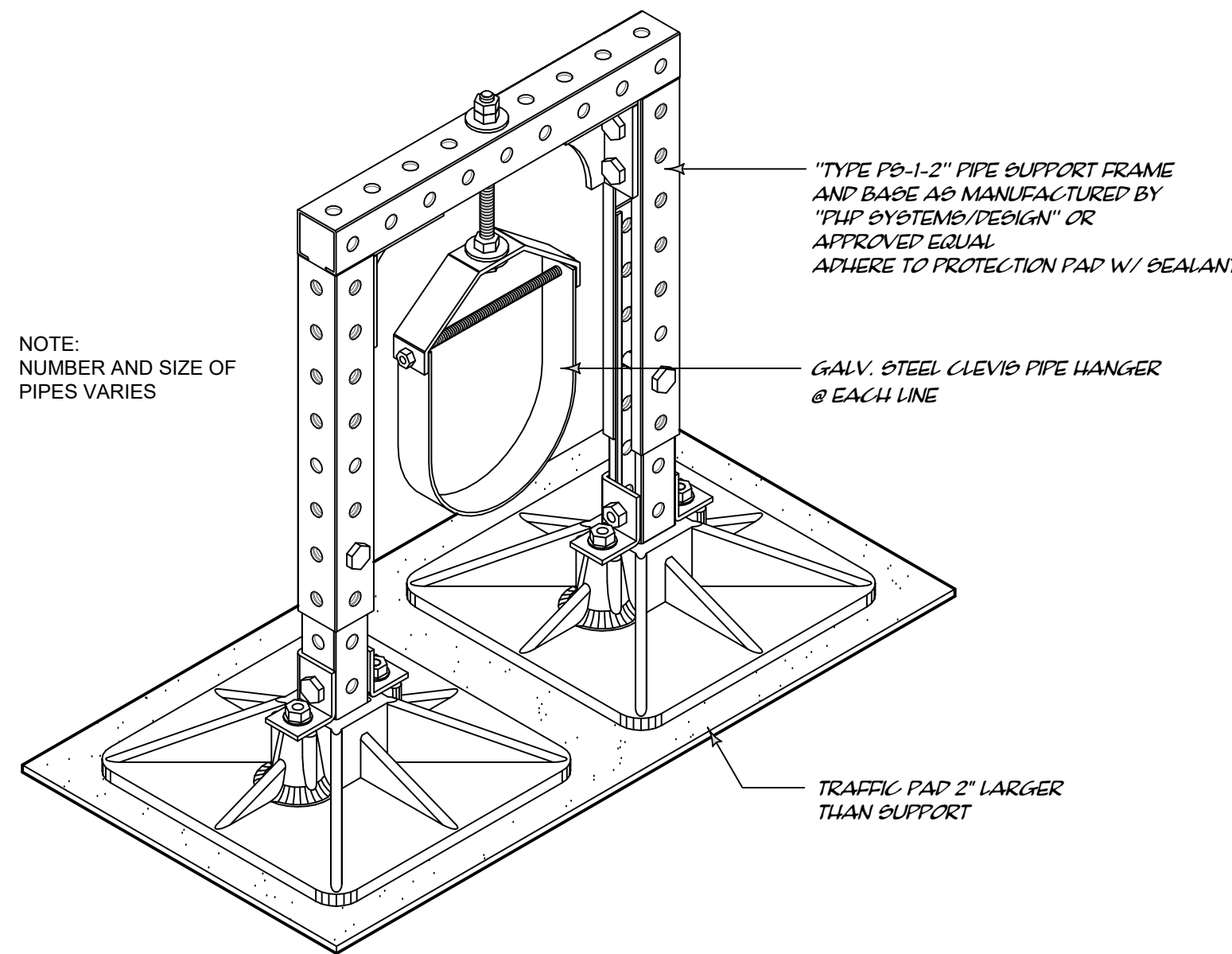
- COORDINATE PIPE SUPPORT LOCATIONS WITH MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTORS.
- SPACE PIPE SUPPORTS AS REQUIRED PER SPEC SECTION 07 7200 AND APPLICABLE STANDARDS.
- PROVIDE PIPE SUPPORTS WITHIN 12" TO 18" OF CORNERS AND TEE INTERSECTIONS.
- PROVIDE PIPE RETAINER BRACKETS WHERE REQUIRED.
- PROVIDE PIPE SUPPORT PROTECTION PADS COMPATIBLE WITH ROOFING MANUFACTURER.



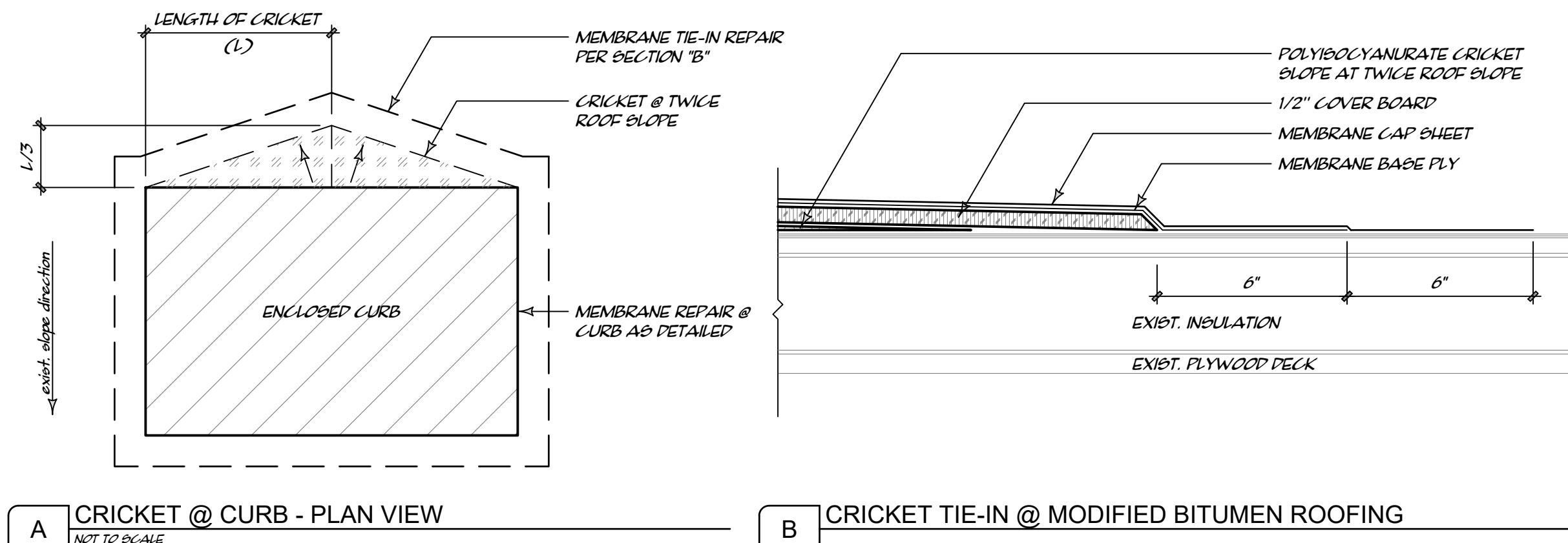
4 PIPE SUPPORT - ADJUSTABLE HEIGHT (TYPE "A")
R2 3" = 1'-0"



5 PIPE SUPPORT - ADJUSTABLE HEIGHT (TYPE "B")
R2 3" = 1'-0"



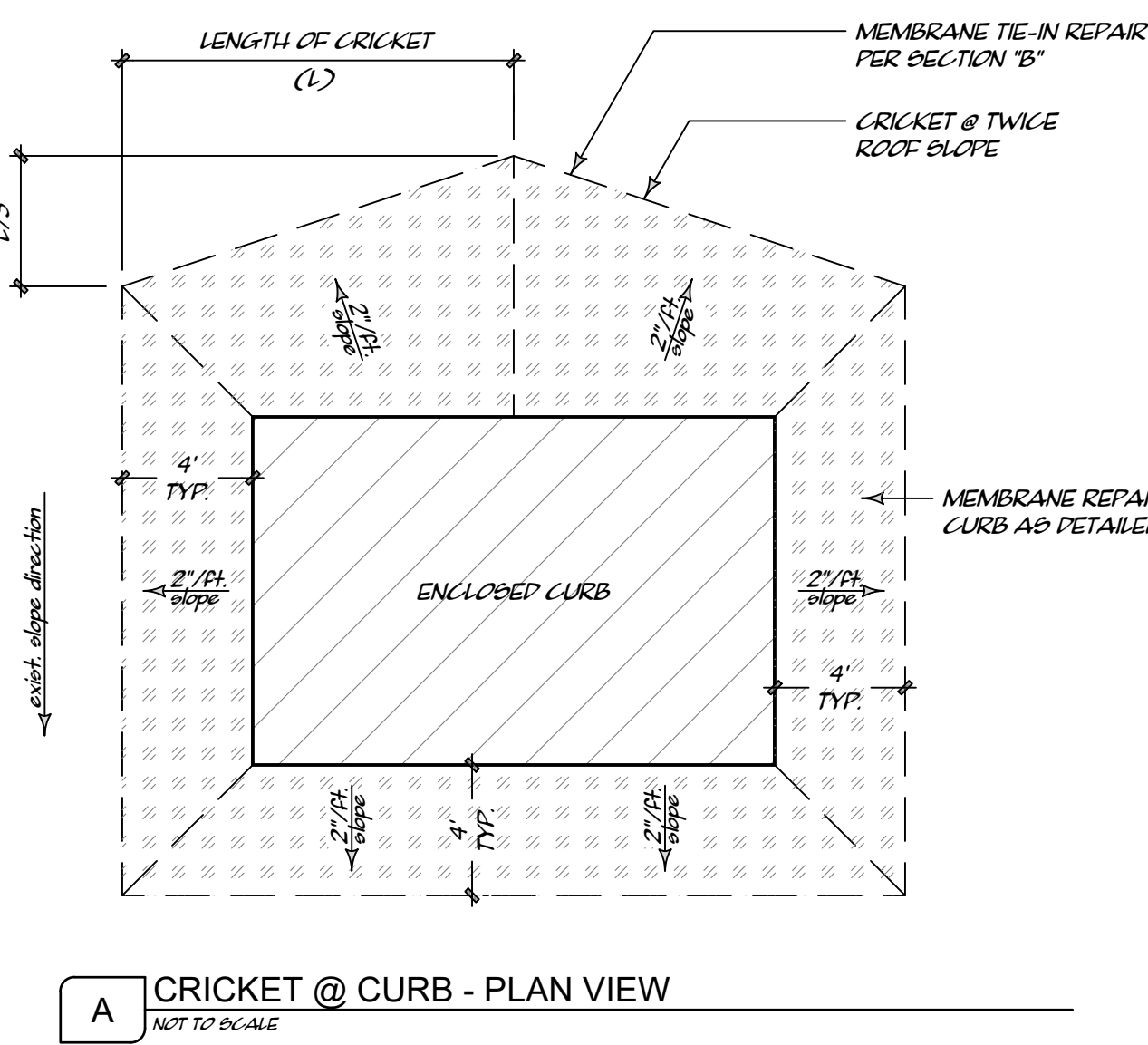
6 HANGING PIPE SUPPORT (TYPE "C")
R2 NOT TO SCALE



A CRICKET @ CURB - PLAN VIEW
NOT TO SCALE

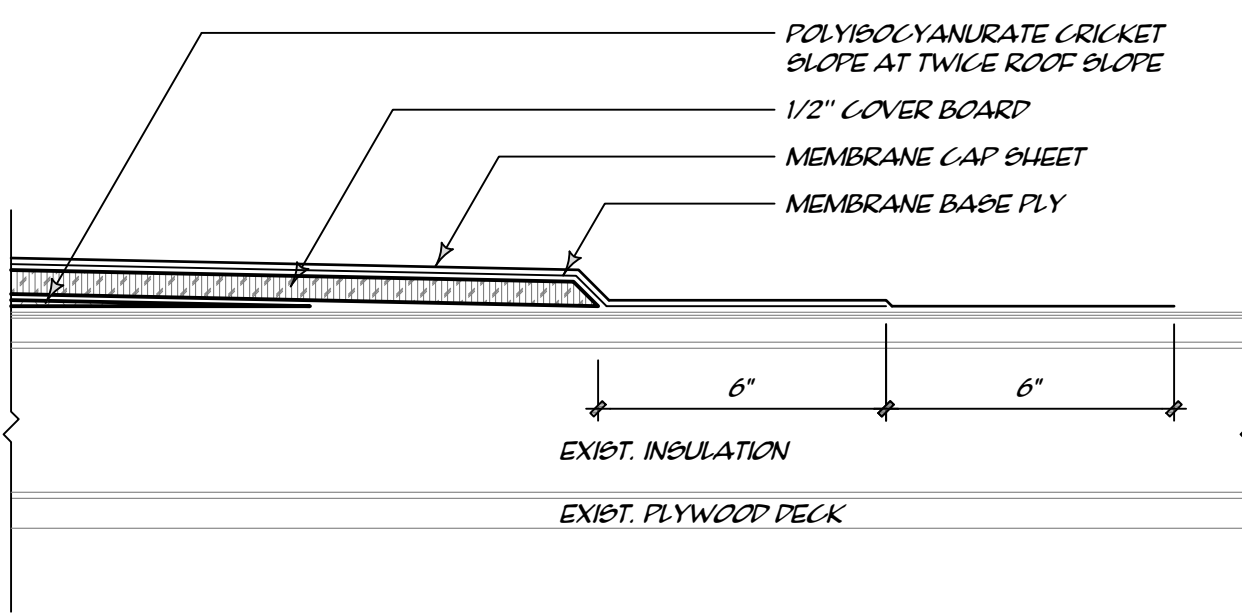
B CRICKET TIE-IN @ MODIFIED BITUMEN ROOFING

7 CRICKET PLAN - TYPE 1
R2 3" = 1'-0"



A CRICKET @ CURB - PLAN VIEW
NOT TO SCALE

8 CRICKET PLAN - TYPE 2
R2 3" = 1'-0"



B CRICKET TIE-IN @ MODIFIED BITUMEN ROOFING

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approval, permitting, or construction
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Texas License No. 24779
Date: 5/5/2021

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80% CONSTRUCTION
DOCUMENTS

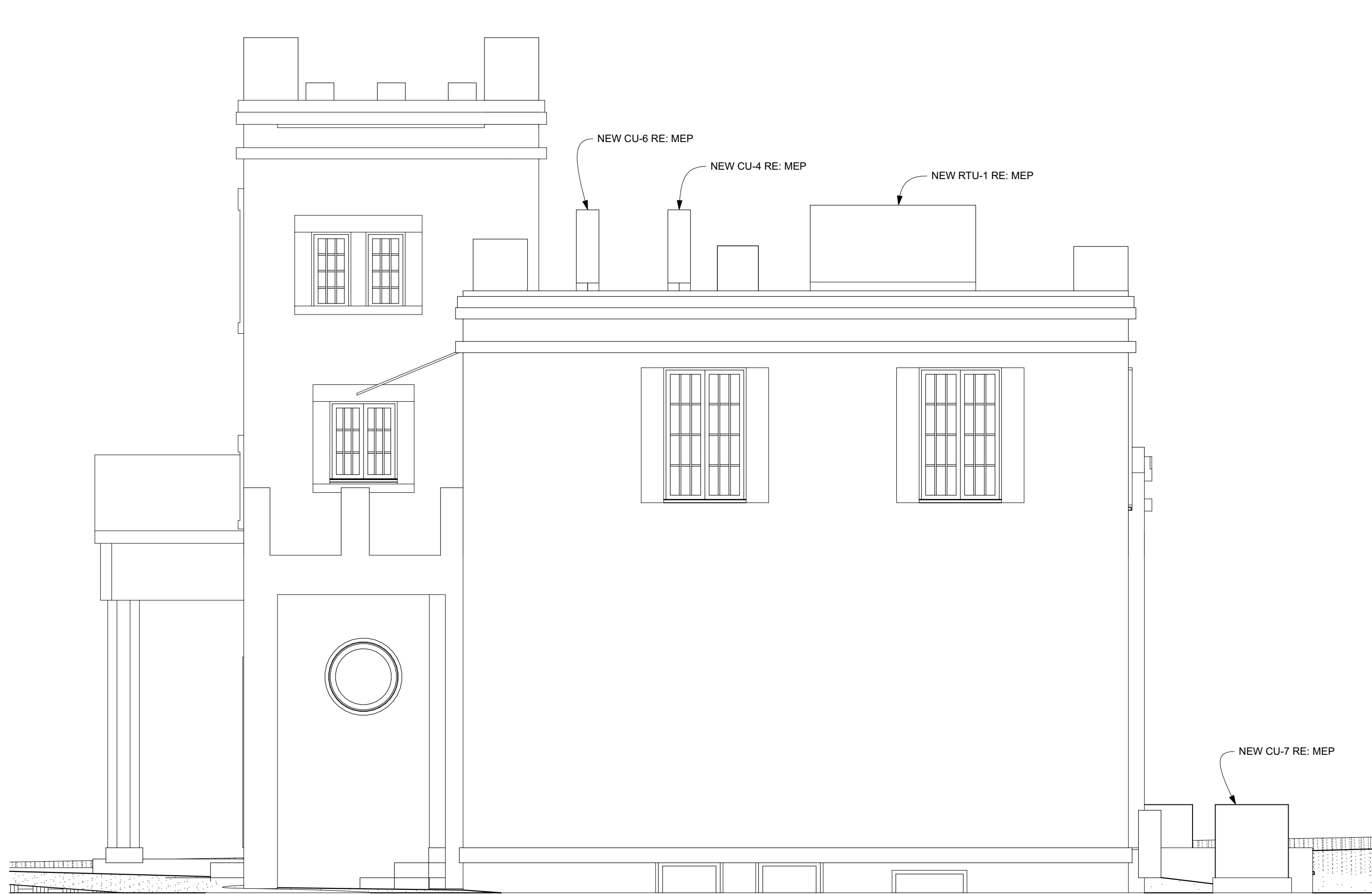
ROOF DETAILS

Revisions
No. (Date/Remarks)

Project #
2019-930
Date
5/5/21
Sheet Number

R2

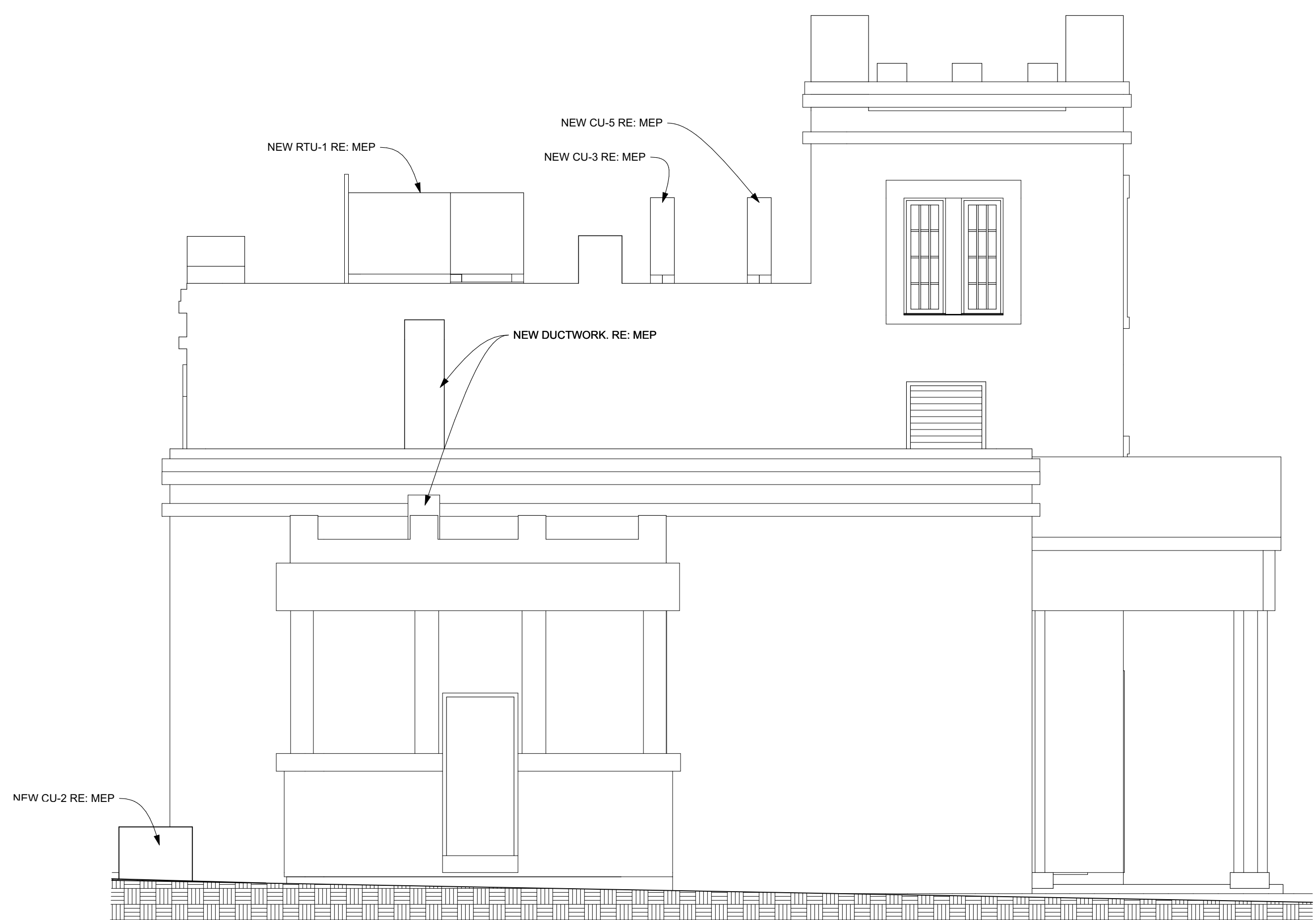
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3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"





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