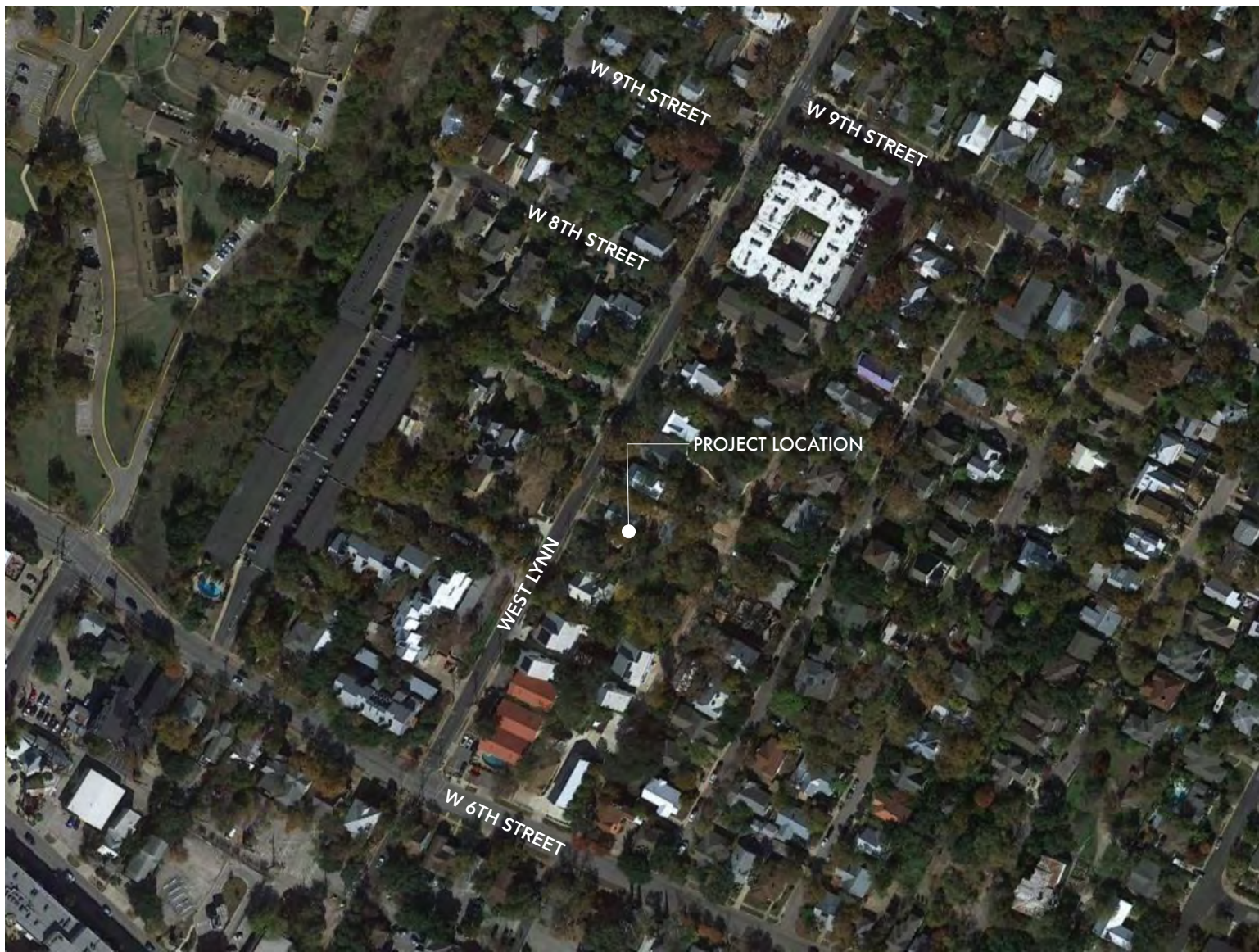


PROJECT LOCATION | PROXIMITY MAP



GENERAL NOTES

- THE CONTRACTOR SHALL THOROUGHLY REVIEW ALL CONSTRUCTION DOCUMENTS INCLUDING, BUT NOT LIMITED TO, DRAWINGS, NOTES, DIMENSIONS AND SCHEDULES. THE CONTRACTOR SHALL MAKE A DETAILED SITE VISIT, AND SHALL IMMEDIATELY BRING ANY INCONSISTENCY, SITE LAYOUT PROBLEM, OR ANY OTHER REQUEST FOR CLARIFICATION TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID OR INITIATION OF WORK. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS.
- THESE DRAWINGS ARE, IN GENERAL, DIAGRAMMATIC. EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR FROM FIELD MEASUREMENTS TAKEN BY CONTRACTOR'S PERSONNEL. ACTUAL ARRANGEMENT OF THE WORK SHALL FOLLOW LOCATIONS SHOWN ON THE DRAWINGS WITHIN THE CONSTRAINTS OF EXISTING EQUIPMENT AND CONSTRUCTION. DRAWING AND NOTES TO DRAWINGS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THERE BE DISCREPANCIES IN THEMSELVES OR BETWEEN THEM, CONTRACTOR SHALL BASE BID PRICING ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND/OR QUANTITY OF THE WORK INDICATED. IN THE EVENT OF DISCREPANCIES, OBTAIN CLARIFICATION FROM ARCHITECT BEFORE CONTINUING WORK.
- DO NOT SCALE THESE DRAWINGS. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR ANY OTHER REQUEST FOR CLARIFICATION.
- VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIAL AND PROCEEDING WITH THE WORK.
- MINIMUM CLEARANCE DIMENSIONS INDICATED SHALL BE MAINTAINED PARTICULARLY AT STAIRS, CORRIDORS AND RESTROOMS.
- CONTRACTOR TO ACQUIRE ALL NECESSARY PERMITS PRIOR TO WORK.
- CONTRACTOR IS RESPONSIBLE FOR THE SAFETY, ACTIONS AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTORS' EMPLOYEES WHILE IN THE PROJECT AREA, ADJACENT AREAS AND IN THE BUILDING AND ITS VICINITY. UPON COMPLETION OF WORK, CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE.
- CONTRACTOR SHALL SUBMIT REPRODUCIBLE SHOP DRAWINGS TO ARCHITECT FOR OWNER'S, ARCHITECT'S, AND ENGINEER'S APPROVAL.
- ALL MATERIALS, FINISHES, MANUFACTURED ITEMS, AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MORE STRINGENT. NOTIFY THE ARCHITECT OF ANY VARIATION REQUIRED IN THE DIMENSION NOTED FOR VERIFICATION FOR INSTALLATION OF EQUIPMENT BEFORE CONTINUING THE WORK.
- EVERY EFFORT HAS BEEN MADE ON THE PART OF THE ARCHITECT TO ENSURE LOCAL CODE COMPLIANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE WORK CONFORMS WITH ALL APPLICABLE CODES, AND IF DISCREPANCIES ARE NOTED, TO NOTIFY THE ARCHITECT PRIOR TO WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.
- PROVIDE BLOCKING AS REQUIRED FOR PROPER SUPPORT OF WALL AND CEILING MOUNTED EQUIPMENT.
- INSTALL PEX PIPE SYSTEM PLUMBING; INSULATE AS REQUIRED.
- FOR ALL "MATCH EXISTING" NOTES, ARCHITECT'S INTENT IS FOR CONTRACTOR TO MATCH EXISTING PROFILE AND FINISH AS CLOSE AS POSSIBLE USING AVAILABLE STOCK MATERIALS. IF UNABLE TO MATCH EXISTING, PROVIDE SAMPLES FOR ALTERNATE MATERIALS OR METHODS FOR ARCHITECT'S APPROVAL.
- DISSIMILAR METALS TO REMAIN SEPARATED TO AVOID GALVANIC CORROSION.
- ALL EXTERIOR WALLS AND ROOFS TO HAVE CLOSED CELL SPRAY FOAM INSULATION.
- ALL EXTERIOR WALLS TO BE STUD GRADE 2 X 6 NO. 2 SYP WITH STUDS AT 24" OC UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALLS TO BE STUD GRADE 2 X 4 OR NO. 2 SYP WITH STUDS AT 16" OC WITH 1/2" GYPSUM BOARD SHEATHING ON BOTH SIDES UNLESS OTHERWISE NOTED. ALL CAVITIES IN WALL ASSEMBLY TO BE FILLED WITH R-11 SOUND BATT INSULATION.
- ALL CEILINGS TO BE SHEATHED WITH 5/8" GYPSUM BOARD UNLESS OTHERWISE NOTED.
- ALL INTERIOR PAINTS, STAINS AND SEALANTS TO BE NON-TOXIC.
- FIRE SUPPRESSION SYSTEM MUST BE INSTALLED BY A CONTRACTOR LICENSED PER STATE FIRE MARSHAL'S REQUIREMENTS. SHOP DRAWINGS OF SYSTEM MUST BE SUBMITTED TO FIRE MARSHAL FOR REVIEW AND APPROVAL.
- ALL WORK MUST BE IN COMPLIANCE WITH THE APPLICABLE NFPA STANDARDS AND THE INTERNATIONAL FIRE CODE AS AMENDED BY THE CITY OF AUSTIN.
- MINIMUM OF 15 DAYS MUST BE ALLOWED FOR NEW SYSTEM PLAN REVIEWS

# 613 West Lynn Spec

613 West Lynn  
Austin, TX 78703

PROJECT DESCRIPTION

REMODEL OF EXISTING HOME WITH AN ADDITION OF AN ADU.

PROJECT TEAM

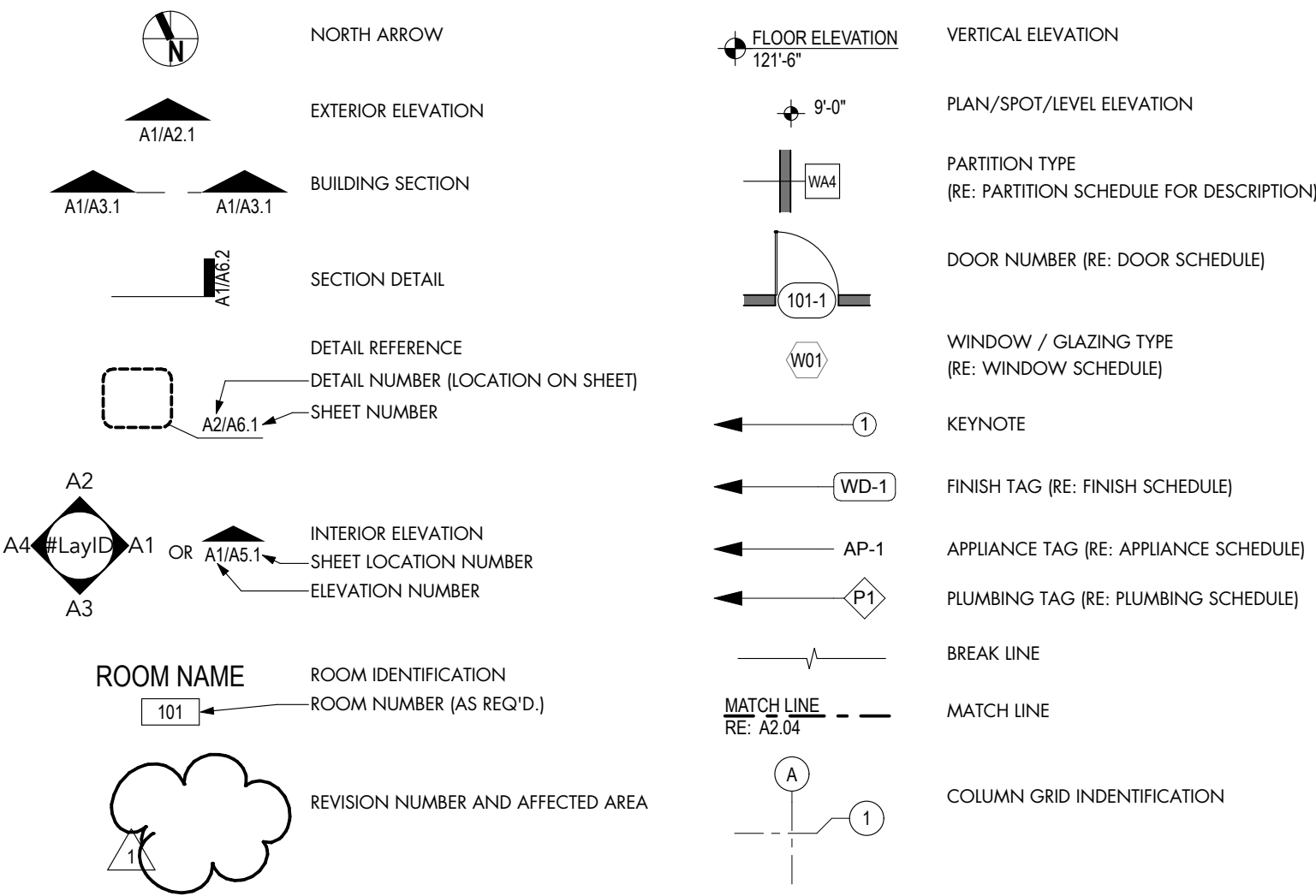
**CLIENT**  
CONTACT: MICHAEL LAHR  
10808 PELICAN POINT,  
AUSTIN, TX 78778730  
e: LAHRHOME91@GMAIL.COM

**ARCHITECT**  
DESIGNTRAIT ARCHITECTS  
CONTACT: BECKY JEANES  
2525 SOUTH LAMAR #6  
AUSTIN, TX 78704  
PH: 512-542-0073  
EMAIL: BECKY@DESIGNTRAIT.COM

PROJECT CODE ANALYSIS

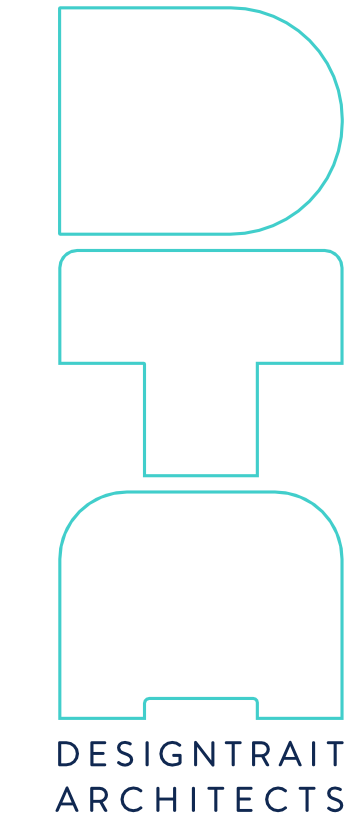
ZONING:	MF-4 NP
PARCEL ID:	106602
CONSTRUCTION TYPE:	V-B
LOT SIZE:	10,130 SQFT (.233 ACRES)
FLOOR AREA RATIO:	PROVIDED: 39% (3,934 SQFT) ALLOWED: MAX 40% (4,052 SQFT)
IMPERVIOUS COVERAGE:	PROVIDED: 44% (4473.5) ALLOWED: 45% (4558.5)
AIR CONDITIONED AREA:	4,854 SQFT
MAIN HOUSE	
BASEMENT FLOOR:	1,187 SQFT
LEVEL 01:	1,868 SQFT
LEVEL 02:	701 SQFT
TOTAL:	3,756 SQFT
ADU	
LEVEL 01:	549 SQFT
LEVEL 02:	549 SQFT
TOTAL:	1,098 SQFT
CARPORT:	267 SQFT
GARAGE:	445 SQFT

ARCHITECTURAL SYMBOLS



SHEET INDEX

ARCHITECTURAL	
A0.0	COVER SHEET
A0.1	SURVEY
A0.2	SITE PLAN
A0.3	BUILDING TENT EXHIBIT
A0.4	BASEMENT EXEMPTION EXHIBIT
D1.1	DEMO PLAN
A1.1	MAIN HOUSE - FLOOR PLAN BASEMENT LEVEL
A1.2	MAIN HOUSE - FLOOR PLAN LEVEL 1
A1.3	MAIN HOUSE - FLOOR PLAN LEVEL 2
A1.4	MAIN HOUSE - ROOF PLAN
A1.5	ADU - FLOOR PLANS LEVEL 1 & 2
A2.1	BUILDING ELEVATIONS
A2.2	BUILDING ELEVATIONS
A2.3	BUILDING ELEVATIONS
A2.4	BUILDING ELEVATIONS
A3.1	BUILDING SECTIONS



NOT FOR  
CONSTRUCTION  
NOT FOR  
PERMIT

SEAL  
Becky Jeanes - Texas Architect  
Registration #01297  
7/1/21  
This document is incomplete and may not be used for regulatory approval, permitting or construction.  
Troy Tougare - Texas Architect  
Registration #01509  
7/1/21  
This document is incomplete and may not be used for regulatory approval, permitting or construction.

PROJECT  
613 West Lynn Spec  
613 West Lynn  
Austin, TX 78703

DRAWN BY  
HH  
SHEET ISSUE  
7/1/21 | SD Progress Set

SHEET TITLE  
COVER SHEET

SHEET  
A0.0

CAUTION: DO NOT SCALE DRAWINGS  
THESE DRAWINGS ARE THE PROPERTY OF  
THE ARCHITECT AND MAY ONLY BE USED  
IN CONJUNCTION WITH THIS PROJECT



NOT FOR  
CONSTRUCTION  
NOT FOR  
PERMIT

Becky Jeanes - Texas Architect  
Registration #21297

complete and may

Texas Architect  
#21509

This document is incomplete and may not be used for regulatory approval, permitting or construction.

PROJECT

613 West Lynn Spec  
613 West Lynn  
Austin, TX 78703

DRAWN BY HH

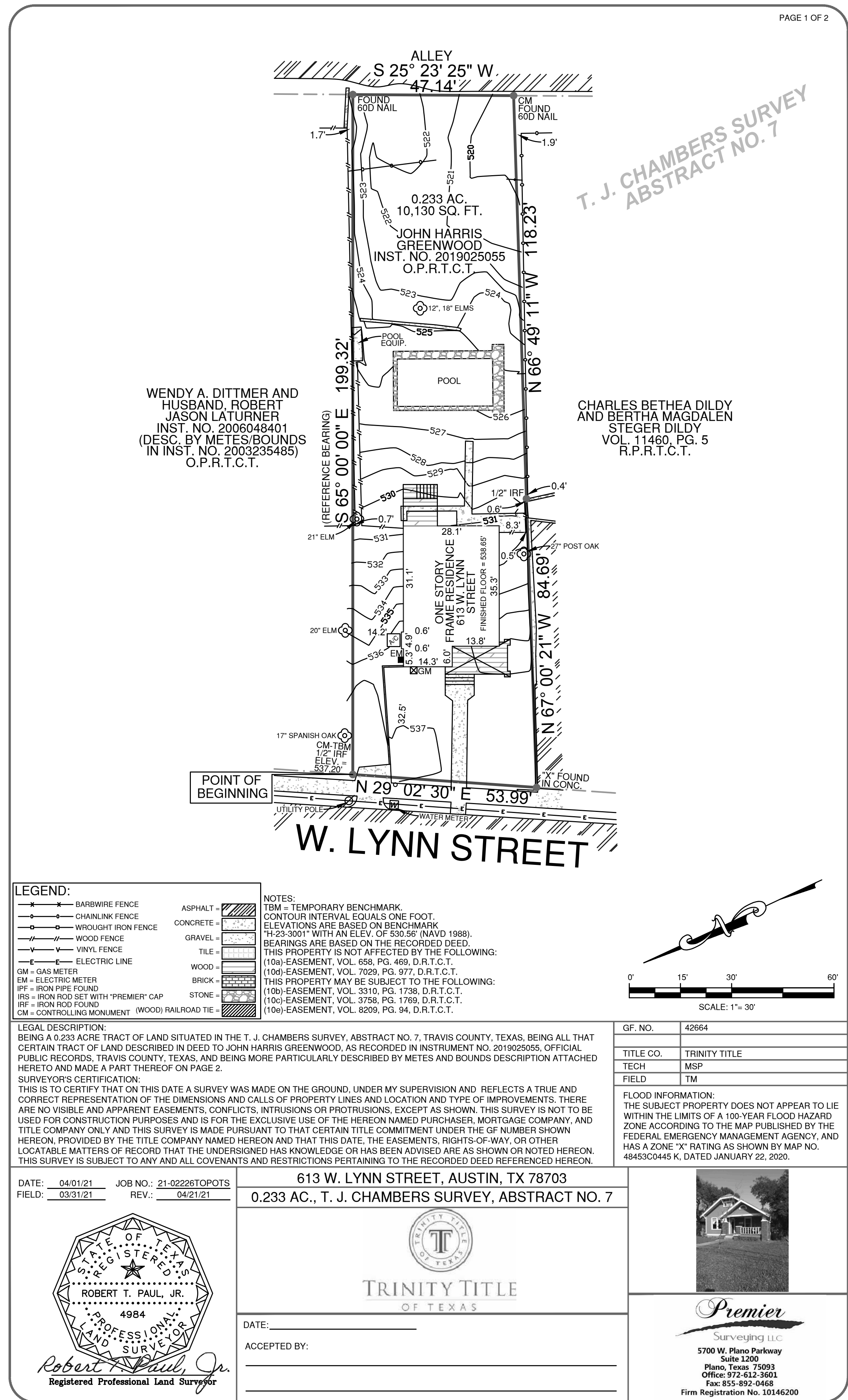
**SHEET ISSUE**

## SURVEY

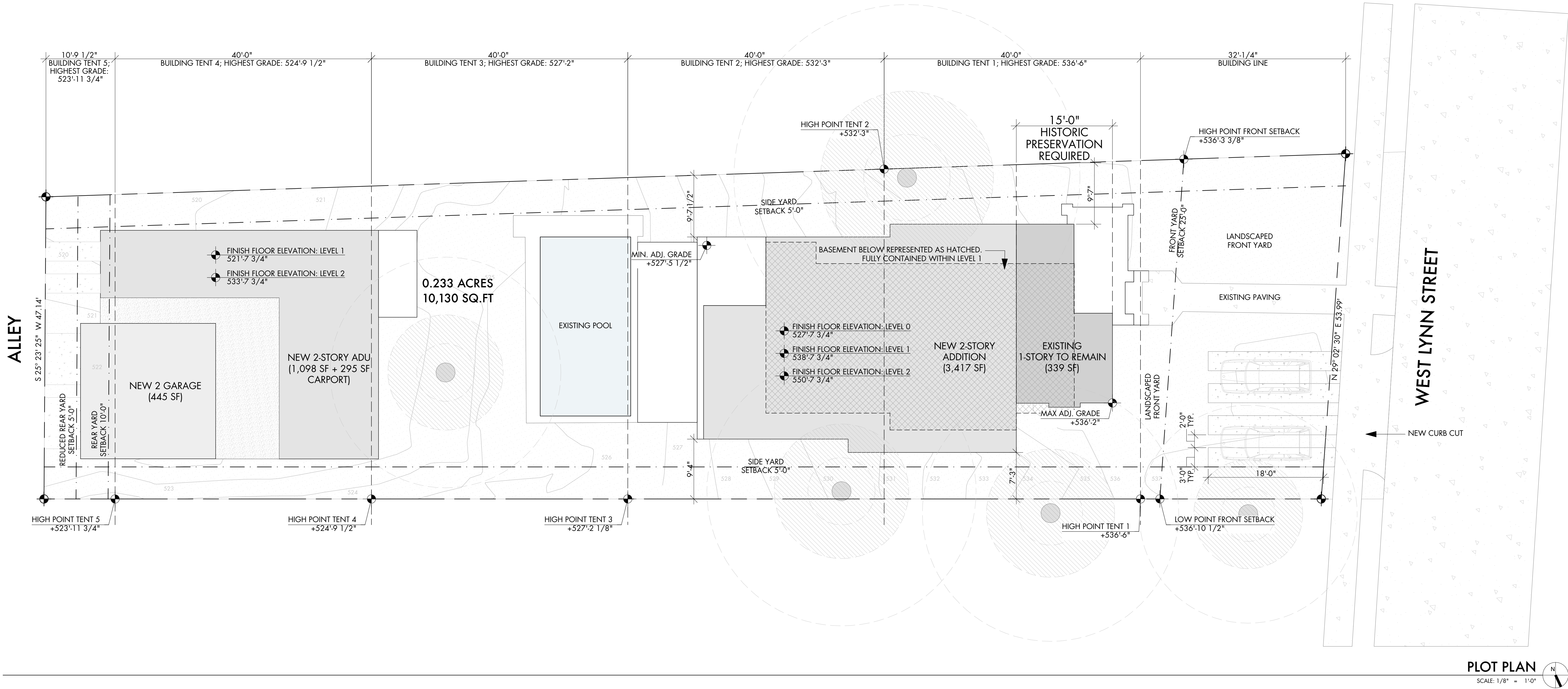
# A0.1

CAUTION: DO NOT SCALE DRAWINGS

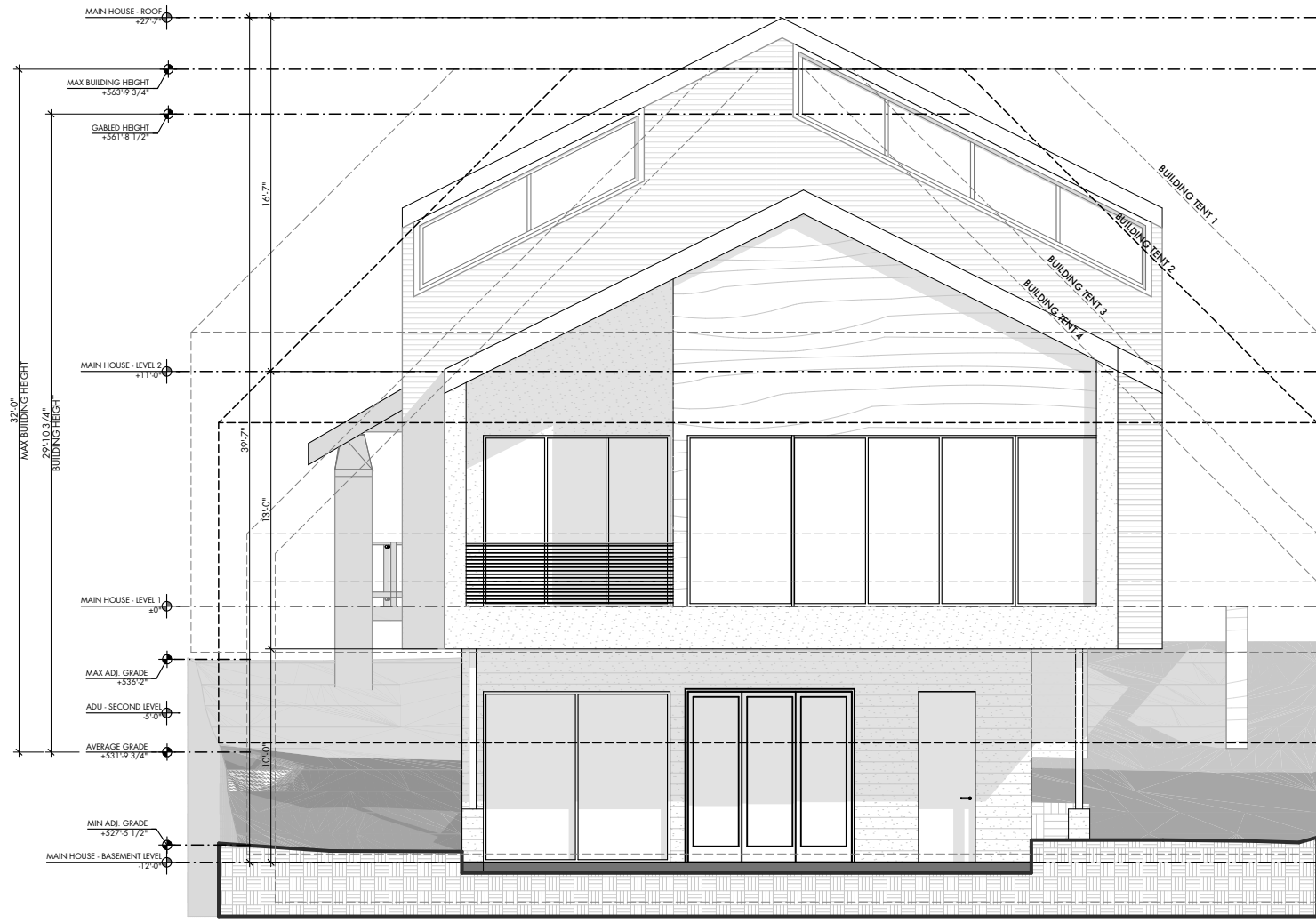
THESE DRAWINGS ARE THE PROPERTY OF  
THE ARCHITECT AND MAY ONLY BE USED  
IN CONJUNCTION WITH THIS PROJECT.











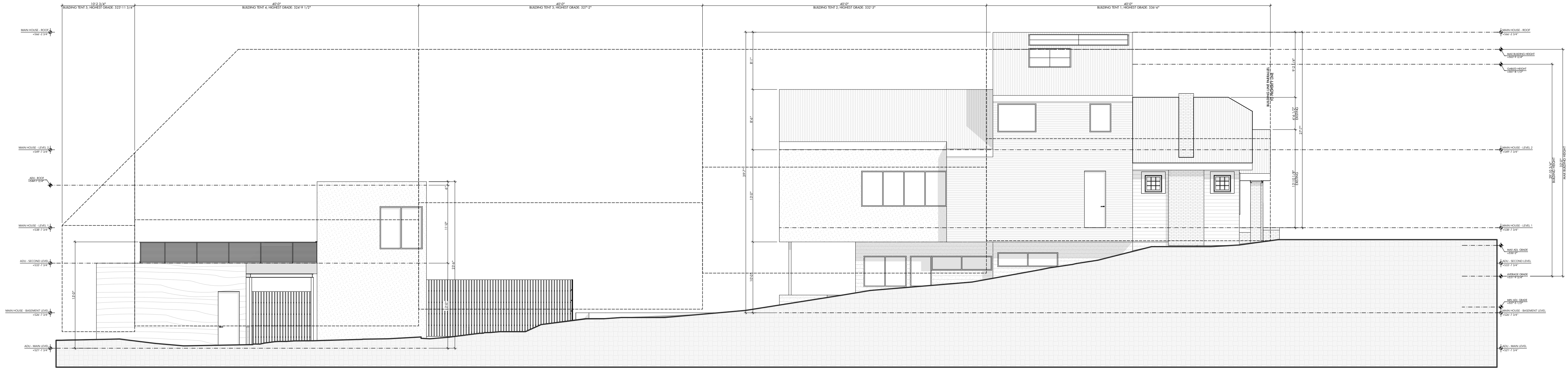
EXTERIOR ELEVATION @ EAST

SCALE: 1/8" = 1'-0"



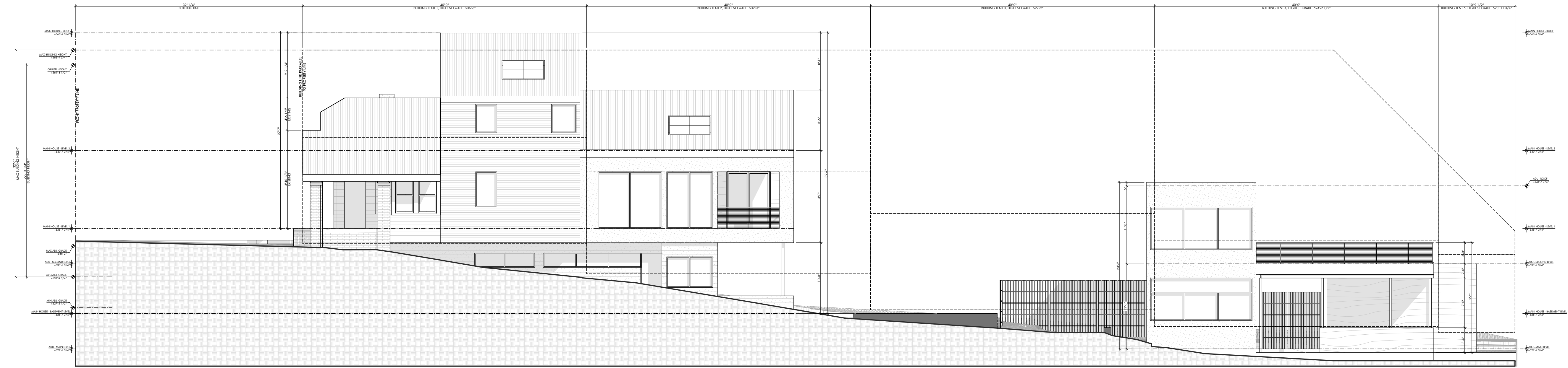
EXTERIOR ELEVATION @ WEST

SCALE: 1/8" = 1'-0"



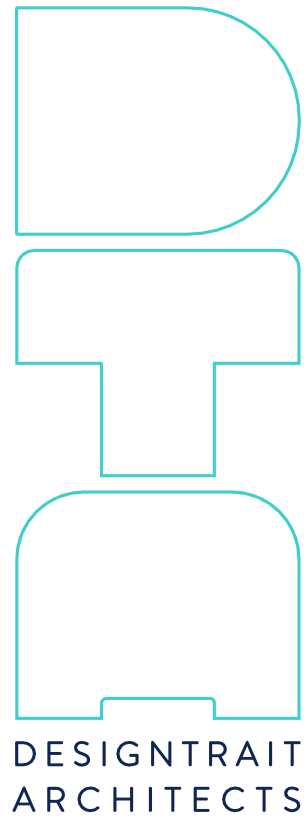
EXTERIOR ELEVATION @ NORTH

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATION @ SOUTH

SCALE: 1/8" = 1'-0"



NOT FOR  
CONSTRUCTION  
NOT FOR  
PERMIT

SEAL  
Betsy Jones - Texas Architect  
Registration #21297  
7/1/21  
This document is incomplete and may  
not be used for regulatory approval,  
permitting or construction.  
Troy Tougate - Texas Architect  
Registration #21509  
7/1/21  
This document is incomplete and may  
not be used for regulatory approval,  
permitting or construction.

PROJECT  
613 West Lynn Spec  
613 West Lynn  
Austin, TX 78703

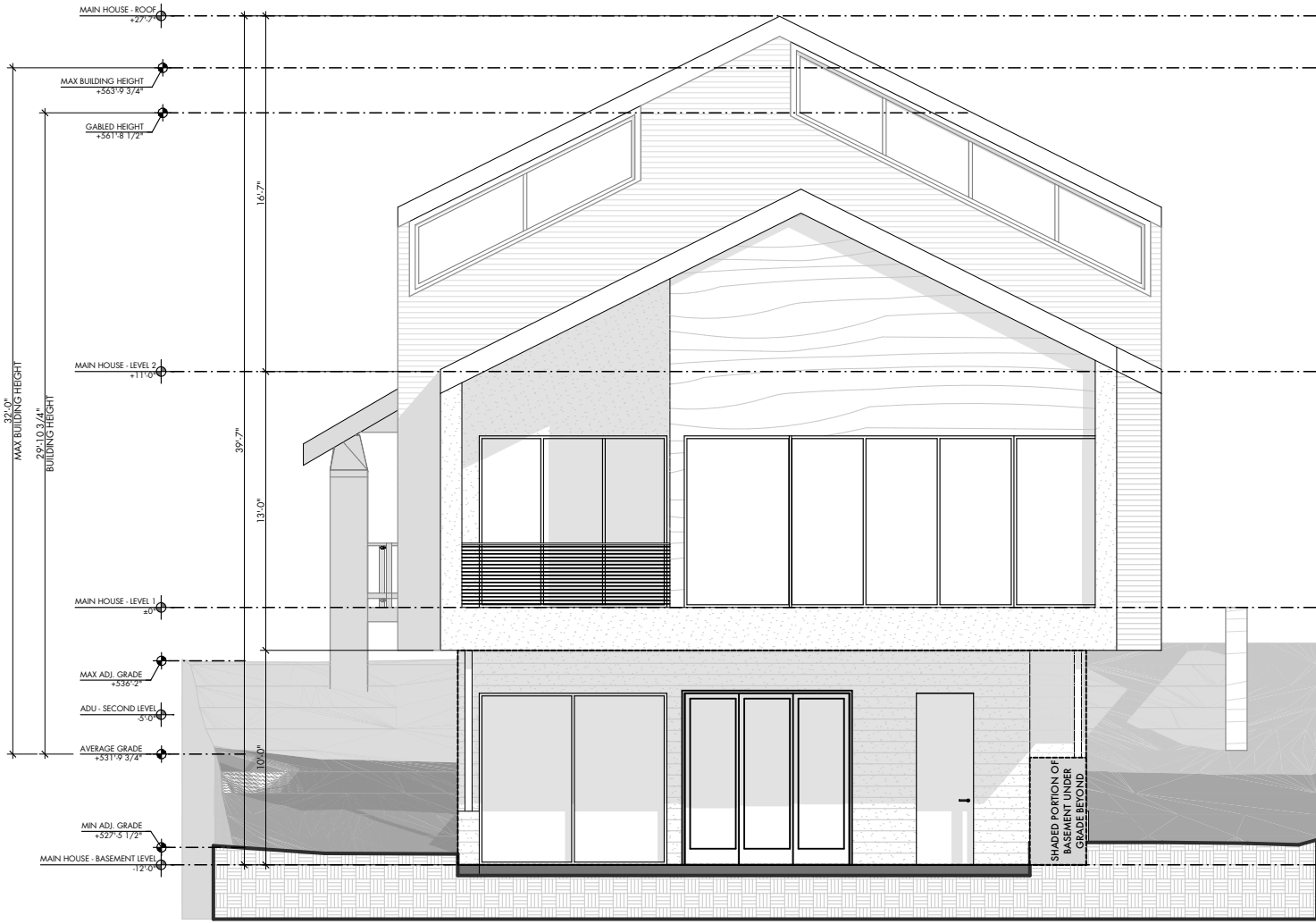
DRAWN BY  
HH

SHEET ISSUE  
7/1/21 | SD Progress Set

SHEET TITLE  
BUILDING TENT  
EXHIBIT

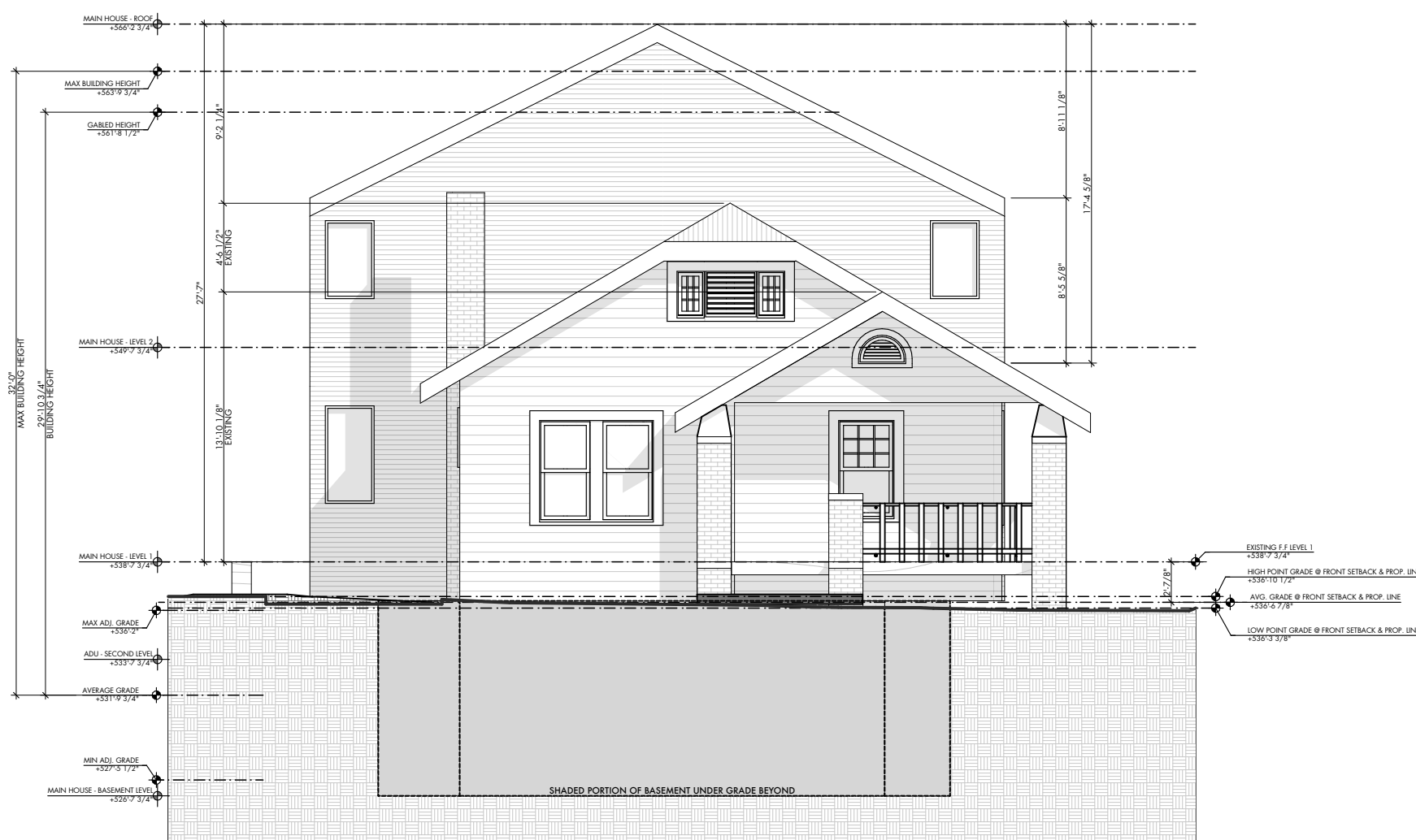
SHEET  
A0.3

CAUTION: DO NOT SCALE DRAWINGS  
THESE DRAWINGS ARE THE PROPERTY OF  
THE ARCHITECT AND MAY ONLY BE USED  
IN CONJUNCTION WITH THIS PROJECT.



EXTERIOR ELEVATION @ EAST

SCALE: 1/8" = 1'-0"

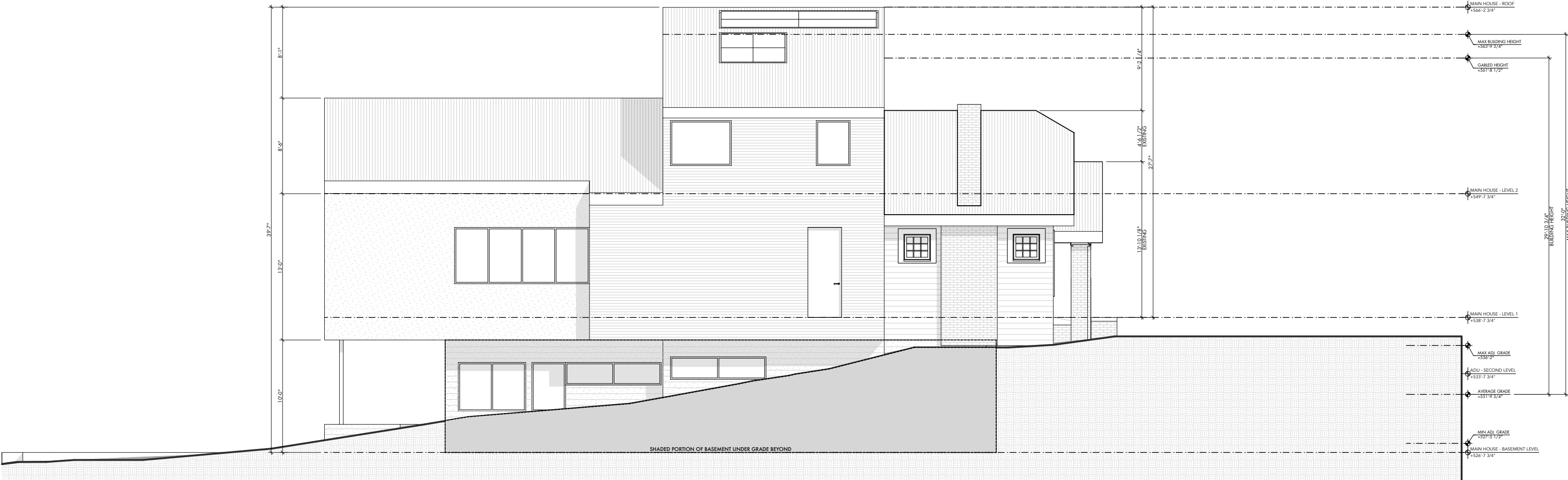


EXTERIOR ELEVATION @ WEST

SCALE: 1/8" = 1'-0"

BASEMENT EXEMPTION LEGEND	
	WALL AREA BELOW GRADE
	PERIMETER OF BASEMENT WALL

WALL AREA CALCULATIONS			
	TOTAL WALL AREA	WALL AREA BELOW GRADE	% BELOW GRADE
TOTAL	1,566 SF	869 SF	55.49 %
NORTH	490 SF	296 SF	60.4%
SOUTH	490 SF	272 SF	55.5%
EAST	293 SF	13 SF	4.4%
WEST	293 SF	288 SF	98.3%



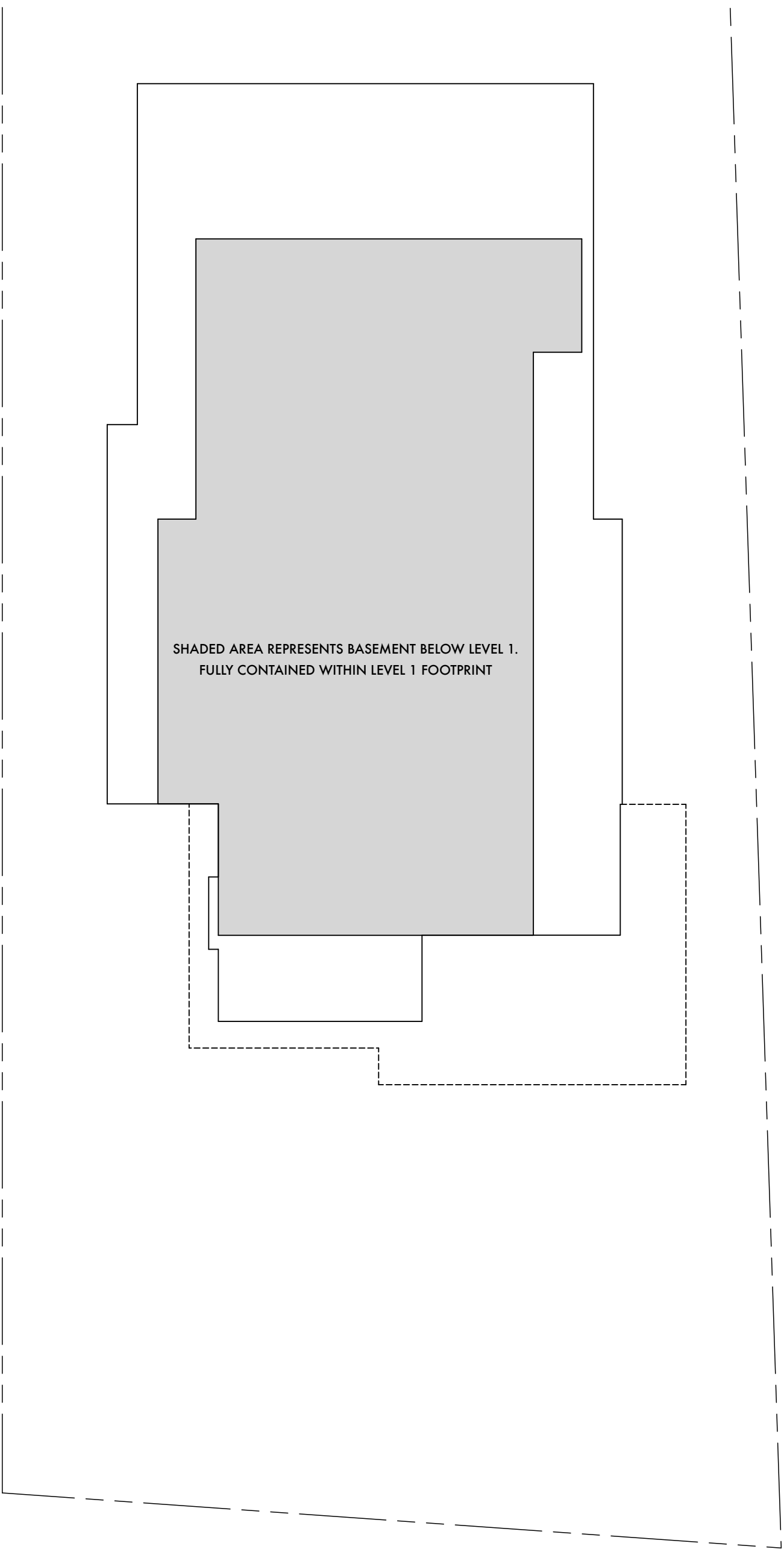
EXTERIOR ELEVATION @ NORTH

SCALE: 1/8" = 1'-0"



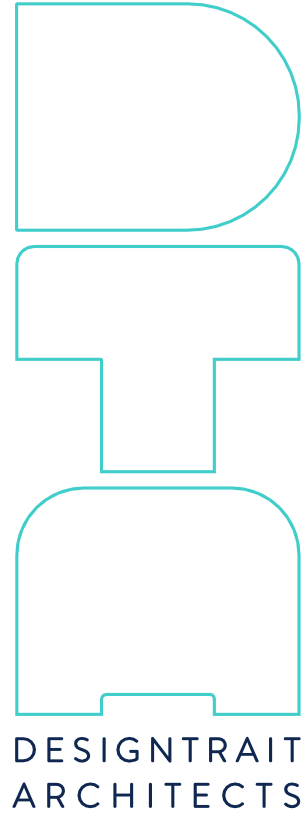
EXTERIOR ELEVATION @ SOUTH

SCALE: 1/8" = 1'-0"



BASEMENT BUILDING FOOTPRINT DIAGRAM

SCALE: 1/8" = 1'-0"



NOT FOR  
CONSTRUCTION  
NOT FOR  
PERMIT

SEAL  
Betsy Jones - Texas Architect  
Registration #21297  
7/1/21  
This document is incomplete and may  
not be used for regulatory approval,  
permitting or construction.  
Troy Tougare - Texas Architect  
Registration #21509  
7/1/21  
This document is incomplete and may  
not be used for regulatory approval,  
permitting or construction.

PROJECT  
613 West Lynn Spec  
613 West Lynn  
Austin, TX 78703

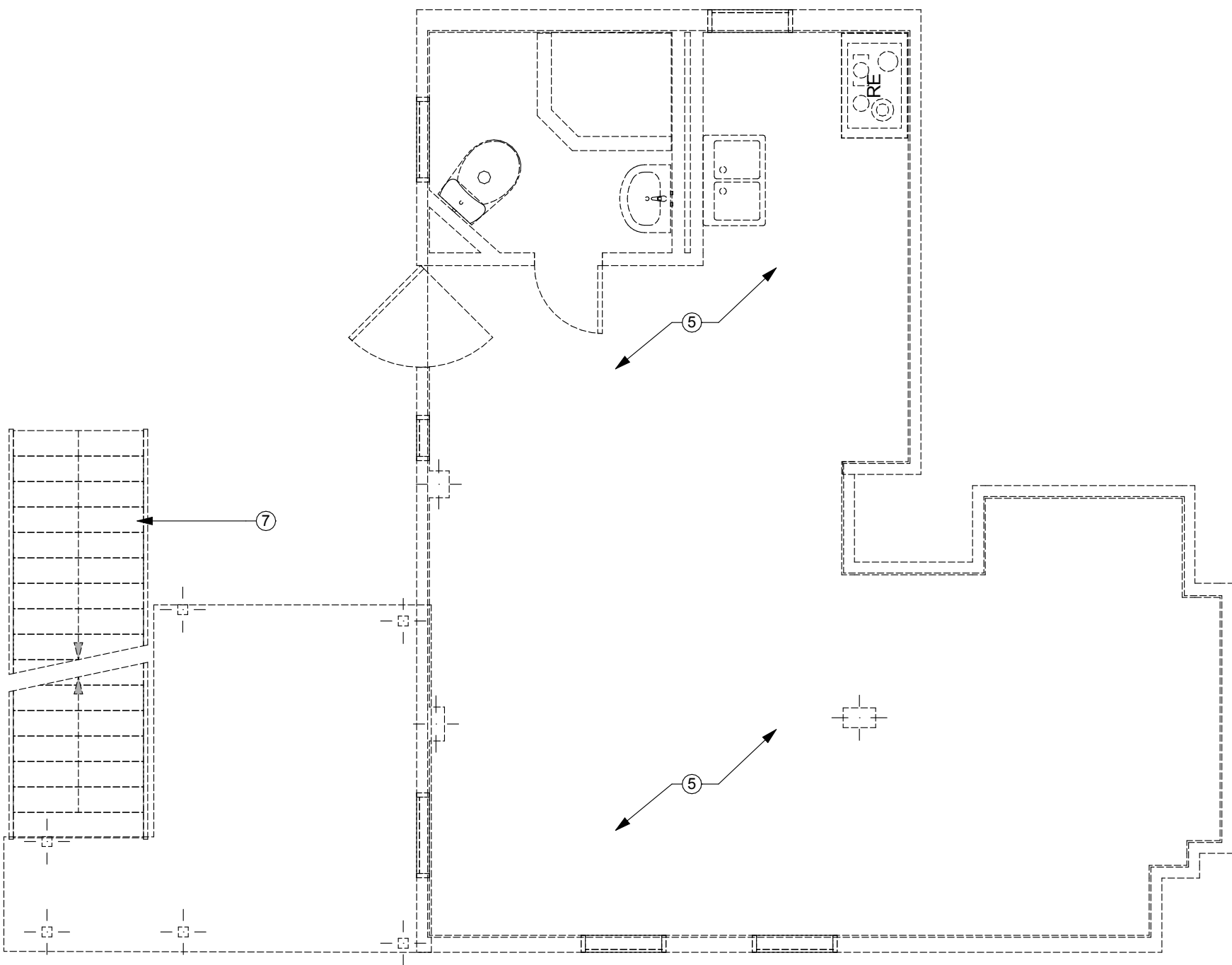
SHEET ISSUE  
7/1/21 | SD Progress Set  
DRAWN BY  
HH

SHEET TITLE  
BASEMENT  
EXEMPTION  
EXHIBIT

SHEET  
A0.4

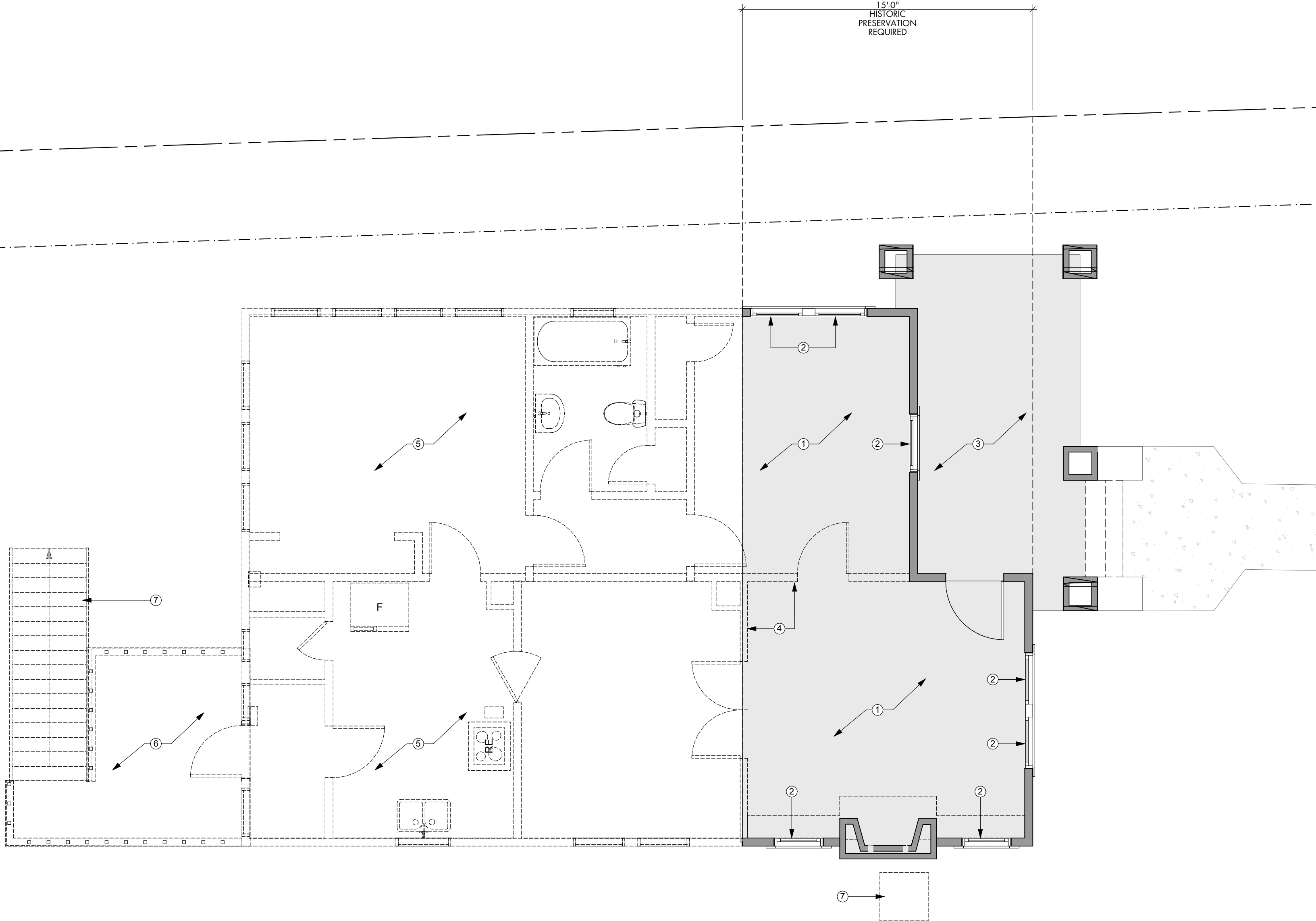
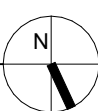
CAUTION: DO NOT SCALE DRAWINGS  
THESE DRAWINGS ARE THE PROPERTY OF  
THE ARCHITECT AND MAY ONLY BE USED  
IN CONJUNCTION WITH THIS PROJECT.





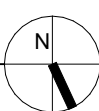
DEMO PLAN - MAIN HOUSE - BASEMENT LEVEL

SCALE: 1/4" = 1'-0"



DEMO PLAN - MAIN HOUSE - LEVEL 1

SCALE: 1/4" = 1'-0"



- GENERAL NOTES | DEMO PLAN**
- Do not scale the drawings. If a specific dimension is not given, contract Designtrait for clarification.
  - Dimensions are to face of frame or centerline of frame as noted.
  - Keynotes located on this sheet are for this sheet only.
  - Contractor shall exercise reasonable precaution in the protection of all existing finishes to remain and/or all existing substrates to receive new finish; Contractor shall: provide protective coverings and impact protection for all floor, partition, ceiling, window, glass, and all other existing finishes in the project area and for all finishes which may be subject to traffic or construction activity in adjacent areas; extend protection from building entry(ies) to project area(s).
  - Patch and repair all finishes and materials that occur from the removal or demolition procedure.
  - The Contractor shall remove from demolished walls or portions of walls all power circuits and switch legs back to first junction box. Remove any millwork or wall-mounted fixtures from walls indicated to be demolished and not otherwise shown. Any building fixtures removed from the Project and not disposed of shall be salvaged as directed by the Owner Representative. The Contractor shall take care not to unreasonable cause damage to the building fixtures.
  - Contractor to remove at least one side of gyp at all existing walls for the installation new sound batt insulation.
  - Contractor to remove ALL wall panelling from project. Replace with 5/8" Gyp Bd.
  - Existing walls might carry or transfer roof and/or ceiling loads. Consult with a qualified structural engineer to verify load bearing status for all existing walls prior to any demolition work. Provide transfer beams or alternate structure if necessary. Provide temporary shoring where required.
  - Contractor shall walk project site with Architect and Owner to review extent of demolition and identify any additional components that need to be removed in order to provide proposed new construction or that the Owner wishes to be removed as part of the scope of project.

- KEYNOTES - DEMO PLAN**
- Shaded area shown as extent of first 1'-5" 0" of the structure to remain. Patch and repair all exterior walls, roofs and slab to remain within area, U.N.O.
  - Existing glazing to remain. Repair/replace as needed.
  - Existing front porch to remain.
  - Interior partitions to be demo'd.
  - Demo all exterior & interior walls, slabs, roof, plumbing fixtures & appliances outside of first 1'-5" 0" of existing structure.
  - Demo existing wood rear patio.
  - Demo existing wood patio stairs.
- WALL LEGEND**
- EXISTING WALL TO REMAIN
  - NEW WALL
  - DEMO EXISTING WALL

NOT FOR  
CONSTRUCTION  
NOT FOR  
PERMIT

SEAL  
Buddy James - Texas Architect  
Registration #01297  
7/1/21  
This document is incomplete and may not be used for regulatory approval, permitting or construction.  
Troy Tougate - Texas Architect  
Registration #01509  
7/1/21  
This document is incomplete and may not be used for regulatory approval, permitting or construction.

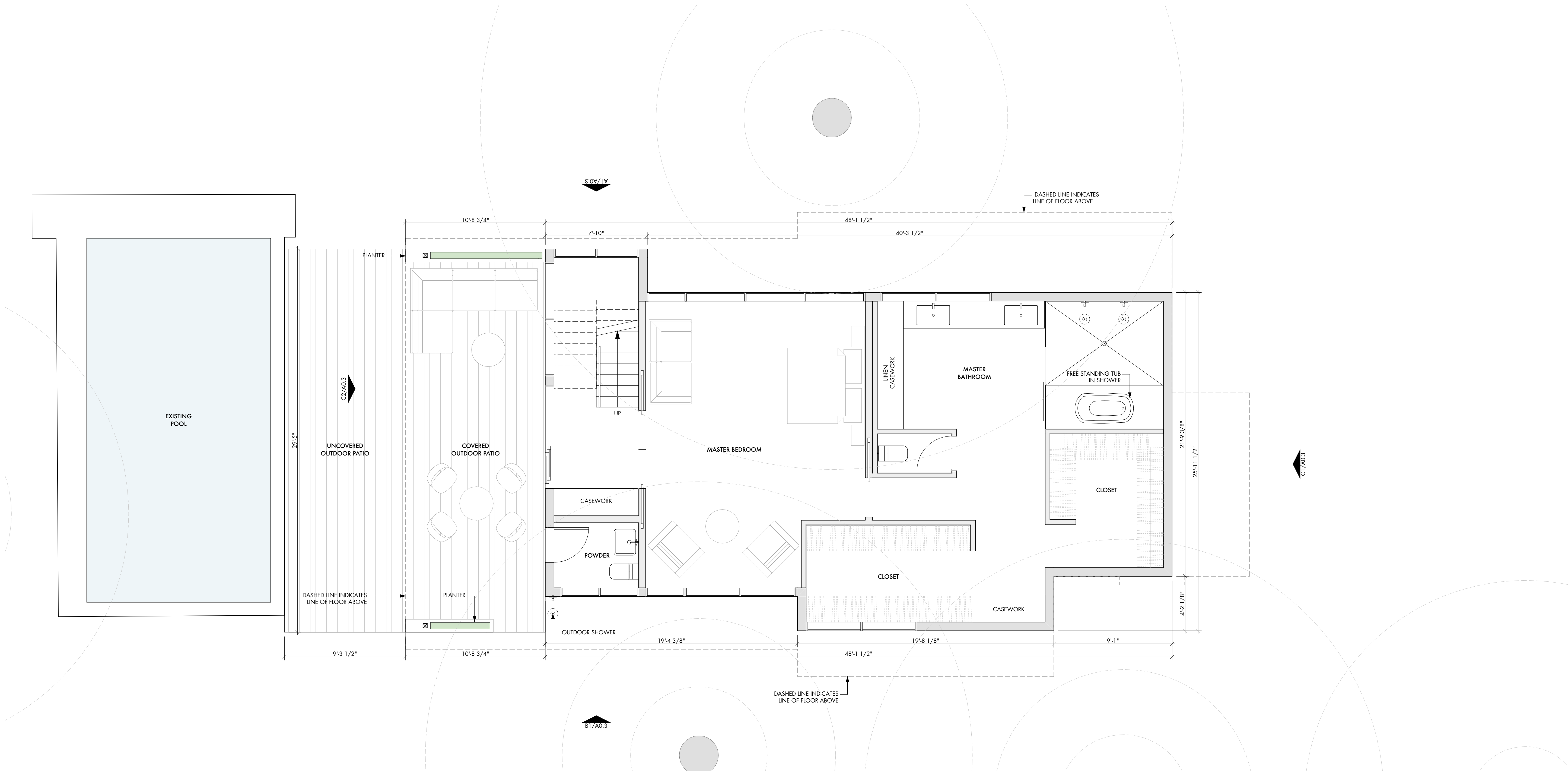
PROJECT  
613 West Lynn Spec  
613 West Lynn  
Austin, TX 78703

SHEET ISSUE  
7/1/21 | SD Progress Set  
DRAWN BY  
HH

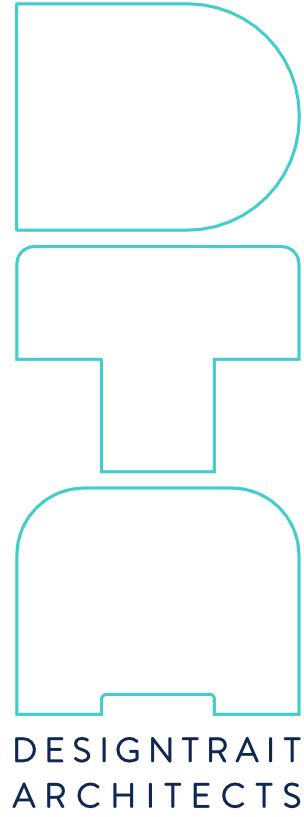
SHEET TITLE  
DEMO PLAN

SHEET  
D1.1

CAUTION: DO NOT SCALE DRAWINGS  
THESE DRAWINGS ARE THE PROPERTY OF  
THE ARCHITECT AND MAY ONLY BE USED  
IN CONJUNCTION WITH THIS PROJECT.



- GENERAL NOTES | FLOOR PLAN**
1. Do not scale the drawings. If a specific dimension is not given, contact Designtrait for clarification.
  2. Dimensions are to face of frame or centerline of frame as noted.
  3. Keynotes located on this sheet are for this sheet only.
  4. Provide tempered glazing as required by local codes.
  5. Provide submittals and shop drawings showing number of windows, locations of tempered glazing, finishes, etc.
  6. Window and door types indicate rough sizes only. GC shall field verify the appropriate glazing and leaf sizes in the field prior to ordering. For any questions, contact Designtrait for clarification.
  7. Patch and repair all finishes and materials that occur from the removal or demolition procedure.
  8. Contractor to remove at least one side of gyp at all existing walls for the installation new sound batt insulation.
  9. Existing walls might carry or transfer roof and/or ceiling loads. Consult with a qualified structural engineer to verify load bearing status for all existing walls prior to any demolition work. Provide transfer beams or alternate structure if necessary. Provide temporary shoring where required.
  10. Contractor shall walk project site with Architect and Owner to review extent of demolition and identify any additional components that need to be removed in order to provide proposed new construction or that the Owner wishes to be removed as part of the scope of project.



**NOT FOR  
CONSTRUCTION  
NOT FOR  
PERMIT**

**SEAL**  
Buddy James - Texas Architect  
Registration #21297  
7/1/21  
This document is incomplete and may not be used for regulatory approval, permitting or construction.  
Troy Tougate - Texas Architect  
Registration #21509  
7/1/21  
This document is incomplete and may not be used for regulatory approval, permitting or construction.

**PROJECT**  
**613 West Lynn Spec**  
613 West Lynn  
Austin, TX 78703

**DRAWN BY**  
HH

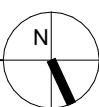
**SHEET ISSUE**  
7/1/21 | SD Progress Set

**SHEET TITLE**  
**MAIN HOUSE -  
FLOOR PLAN  
BASEMENT  
LEVEL**

**SHEET**  
**A1.1**

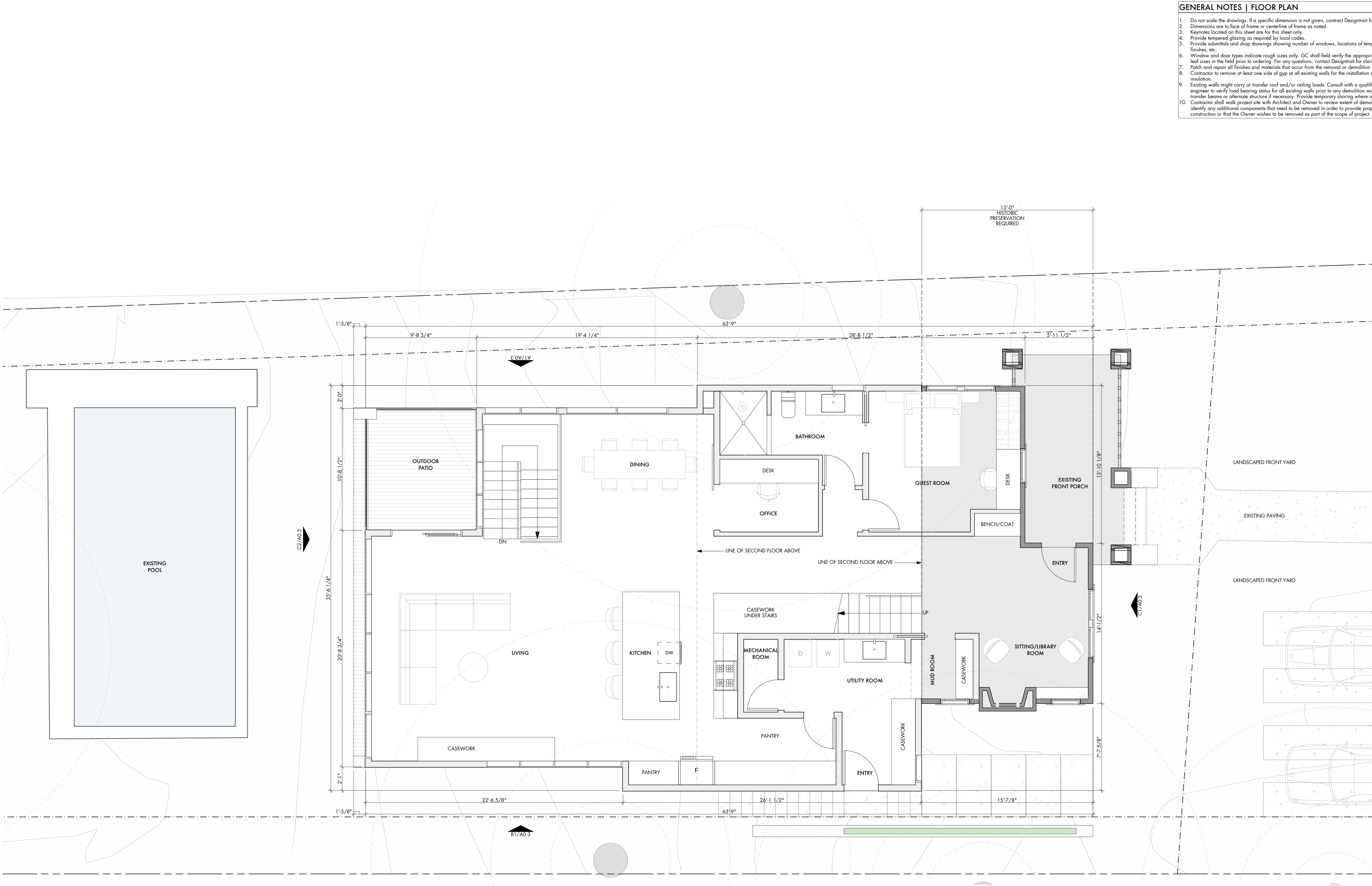
**FLOOR PLAN - BASEMENT LEVEL**

SCALE: 1/4" = 1'-0"

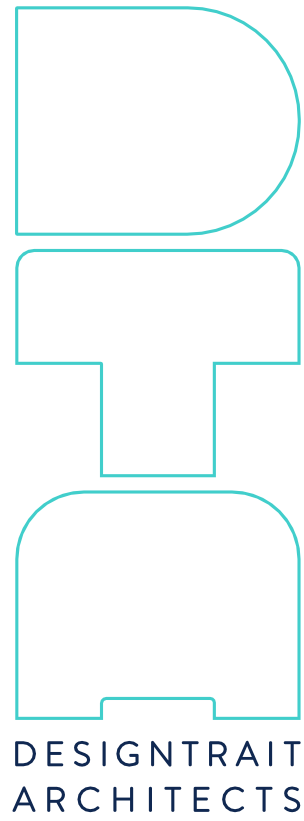


CAUTION: DO NOT SCALE DRAWINGS  
THESE DRAWINGS ARE THE PROPERTY OF  
THE ARCHITECT AND MAY ONLY BE USED  
IN CONJUNCTION WITH THIS PROJECT.





- GENERAL NOTES | FLOOR PLAN**
1. Do not scale the drawings. If a specific dimension is not given, contract Designtrait for clarification.
  2. Dimensions are to face of frame or centerline of frame as noted.
  3. Keynotes located on this sheet are for this sheet only.
  4. Provide tempered glazing as required by local codes.
  5. Provide submittals and shop drawings showing number of windows, locations of tempered glazing, finishes, etc.
  6. Window and door types indicate rough sizes only. GC shall field verify the appropriate glazing and leaf sizes in the field prior to ordering. For any questions, contact Designtrait for clarification.
  7. Patch and repair all finishes and materials that occur from the removal or demolition procedure.
  8. Contractor to remove at least one side of gyp at all existing walls for the installation new sound batt insulation.
  9. Existing walls might carry or transfer roof and/or ceiling loads. Consult with a qualified structural engineer to verify load bearing status for all existing walls prior to any demolition work. Provide transfer beams or alternate structure if necessary. Provide temporary shoring where required.
  10. Contractor shall walk project site with Architect and Owner to review extent of demolition and identify any additional components that need to be removed in order to provide proposed new construction or that the Owner wishes to be removed as part of the scope of project.



**NOT FOR  
CONSTRUCTION  
NOT FOR  
PERMIT**

**SEAL**  
Buddy James - Texas Architect  
Registration #01297  
7/1/21  
This document is incomplete and may not be used for regulatory approval, permitting or construction.  
Troy Tougate - Texas Architect  
Registration #01509  
7/1/21  
This document is incomplete and may not be used for regulatory approval, permitting or construction.

**PROJECT**  
**613 West Lynn Spec**  
613 West Lynn  
Austin, TX 78703

**SHEET ISSUE**  
7/1/21 | SD Progress Set

**DRAWN BY**  
HH

**SHEET TITLE**  
**MAIN HOUSE -  
FLOOR PLAN  
LEVEL 1**

**SHEET**  
**A1.2**

**FLOOR PLAN - LEVEL 1**  
SCALE: 1/4" = 1'-0"

CAUTION: DO NOT SCALE DRAWINGS  
THESE DRAWINGS ARE THE PROPERTY OF  
THE ARCHITECT AND MAY ONLY BE USED  
IN CONJUNCTION WITH THIS PROJECT.



- GENERAL NOTES | FLOOR PLAN
1.

Do not scale the drawings. If a specific dimension is not given, contract Designtrait for clarification.
2.

Dimensions are to face of frame or centerline of frame as noted.
3.

Keynotes located on this sheet are for this sheet only.
4.

Provide tempered glazing as required by local codes.
5.

Provide submittals and shop drawings showing number of windows, locations of tempered glazing, finishes, etc.
6.

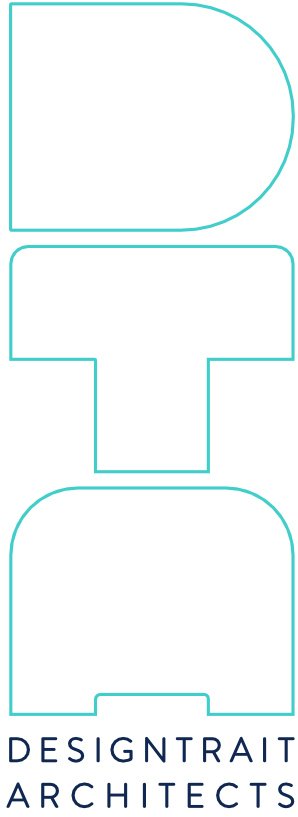
Window and door types indicate rough sizes only. GC shall field verify the appropriate glazing and leaf sizes in the field prior to ordering. For any questions, contact Designtrait for clarification.
7.

Patch and repair all finishes and materials that occur from the removal or demolition procedure.
8.

Contractor to remove at least one side of gyp at all existing walls for the installation new sound batt insulation.
9.

Existing walls might carry or transfer roof and/or ceiling loads. Consult with a qualified structural engineer to verify load bearing status for all existing walls prior to any demolition work. Provide transfer beams or alternate structure if necessary. Provide temporary shoring where required.
10.

Contractor shall walk project site with Architect and Owner to review extent of demolition and identify any additional components that need to be removed in order to provide proposed new construction or that the Owner wishes to be removed as part of the scope of project.



NOT FOR  
CONSTRUCTION  
NOT FOR  
PERMIT

SEAL

Becky Jones - Texas Architect  
Registration #21297  
7/1/21

This document is incomplete and may not be used for regulatory approval, permitting or construction.  
Troy Tougate - Texas Architect  
Registration #21509  
7/1/21

This document is incomplete and may not be used for regulatory approval, permitting or construction.

PROJECT

613 West Lynn Spec  
613 West Lynn  
Austin, TX 78703

SHEET ISSUE

7/1/21 | SD Progress Set

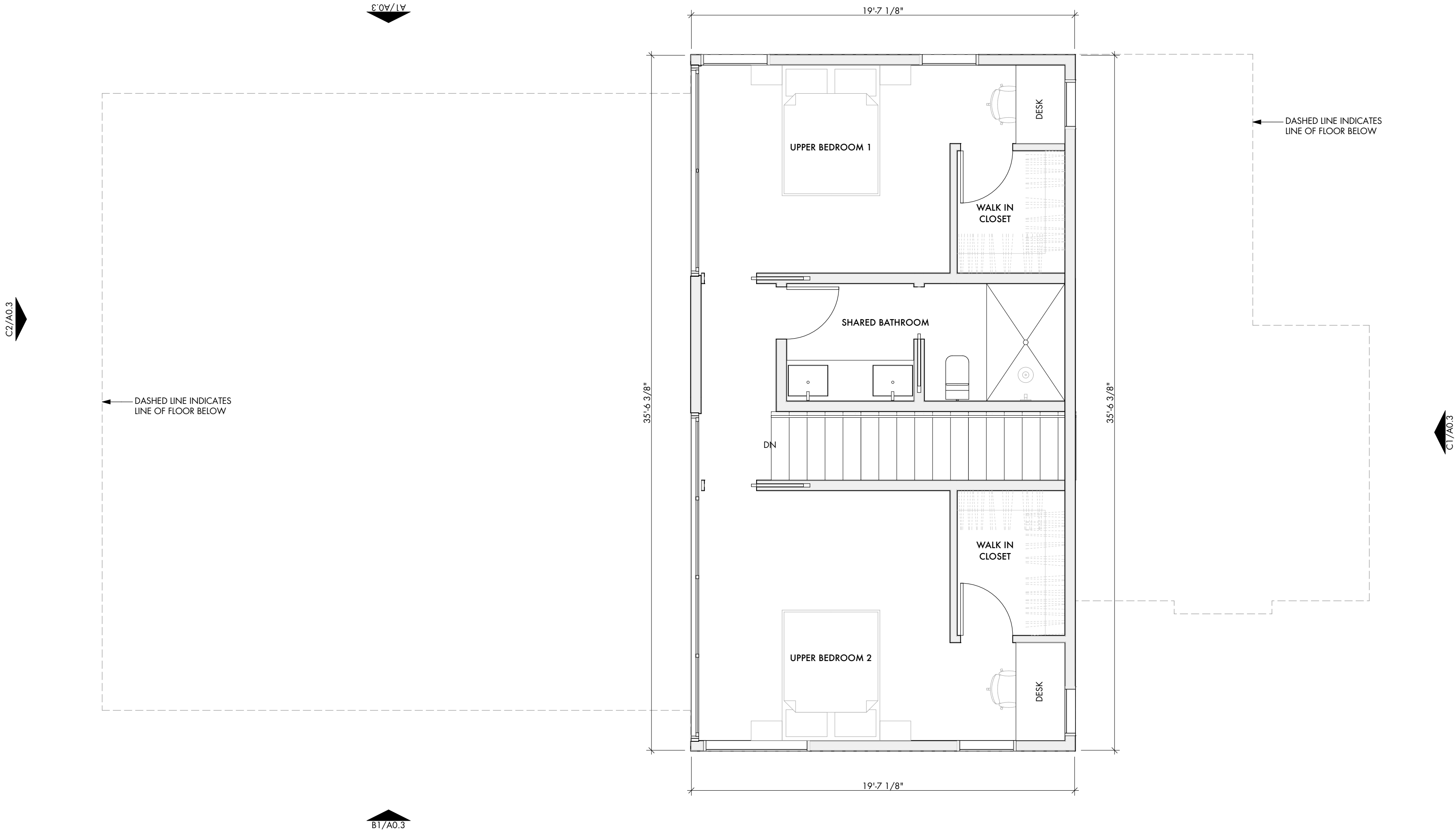
SHEET TITLE

MAIN HOUSE -  
FLOOR PLAN  
LEVEL 2

SHEET

A1.3

CAUTION: DO NOT SCALE DRAWINGS  
THESE DRAWINGS ARE THE PROPERTY OF  
THE ARCHITECT AND MAY ONLY BE USED  
IN CONJUNCTION WITH THIS PROJECT.



FLOOR PLAN - LEVEL 2

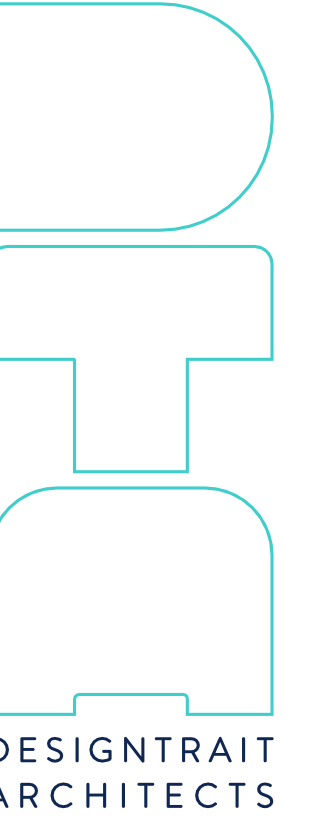
SCALE: 1/4" = 1'-0"

N



## GENERAL NOTES | ROOF PLAN

2. Do not scale the faces of masonry. If a specific dimension is not given, contact Design/Artist for clarification.
3. Dimensions are to face of frame or centerline of frame as noted.
4. Keynotes located on this sheet are to be used on all other sheets.
5. Provide tempered glazing as required by local codes.
6. Provide submittals and shop drawings showing number, locations, of tempered glazing, finish, etc.
7. Window and door types indicate rough sizes only. GC shall field verify the appropriate glazing and finish in the field prior to ordering. For sizes only, contact Design/Artist for clarification.
8. All finishes are to be confirmed by the Owner prior to ordering.
9. Existing walls might carry or transfer load and/or ceiling loads. Consult with a qualified structural engineer to load bearing and/or ceiling loads to be removed in order to proposed new structure.
10. Existing beams or alternate structure if necessary. Provide temporary shoring where required.
11. Contractor shall walk project site with Architect and Owner to review extent of demolition and determine additional conceptual components to be removed in order to proposed new construction or that the Owner wishes to be removed as part of the scope of project.



NOT FOR  
CONSTRUCTION  
NOT FOR  
PERMIT

Becky Jeanes - Texas Architect  
Registration #21297  
7/1/21

This document is incomplete and may not be used for regulatory approval, permitting or construction.  
Tray Tougate - Texas Architect

not be used for regulatory approval, permitting or construction.

PROJECT  
613 West Lynn Spec  
613 West Lynn  
Austin, TX 78703

HH

7/1/21 | SD Progress Set

SHEET TITLE

MAIN HOUSE -  
ROOF PLAN

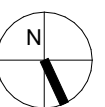
SHEET

## A1.4

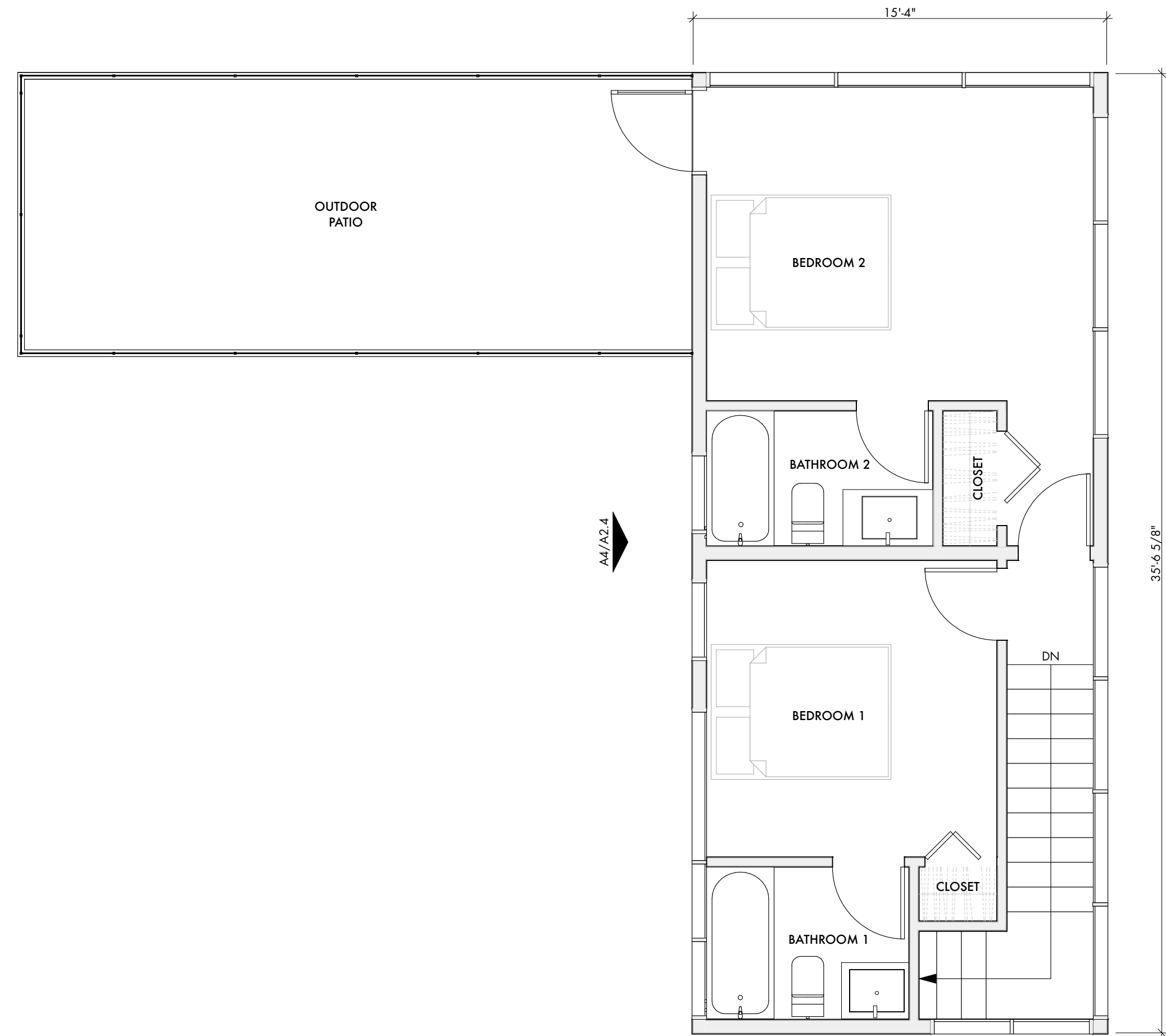
CAUTION: DO NOT SCALE DRAWINGS  
THESE DRAWINGS ARE THE PROPERTY OF  
ARCHITECT AND MAY ONLY BE USED  
IN CONJUNCTION WITH THIS PROJECT.

## ROOF PLAN

SCALE: 1/4" = 1'-0"

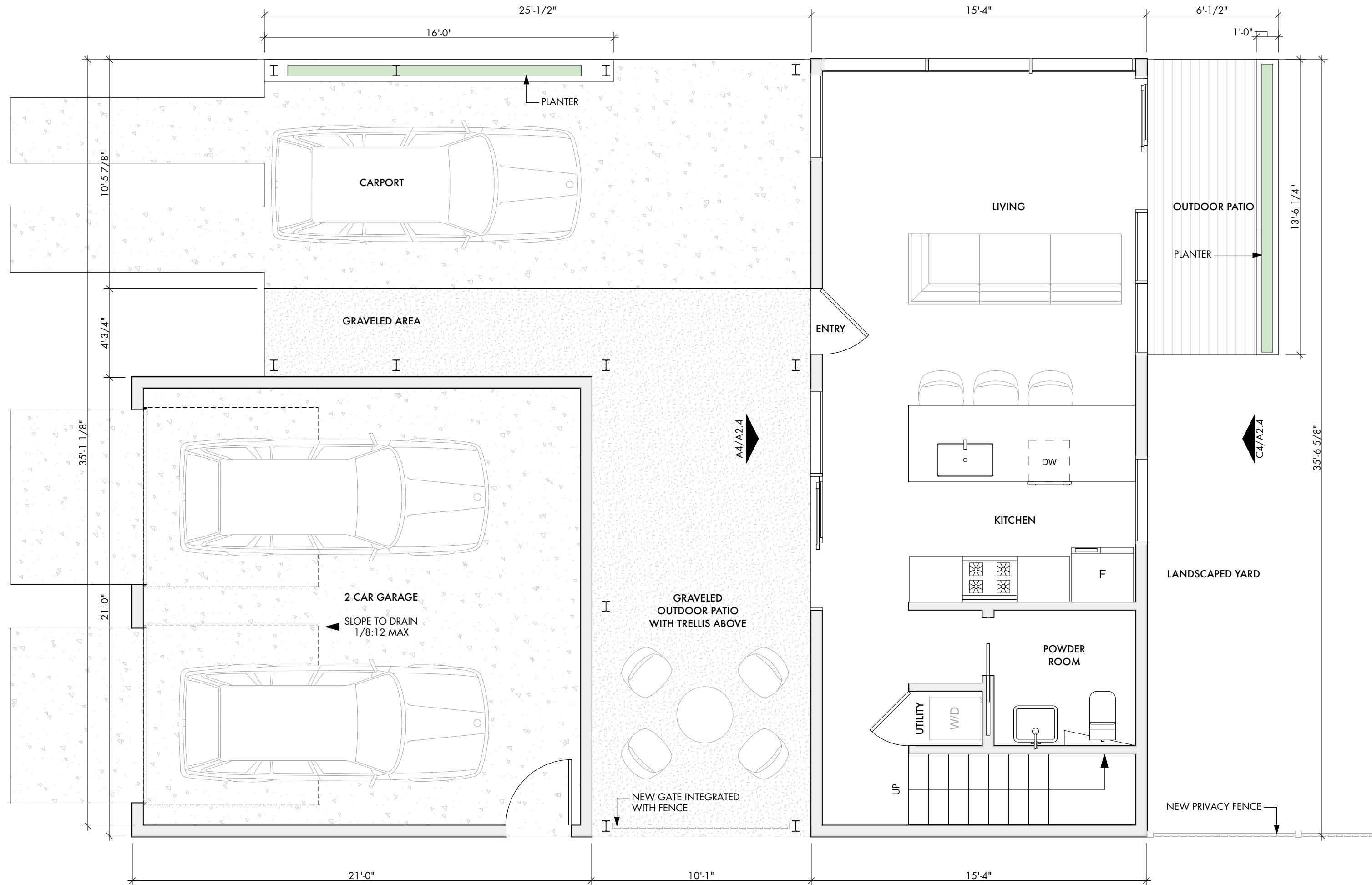
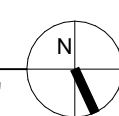






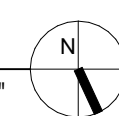
ADU FLOOR PLAN - LEVEL 2

SCALE: 1/4" = 1'-0"

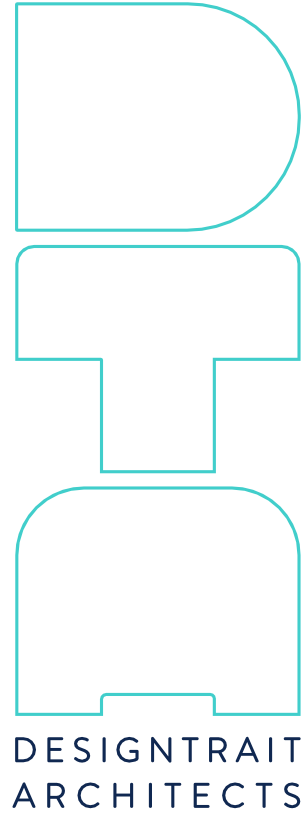


ADU FLOOR PLAN - LEVEL 1

SCALE: 1/4" = 1'-0"



- GENERAL NOTES | FLOOR PLAN**
1. Do not scale the drawings. If a specific dimension is not given, contract Designtrait for clarification.
  2. Dimensions are to face of frame or centerline of frame as noted.
  3. Keynotes located on this sheet are for this sheet only.
  4. Provide tempered glazing as required by local codes.
  5. Provide submittals and shop drawings showing number of windows, locations of tempered glazing, finishes, etc.
  6. Window and door types indicate rough sizes only. GC shall field verify the appropriate glazing and leaf sizes in the field prior to ordering. For any questions, contact Designtrait for clarification.
  7. Patch and repair all finishes and materials that occur from the removal or demolition procedure.
  8. Contractor to remove at least one side of gyp at all existing walls for the installation new sound batt insulation.
  9. Existing walls might carry or transfer roof and/or ceiling loads. Consult with a qualified structural engineer to verify load bearing status for all existing walls prior to any demolition work. Provide transfer beams or alternate structure if necessary. Provide temporary shoring where required.
  10. Contractor shall walk project site with Architect and Owner to review extent of demolition and identify any additional components that need to be removed in order to provide proposed new construction or that the Owner wishes to be removed as part of the scope of project.



NOT FOR  
CONSTRUCTION  
NOT FOR  
PERMIT

SEAL  
Betsy Jensen - Texas Architect  
Registration #01297  
7/1/21  
This document is incomplete and may  
not be used for regulatory approval,  
permitting or construction.  
Troy Tougate - Texas Architect  
Registration #01509  
7/1/21  
This document is incomplete and may  
not be used for regulatory approval,  
permitting or construction.

PROJECT  
613 West Lynn Spec  
613 West Lynn  
Austin, TX 78703

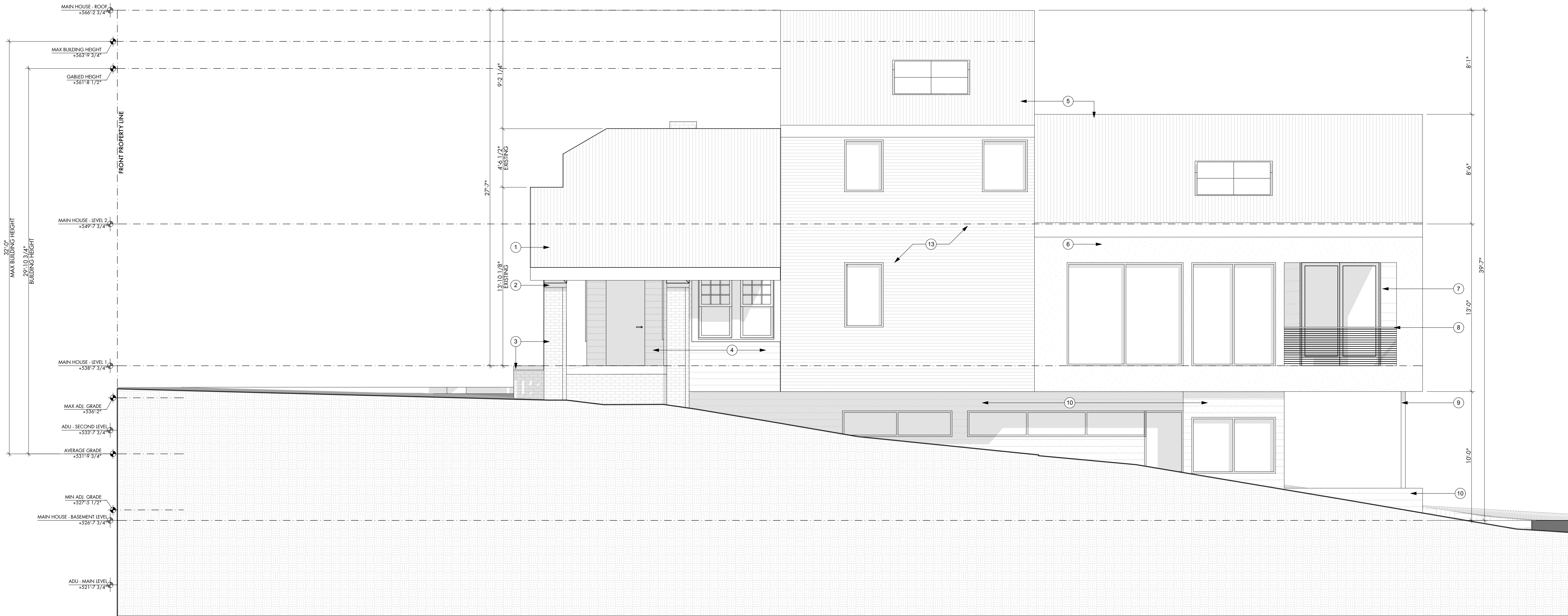
SHEET ISSUE  
7/1/21 | SD Progress Set  
DRAWN BY  
HH

SHEET TITLE  
ADU - FLOOR  
PLANS LEVEL 1 &  
2

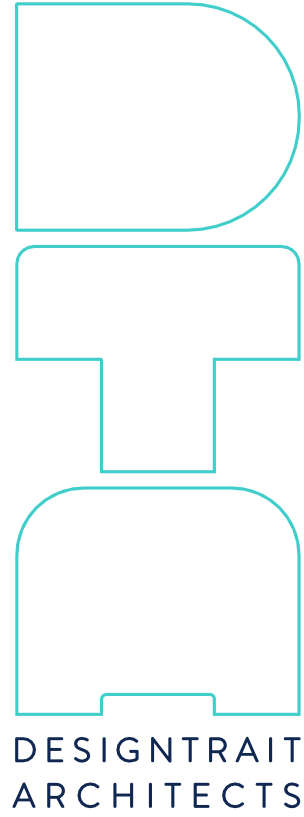
SHEET  
A1.5

CAUTION: DO NOT SCALE DRAWINGS  
THESE DRAWINGS ARE THE PROPERTY OF  
THE ARCHITECT AND MAY ONLY BE USED  
IN CONJUNCTION WITH THIS PROJECT.





KEYNOTES - EXTERIOR ELEVATIONS	
1	First 15'-0" of existing metal roof @ existing structure to remain, clean/repair as needed.
2	First 15'-0" of existing fascia @ existing structure to remain, clean/repair as needed.
3	First 15'-0" of existing masonry columns, chimney & stairs @ existing structure to remain, patch/repair as needed.
4	First 15'-0" of existing siding @ existing structure to remain, patch/repair as needed. Finish as directed, coordinate & verify with Designtrait.
5	New standing seam metal roof, match slope to existing roof.
6	Smooth stucco finish, paint and finish as directed by Designtrait.
7	Exterior wood clad.
8	Painted metal railing.
9	Painted structural column.
10	Board formed concrete walls, finish as directed.
11	Wood privacy fence.
12	Painted structural beam with wood joint infill.
13	Exterior ship lap siding.



NOT FOR  
CONSTRUCTION  
NOT FOR  
PERMIT

SEAL  
Betsy Jones - Texas Architect  
Registration #01297  
7/1/21  
This document is incomplete and may not be used for regulatory approval, permitting or construction.  
Troy Tougate - Texas Architect  
Registration #01509  
7/1/21  
This document is incomplete and may not be used for regulatory approval, permitting or construction.

PROJECT  
613 West Lynn Spec  
613 West Lynn  
Austin, TX 78703

DRAWN BY  
HH  
SHEET ISSUE  
7/1/21 | SD Progress Set

SHEET TITLE  
BUILDING  
ELEVATIONS

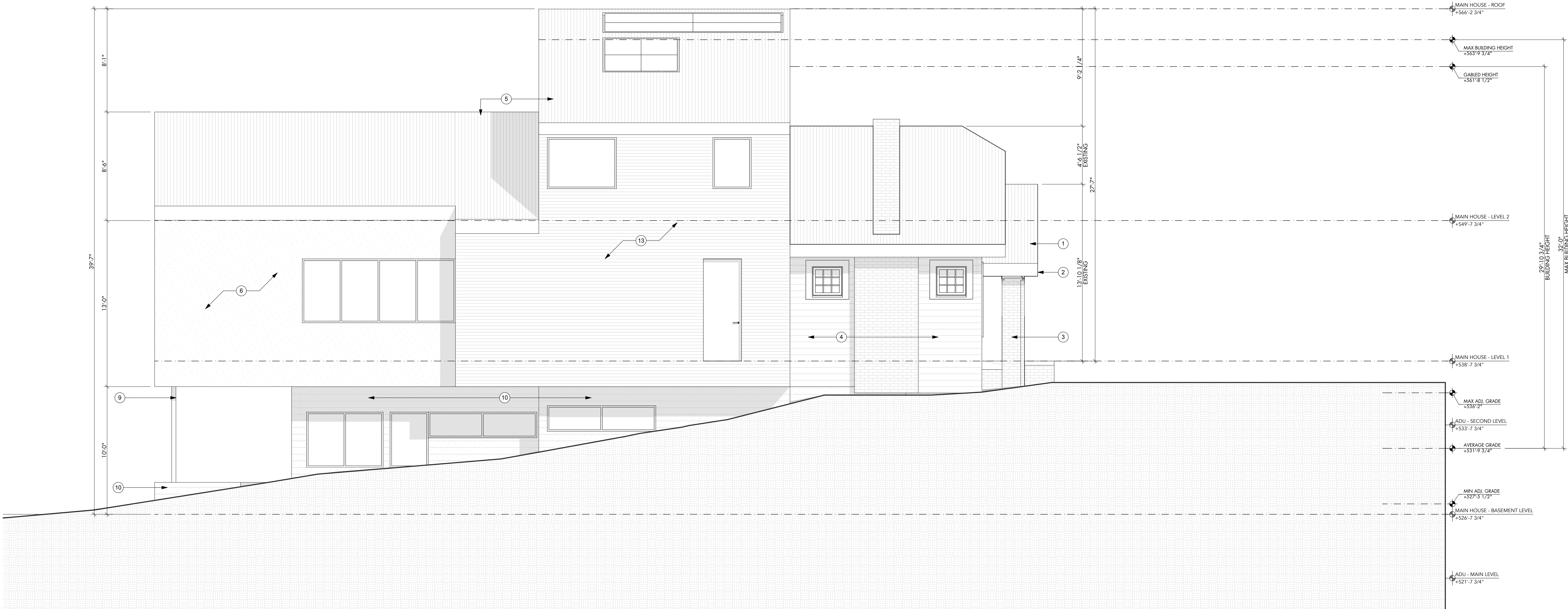
SHEET  
A2.1

MAIN HOUSE - SOUTH EXTERIOR ELEVATION A1

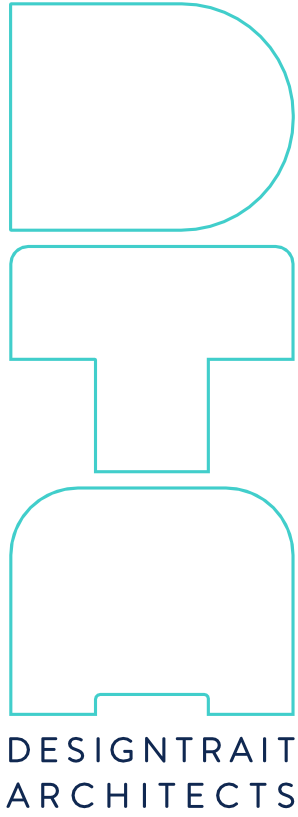
SCALE: 1/4" = 1'-0"

CAUTION: DO NOT SCALE DRAWINGS  
THESE DRAWINGS ARE THE PROPERTY OF  
THE ARCHITECT AND MAY ONLY BE USED  
IN CONJUNCTION WITH THIS PROJECT.





KEYNOTES - EXTERIOR ELEVATIONS	
1	First 15'-0" of existing metal roof @ existing structure to remain, clean/repair as needed.
2	First 15'-0" of existing fascia @ existing structure to remain, clean/repair as needed.
3	First 15'-0" of existing masonry columns, chimney & stairs @ existing structure to remain, patch/repair as needed.
4	First 15'-0" of existing siding @ existing structure to remain, patch/repair as needed. Finish as directed, coordinate & verify with Designtrait.
5	New standing seam metal roof, match slope to existing roof.
6	Smooth stucco finish, paint and finish as directed by Designtrait.
7	Exterior wood clad.
8	Painted metal railing.
9	Painted structural column.
10	Board formed concrete walls, finish as directed.
11	Wood privacy fence.
12	Painted structural beam with wood joist infill.
13	Exterior ship lap siding.



NOT FOR  
CONSTRUCTION  
NOT FOR  
PERMIT

SEAL  
Betsy Jones - Texas Architect  
Registration #01297  
7/1/21  
This document is incomplete and may not be used for regulatory approval, permitting or construction.  
Troy Tougate - Texas Architect  
Registration #01509  
7/1/21  
This document is incomplete and may not be used for regulatory approval, permitting or construction.

PROJECT  
613 West Lynn Spec  
613 West Lynn  
Austin, TX 78703

SHEET ISSUE  
DRAWN BY  
HH  
7/1/21 | SD Progress Set

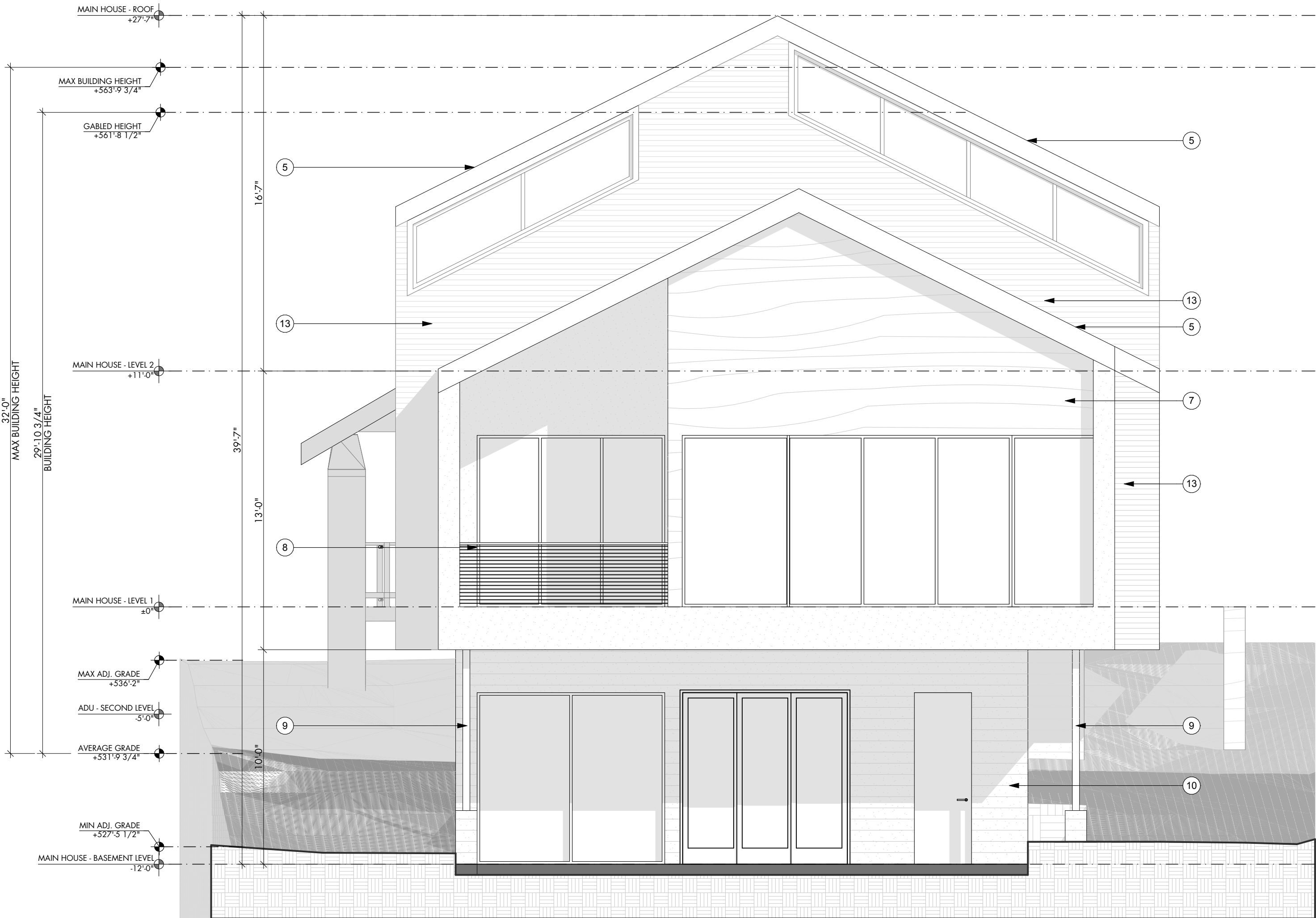
SHEET TITLE  
BUILDING  
ELEVATIONS

SHEET  
A2.2

MAIN HOUSE - NORTH EXTERIOR ELEVATION A1

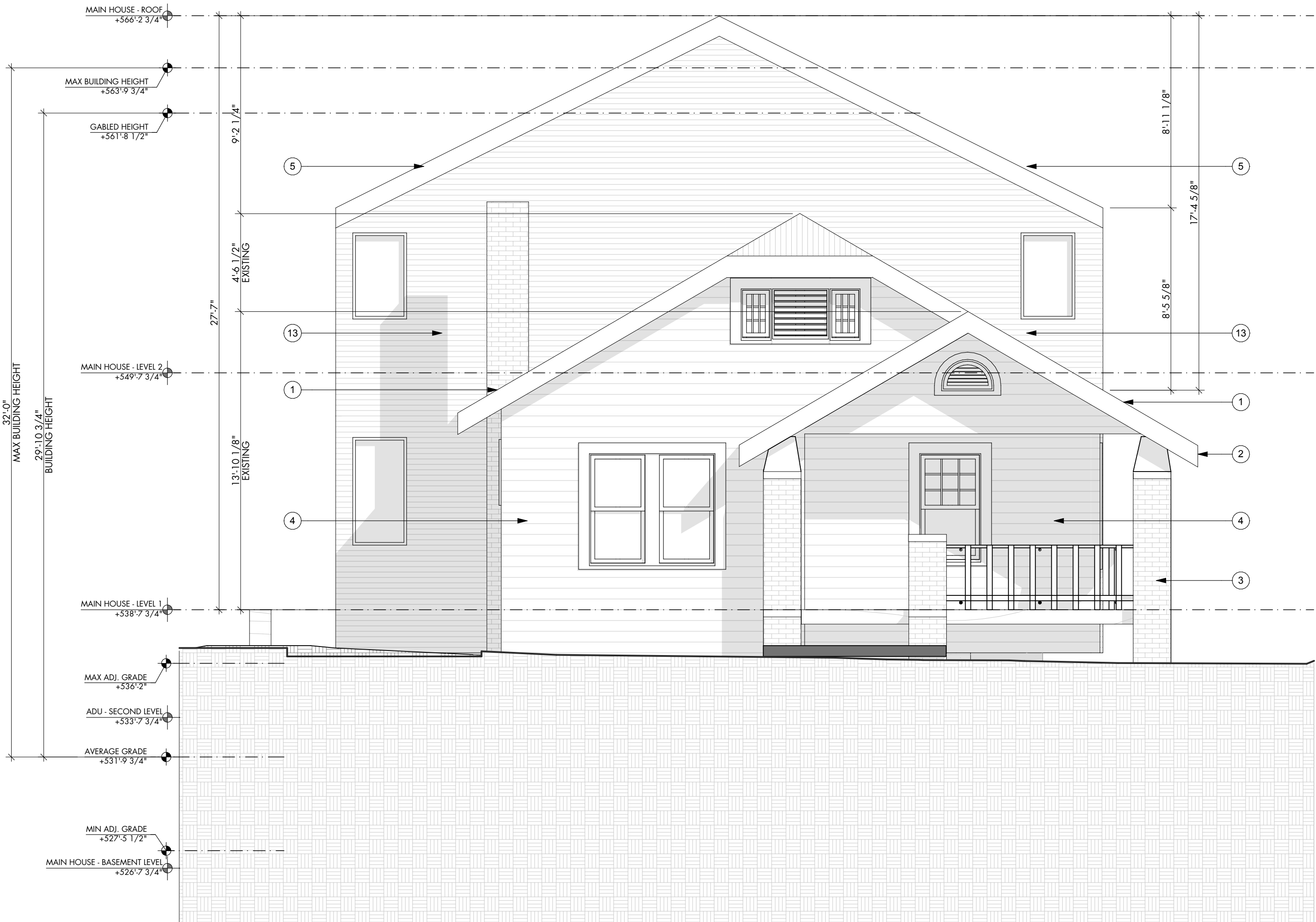
SCALE: 1/4" = 1'-0"

CAUTION: DO NOT SCALE DRAWINGS  
THESE DRAWINGS ARE THE PROPERTY OF  
THE ARCHITECT AND MAY ONLY BE USED  
IN CONJUNCTION WITH THIS PROJECT.



MAIN HOUSE - EAST EXTERIOR ELEVATION A3

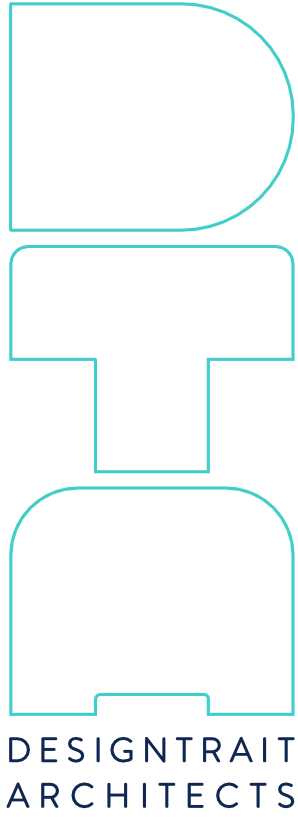
SCALE: 1/4" = 1'-0"



MAIN HOUSE - WEST EXTERIOR ELEVATION A1

SCALE: 1/4" = 1'-0"

Table with 2 columns: Keynote Number and Description. Contains 13 keynotes detailing exterior elevation materials and construction notes.



NOT FOR CONSTRUCTION NOT FOR PERMIT

SEAL: Becky James - Texas Architect, Registration #21297, 7/1/21. Project: 613 West Lynn Spec, 613 West Lynn, Austin, TX 78703.

PROJECT: 613 West Lynn Spec, 613 West Lynn, Austin, TX 78703.

DRAWN BY: HH

SHEET ISSUE: SD Progress Set

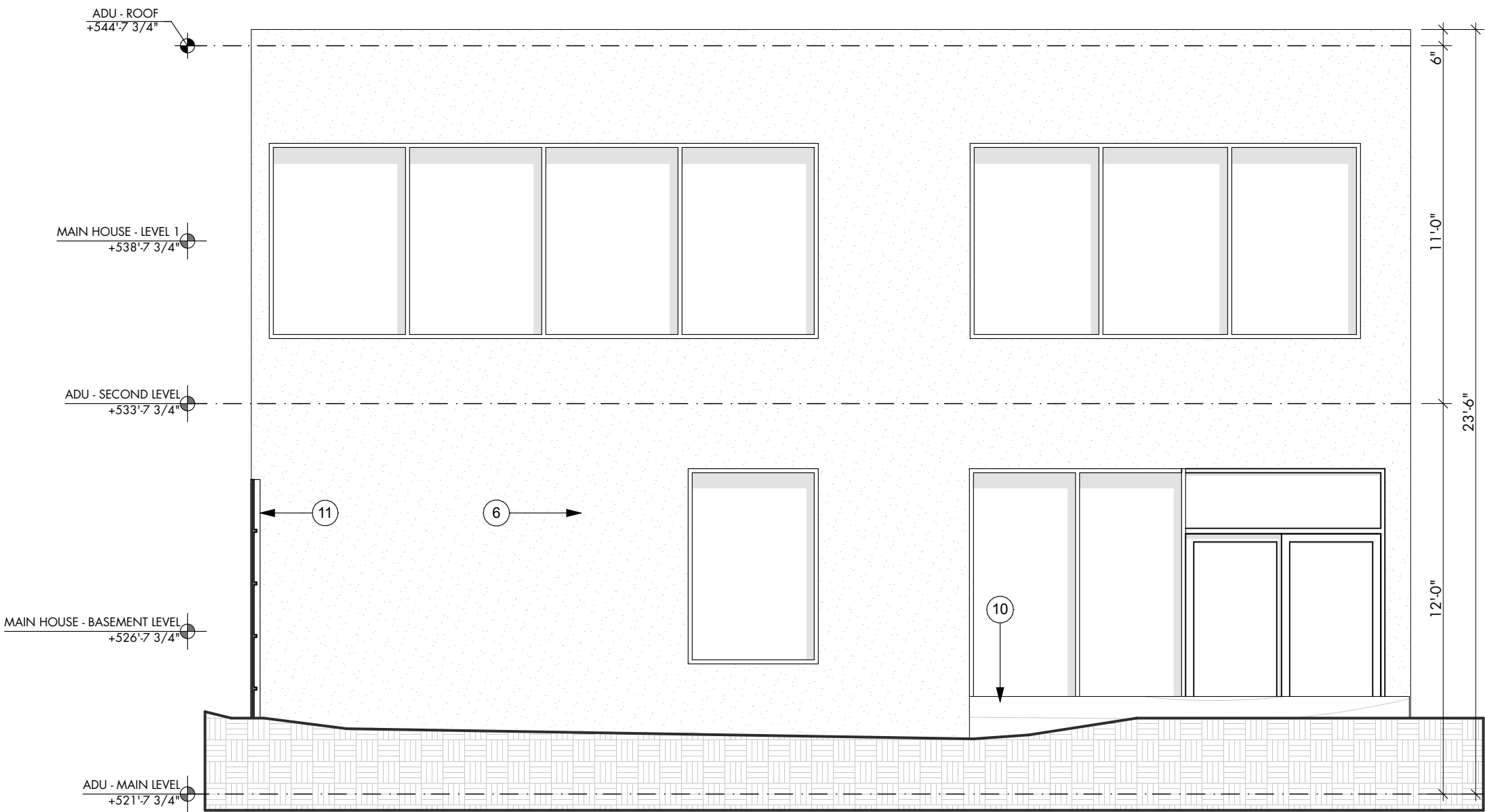
7/1/21

SHEET TITLE: BUILDING ELEVATIONS

SHEET: A2.3

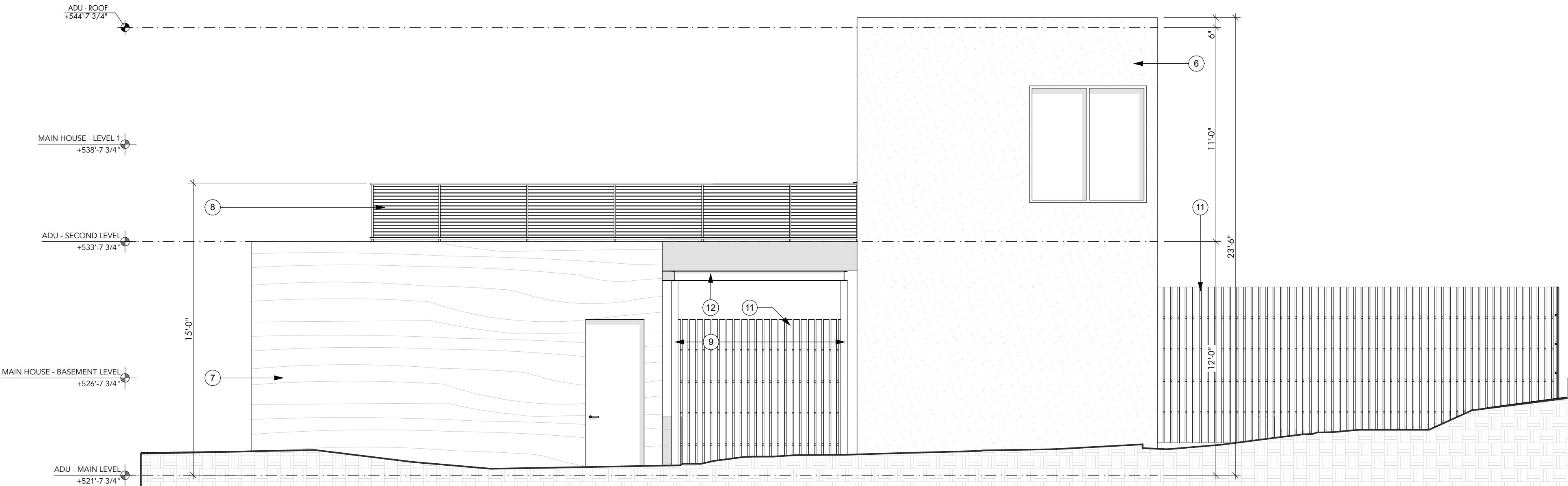
CAUTION: DO NOT SCALE DRAWINGS. THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY ONLY BE USED IN CONJUNCTION WITH THIS PROJECT.





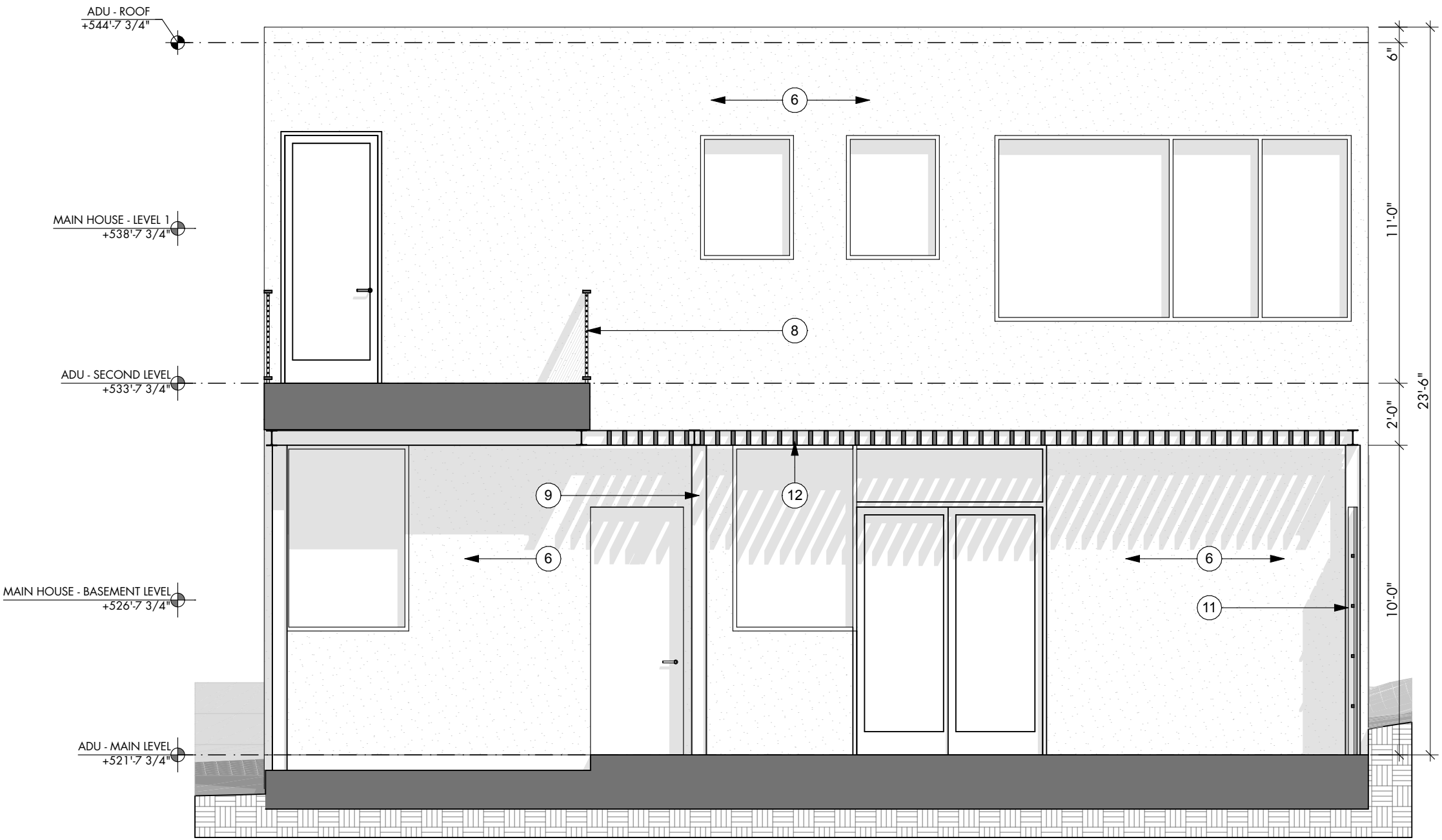
ADU - WEST ELEVATION

SCALE: 1/4" = 1'-0"



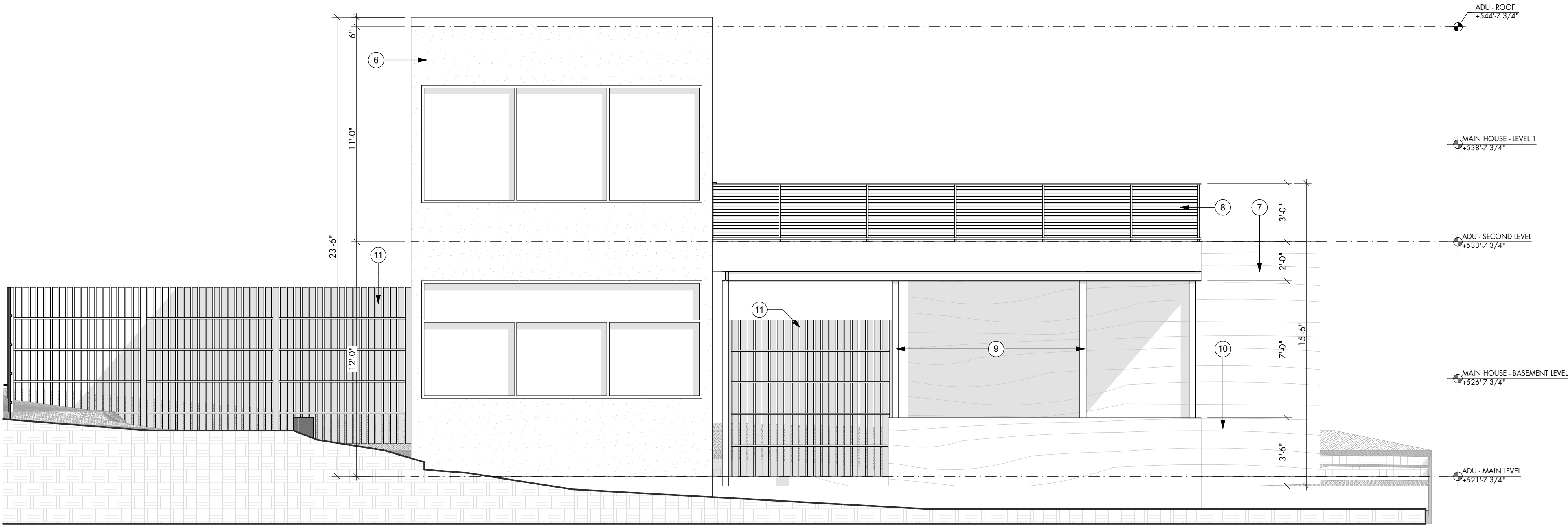
ADU - NORTH ELEVATION

SCALE: 1/4" = 1'-0"



ADU - EAST ELEVATION

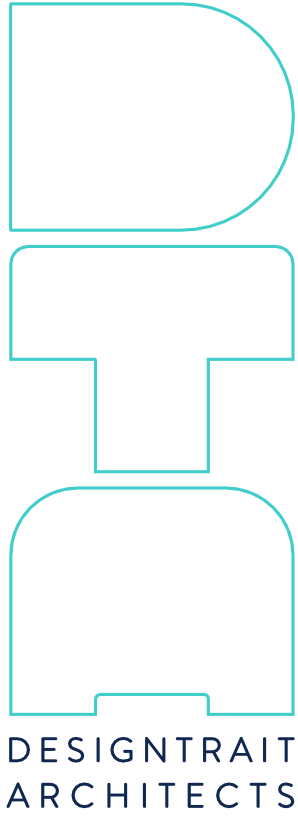
SCALE: 1/4" = 1'-0"



ADU - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS	
1	First 15'-0" of existing metal roof @ existing structure to remain, clean/repair as needed.
2	First 15'-0" of existing fascia @ existing structure to remain, clean/repair as needed.
3	First 15'-0" of existing masonry columns, chimney & stairs @ existing structure to remain, patch/repair as needed.
4	First 15'-0" of existing siding @ existing structure to remain, patch/repair as needed. Finish as directed, coordinate & verify with Designtrait.
5	New standing seam metal roof, match slope to existing roof.
6	Smooth stucco finish, paint and finish as directed by Designtrait.
7	Exterior wood clad.
8	Painted metal railing.
9	Painted structural column.
10	Board formed concrete walls, finish as directed.
11	Wood privacy fence.
12	Painted structural beam with wood joint infill.
13	Exterior ship lap siding.



NOT FOR  
CONSTRUCTION  
NOT FOR  
PERMIT

SEAL  
Bucky James - Texas Architect  
Registration #01297  
7/1/21  
This document is incomplete and may  
not be used for regulatory approval,  
permitting or construction.  
Troy Tougate - Texas Architect  
Registration #01509  
7/1/21  
This document is incomplete and may  
not be used for regulatory approval,  
permitting or construction.

PROJECT  
613 West Lynn Spec  
613 West Lynn  
Austin, TX 78703

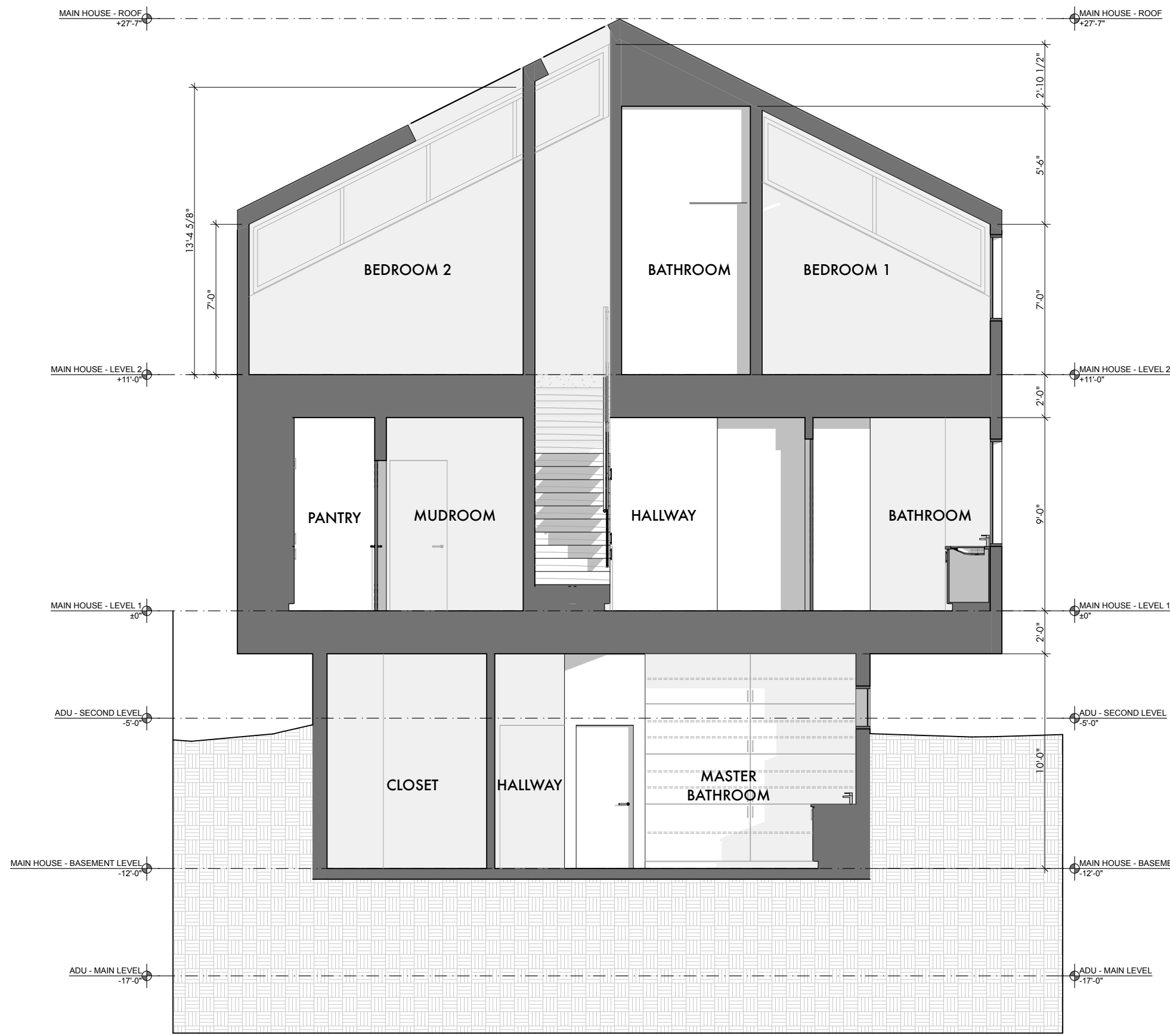
DRAWN BY

7/1/21 | SD Progress Set

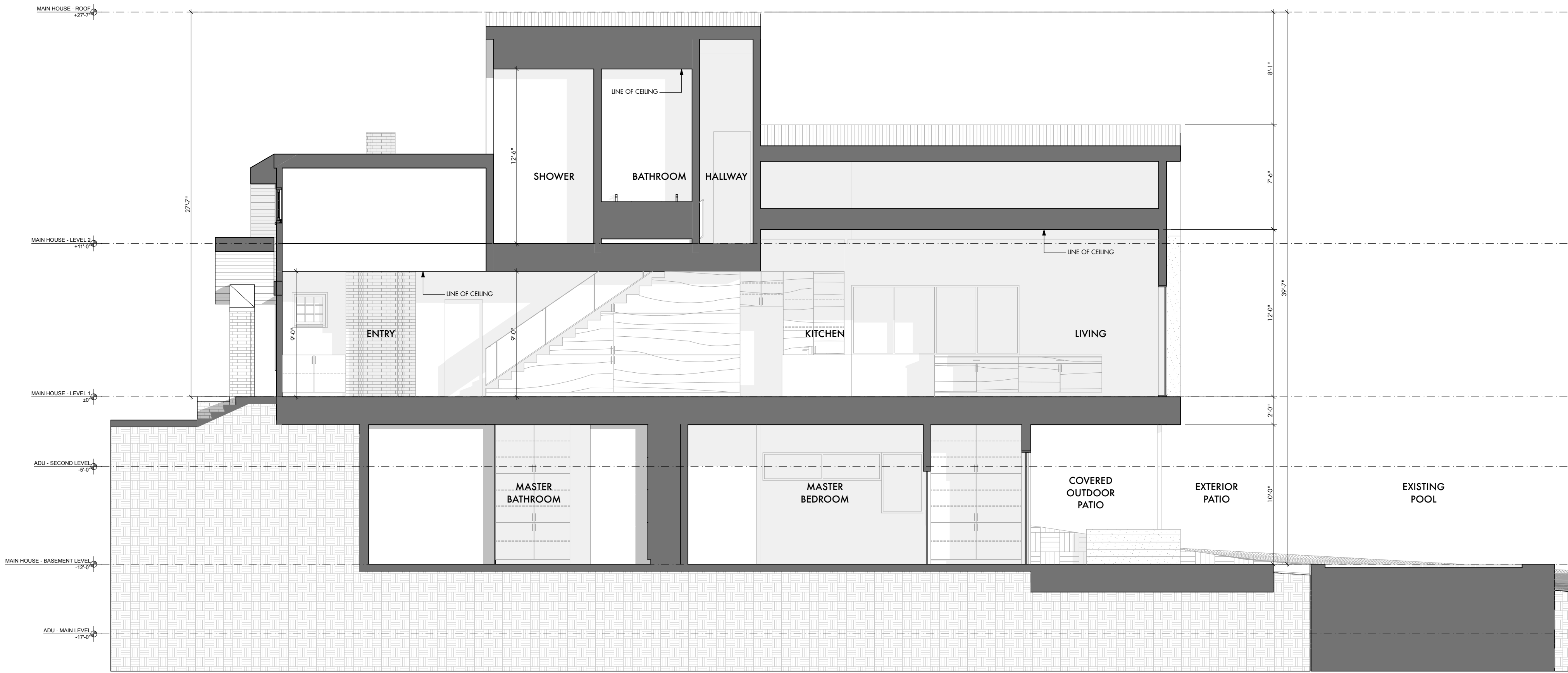
SHEET TITLE  
BUILDING  
ELEVATIONS

SHEET  
A2.4

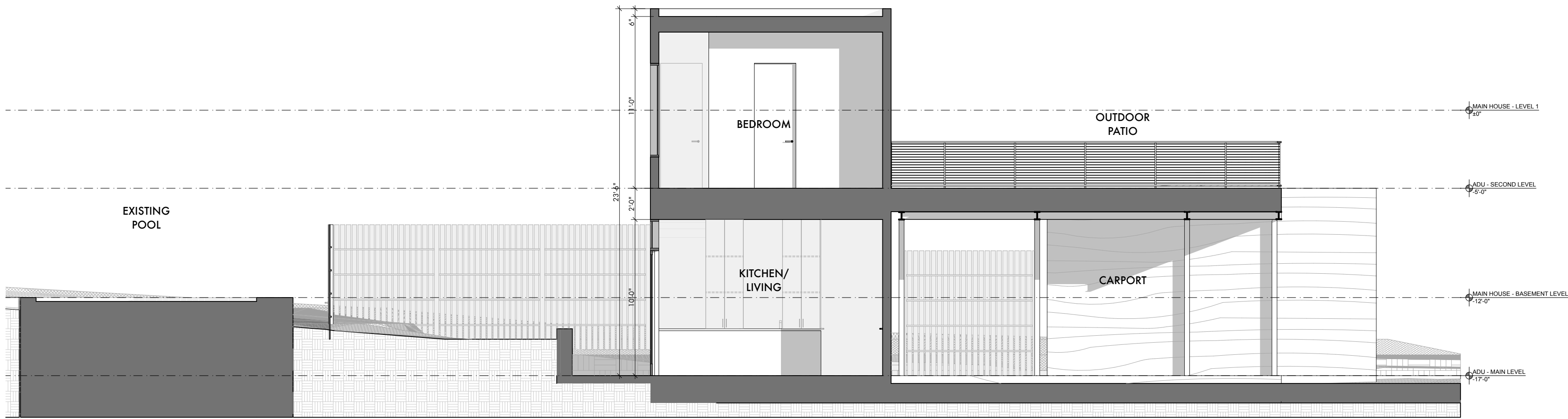
CAUTION: DO NOT SCALE DRAWINGS  
THESE DRAWINGS ARE THE PROPERTY OF  
THE ARCHITECT AND MAY ONLY BE USED  
IN CONJUNCTION WITH THIS PROJECT.



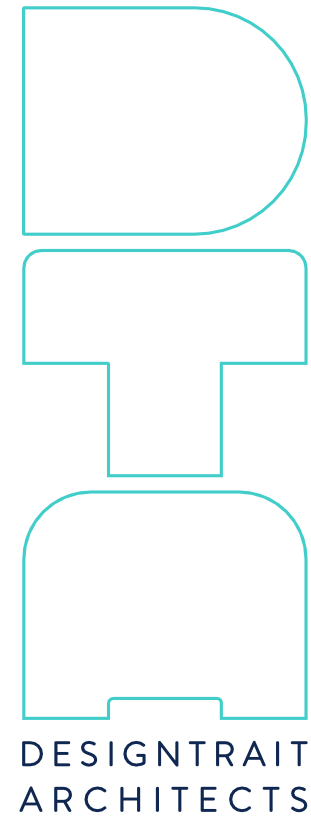
CROSS SECTION THROUGH MAIN HOUSE  
SCALE: 3/16" = 1'-0"



LONGITUDINAL SECTION THROUGH MAIN HOUSE  
SCALE: 3/16" = 1'-0"



CROSS SECTION THROUGH ADU  
SCALE: 3/16" = 1'-0"



NOT FOR  
CONSTRUCTION  
NOT FOR  
PERMIT

SEAL  
Betsy Jones - Texas Architect  
Registration #01297  
7/1/21  
This document is incomplete and may  
not be used for regulatory approval,  
permitting or construction.  
Troy Tougare - Texas Architect  
Registration #01509  
7/1/21  
This document is incomplete and may  
not be used for regulatory approval,  
permitting or construction.

PROJECT  
613 West Lynn Spec  
613 West Lynn  
Austin, TX 78703

DRAWN BY  
HH

SHEET ISSUE  
7/1/21 | SD Progress Set

SHEET TITLE  
BUILDING  
SECTIONS

SHEET  
A3.1