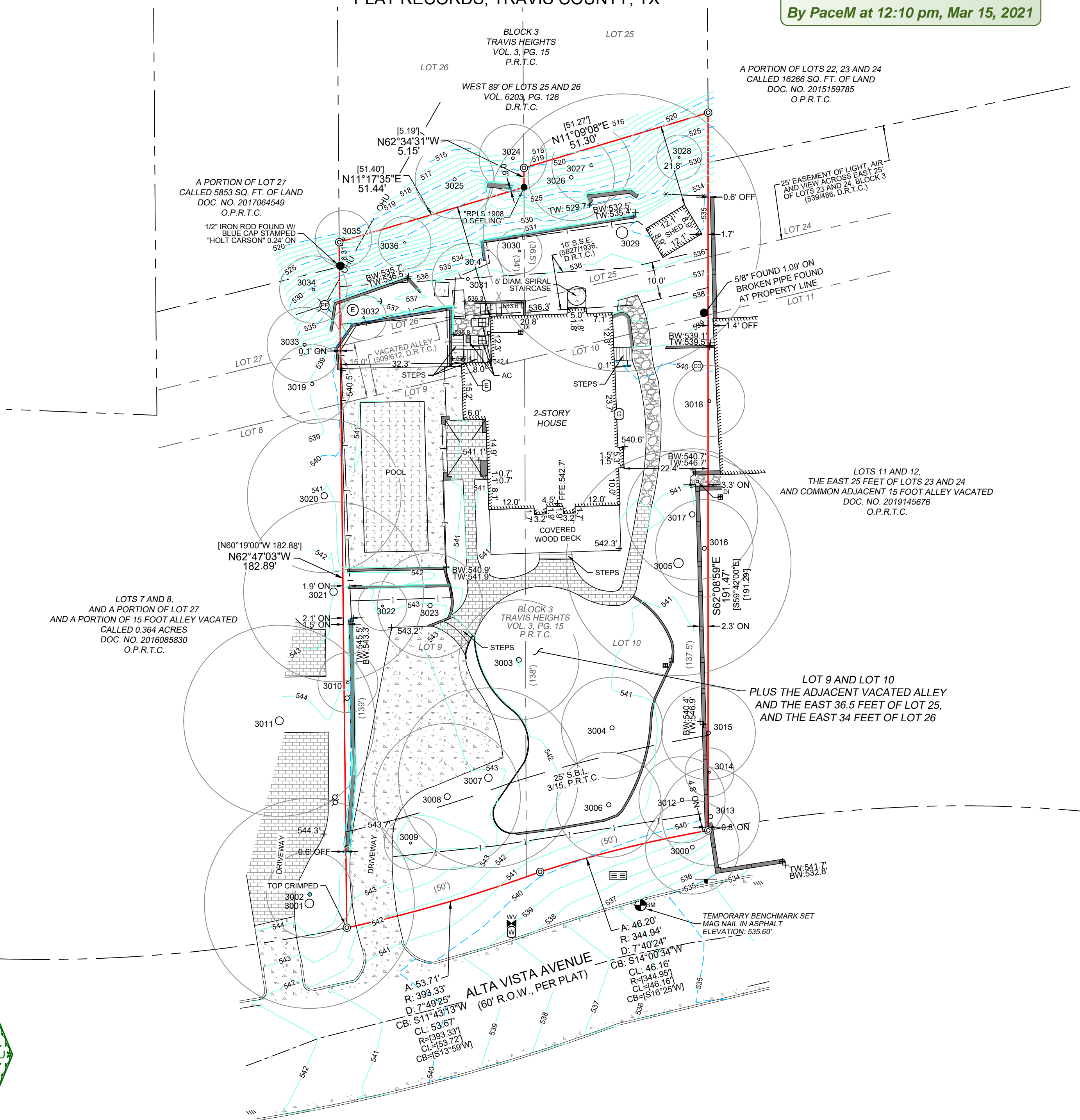
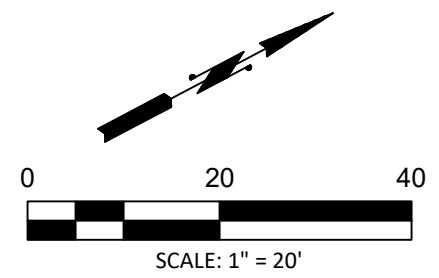


























Structures added on existing lot with existing UG service shall not be located within 5ft of AE UG Conduit

TREE TABLE		
Tag No.	Type	Trunk
3000	PECAN	12.5"
3001	LIVE OAK	20.5X14.5(M,P)
3002	LIVE OAK	11.5"
3003	BURR OAK	16"
3004	BURR OAK	13.5"
3005	PECAN	30"(H)
3006	BURR OAK	14"
3007	PECAN	24"(H)
3008	PECAN	19.5"(P)
3009	RED OAK	7"
3010	RED OAK	8"
3011	LIVE OAK	25.5"(H)
3012	LIVE OAK	11.5"
3013	LIGUSTRUM	10X9(M)
3014	LIGUSTRUM	6.5"(A)
3015	LIGUSTRUM	9X6.5(M)
3016	LIGUSTRUM	7X5X4X3(M)
3017	CEDAR	17.5"
3018	HACKBERRY	7X4.5(M)
3019	CEDAR	10.5"
3020	LIVE OAK	20.5"(P)
3021	LIVE OAK	24"(H)
3022	PECAN	6.5"
3023	PEAR	14"
3024	HACKBERRY	9"
3025	CEDAR	10.5"
3026	LIGUSTRUM	8X7(M)
3027	LIGUSTRUM	7X4X2.5(M)
3028	LIVE OAK	6"
3029	RED OAK	37"(H)
3030	MONTERREY	9"
3031	PEAR	9.5"
3032	ASH	6"
3033	POST OAK	10"
3034	CEDAR	9"
3035	HACKBERRY	7.5"
3036	HACKBERRY	7"



- | | |
|-------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|
|  | 1/2" IRON ROD FOUND
(UNLESS NOTED) |
|  | 1/2" IRON PIPE FOUND
(UNLESS NOTED) |
|  | TEMPORARY BENCHMARK |
|  | CRITICAL ROOT ZONE =
DIAMETER EQUAL IN FEET TO
TWICE THE NUMBER OF INCHES
OF THE TREE'S TRUNK DIAMETER |
|  | IRRIGATION CONTROL VALVE |
|  | ELECTRIC MANHOLE |
|  | WATER VALVE |
|  | GUY ANCHOR |
|  | ELECTRIC VAULT |
|  | GAS METER |
|  | ELECTRIC METER |
|  | WATER METER |
|  | CLEAN OUT |
|  | POWER POLE |
|  | OVERHEAD UTILITY |
|  | BARBWIRE FENCE |
|  | WROUGHT IRON FENCE |
|  | PROPERTY LINE |
|  | EDGE OF PAVEMENT |
|  | ADJOINER LINE |
|  | CONCRETE AREA |
|  | WALLS |
|  | STONE AREA |
|  | BRICK AREA |
| S.S.E. | SANITARY SEWER EASEMENT |
| S.B.L. | SETBACK LINE |
| VOL. PG. | VOLUME AND PAGE |
| P.R.T.C. | PLAT RECORDS |
| | TRAVIS COUNTY |
| D.R.T.C. | DEED RECORDS |
| | TRAVIS COUNTY |
| DOC. NO. | DOCUMENT NUMBER |
| O.P.R.T.C. | OFFICIAL PUBLIC RECORDS |
| | TRAVIS COUNTY |
| ON/OFF | STRUCTURE ON/OFF |
| | SUBJECT PROPERTY |
| R.O.W. | RIGHT OF WAY |
| () | FLY RECORD INFORMATION |
| [] | PREVIOUS SURVEY INFORMATION |
| | BY DOUGLAS SEELENG RPLS NO. 1908 |
| | DATED MARCH 8, 2000 |
| R | RADIUS |
| AL | ARC LENGTH |
| CB | CHORD BEARING |
| CL | CHORD LENGTH |
| (P) | PROTECTED |
| (H) | HERITAGE |
| (M) | MULTIPLE |
| (A) | APPROXIMATE |
| FE | FINISHED FLOOR ELEVATION |
| + 100' | SPOT ELEVATION |
| TW | TOP OF WALL |
| BW | BOTTOM OF WALL |
| DI | DRAINAGE INLET |

FLOOD INFORMATION

PER WWW.FEMA.GOV, THIS PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN MAP NUMBER 48453C0605X, DATED 01/22/2020.

DATUM & BEARING BASIS

TEXAS STATE PLANE COORDINATE SYSTEM, GRID NORTH, CENTRAL ZONE (4203), NAD 83. ELEVATION DATA NAVD 88, GEOID 12B. DISTANCES IN US SURVEY FEET (GRID).

GENERAL NOTES:

- 1) THIS PROPERTY IS SUBJECT TO ANY AND ALL RECORDED AND UNRECORDED EASEMENTS. SURVEYOR HAS MADE NO INVESTIGATION FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS OR OWNERSHIP TITLE EVIDENCE.
- 2) THIS SURVEY ONLY SHOWS ABOVE GROUND IMPROVEMENTS.
- 3) SUBJECT TO ALL APPLICABLE ABOVE DEVELOPMENT CODES AND ZONING ORDINANCES.
- 4) DUE TO DIFFERING BUILDING PRACTICES, BUILDING DIMENSIONS ARE APPROXIMATE.
- 5) ANY UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR GRAPHIC REPRESENTATION ONLY.
- 6) OWNERSHIP DEED RECORDED IN DOCUMENT NO. 202105696, TRAVIS COUNTY RECORDS.
- 7) TREE TYPES TO BE VERIFIED BY CERTIFIED ARBORIST.

I CERTIFY THAT THIS SURVEY HAS BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF TEXAS TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE OF LAST FIELD WORK: NOVEMBER 24, 2020



DRAWN BY:EO
FIELD CREW: EM
REVISION #:

SURVEYED FOR: RODLAND
PROJECT NO. 20-0374
1308 ALTA VISTA AVE,
AUSTIN, TX



**SURVEY
WORKS**

INFO@SURVEYWORKSAUSTIN.COM
SURVEYWORKSAUSTIN.COM
1207 UPLAND DRIVE
AUSTIN, TX 78741
FIRM #10194157
(512) 599-8067

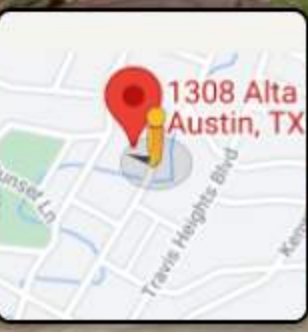


1311 Alta Vista Ave

Austin, Texas

Google

Street View



1308 Alta Vista - view from street.

Google



1308 Alta Vista - East elevation



1308 Alta Vista - South elevation



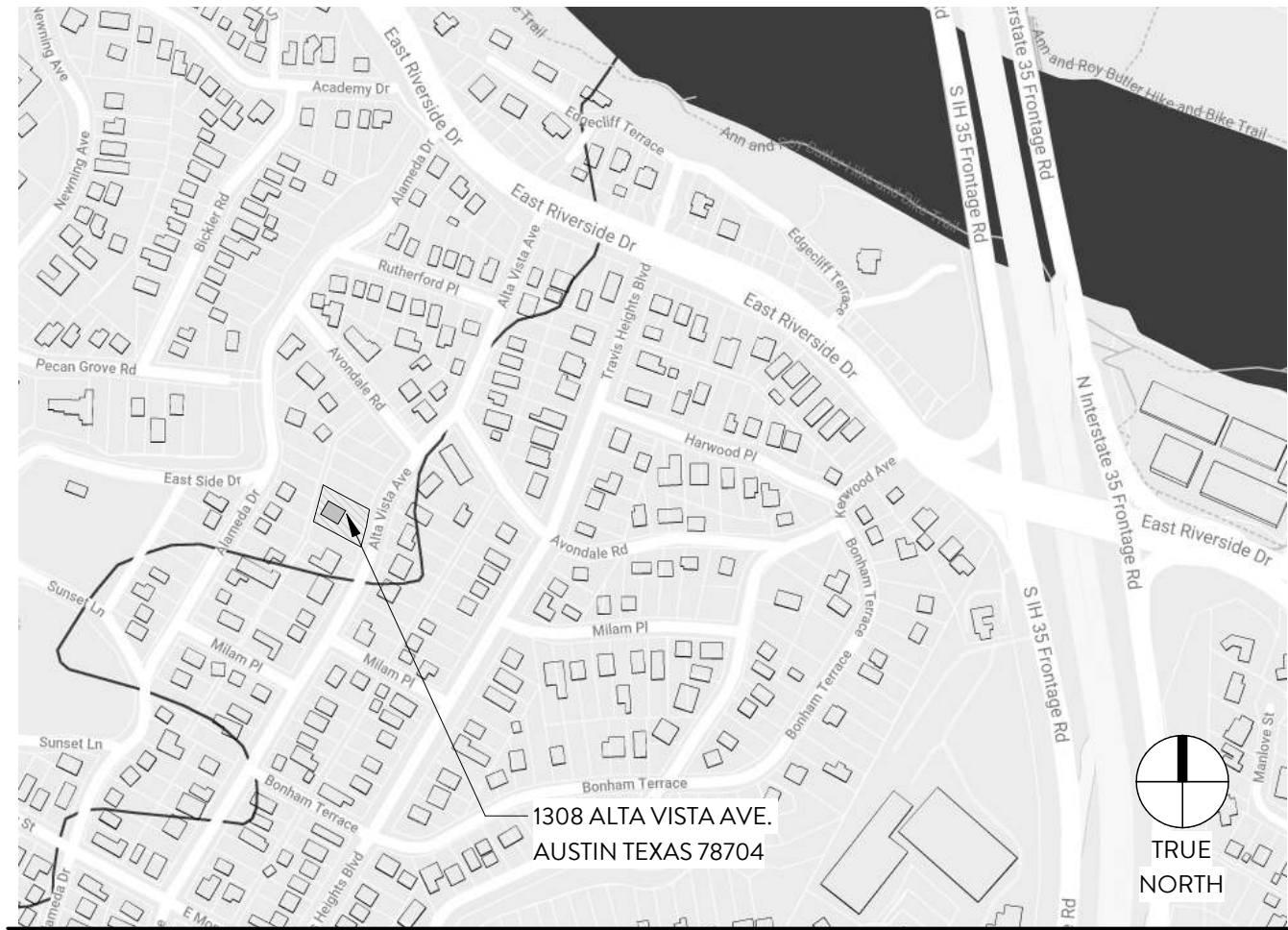
1308 Alta Vista - West elevation



1308 Alta Vista - North elevation



VICINITY MAP



SYMBOL LEGEND

	ELEVATION	ROOM NAME	ROOM NAME NUMBER AREA
	BUILDING SECTION	DOOR NUMBER	(1.01)
	WALL SECTION	WINDOW TYPE	(1.01)
	SECTION DETAIL	PARTITION TYPE	(A1)
	DETAIL	PLUMBING FIXTURE TYPE	(A)
		TOILET ACCESSORY TYPE	(TA-1)

PROJECT TEAM

OWNER	RODLAND FAMILY 101 COLORADO APT 2407 AUSTIN, TEXAS 78701 NATHAN RODLAND 425-591-3051 NATERODLAND@GMAIL.COM	STRUCTURAL ENGINEER	DESIGN-BUILD BY CONTRACTOR
ARCHITECT	CLAYTON & LITTLE 429 N. ST. MARY'S ST. SAN ANTONIO, TEXAS 78205 STEPHEN WILLIAMS 210-446-7556 STEPHEN@CLAYTONKORTE.COM		
G.C.	SKELLY HOME 4361 S. CONGRESS AVE #104 AUSTIN, TEXAS 78745 DIANA SKELLENGER 512-810-5400 DIANA@SKELLYHOME.COM		

GENERAL NOTES

- ALL WORK SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES, AND TO INCLUDE ALL REQUIREMENTS OF OTHER AGENCIES HAVING JURISDICTION.
- EXAMINATION OF THE SITE AND PORTIONS THEREOF THAT AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE EXISTING CONDITIONS WITH THE CONTRACT DOCUMENTS AND SATISFY HIM/HERSELF AS TO THE EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. CONTRACTOR SHALL AT SUCH TIME ASCERTAIN AND VERIFY THE LOCATIONS OF EXISTING STRUCTURES.
- THE CONTRACT DOCUMENTS DESCRIBE DESIGN INTENT, AND ARE NOT INTENDED TO BE ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS TO PROVIDE COMPLETE OPERATIONAL SYSTEMS AND INSTALLATIONS. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK WHICH IS DESCRIBED IN THESE DOCUMENTS OR WHICH IS REASONABLY INFERABLE FROM THEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGH COORDINATION OF TRADES. ALL CLAIMS FOR ADDITIONAL WORK WILL NOT BE AWARDED FOR ANY AND ALL WORK RELATED TO SUCH COORDINATION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS AT THE SITE, CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY AND ALL WORK IN QUESTION.
- ALL DIMENSIONS ARE TO FINISH FACE OF CONCRETE, CENTERLINE OF STEEL, FACE OF STUD OR CASEWORK UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECTS APPROVAL UNLESS NOTED AS "+/-". VERIFY DIMENSIONS MARKED "V.I.F.:" PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
- ALL DIMENSIONS, NOTES AND DETAILS SHOWN ON ONE PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITE HAND AND/OR CONDITIONS UNLESS OTHERWISE NOTED.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY. WHAT IS SHOWN OR REFERRED TO PARTIALLY OR WHOLE ON ANY SHALL BE PROVIDED AS THOUGH SHOWN ON ALL.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DRAWINGS AT A LARGE SCALE SHALL TAKE PRECEDENCE OVER DRAWINGS OF A SMALL SCALE. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
- CONTRACTOR SHALL VERIFY LAYOUT OF PARTITIONS, DOORS, ELECTRICAL OUTLETS, DATA AND TELEPHONE OUTLETS, LIGHT FIXTURES, AND SWITCHES WITH ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY MECHANICAL, TELEPHONE, DATA, ELECTRICAL, LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE BUT NOT LIMITED TO ALL PIPING, DUCTWORK AND CONDUIT AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
- DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
- ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONTRACT DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE.
- IN CASE OF CONFLICTS BETWEEN ARCHITECT'S AND ENGINEER'S DRAWINGS IN THE LOCATION OF MATERIALS AND/OR EQUIPMENT, ARCHITECTURAL DRAWINGS SHALL GOVERN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH CONFLICT.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE INSTALLED, CONNECTED, ERECTED CLEANED, AND CONDITIONED PER THE MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- ALL WORK NOTED AS "BY OTHERS" OR "N.I.C.:" SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT. SUBMIT TO THE ARCHITECT AND OWNER SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN THE CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A DAILY BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING ANY FINISHED AREAS IN OR OUTSIDE THE JOB SITE. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
- CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT AUTHORIZATION FROM THE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.

ZONING & CODE ANALYSIS

LEGAL DESCRIPTION	.4081 ACRES OF LOT 9 AND 10 AND EAST 30 FT OF LOT 26 AND EAST 35 FT OF LOT 25 BLOCK 3, TRAVIS HEIGHTS PLUS ADJACENT VACATED ALLEY
PARCEL ID	282852
ZONING	LISTED AS SF-3-NP
BUILDING CODES	2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL PLUMBING CODE 2020 NATIONAL ELECTRIC CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE UNIFIED DEVELOPMENT CODE
BUILDING DESCRIPTION	INTERIOR REMODEL TO EXISTING WOOD FRAMED SINGLE FAMILY RESIDENCE WITH ADDITION OF ENCLOSED AN WALKWAY TO AN EXISTING SPACE TO BE ENCLOSED AND A 3RD LEVEL TERRACE.
LEGAL JURISDICTION	AUSTIN, TEXAS, TRAVIS COUNTY
FIRE SPRINKLER	NOT REQUIRED

AREA CALCULATIONS

LOT SIZE - 17,777.91 SF	EXISTING	NEW/ADDED	TOTAL
1ST FLOOR CONDITIONED	1,714 SF	59 SF	1,773 SF
2ND FLOOR CONDITIONED	1,459 SF	0 SF	1,459 SF
BASEMENT (NOT IN SCOPE)	385 SF	0 SF	385 SF
COVERED PARKING	0 SF	0 SF	0 SF
1ST FLOOR COVERED PATIO	370 SF	0 SF	370 SF
2ND FLOOR BALCONY	456 SF	0 SF	456 SF
3RD LEVEL UNCOVERED BALCONY	0 SF	275 SF	275 SF
TOTAL BUILDING COVERAGE	2,563 SF	0 SF	2,563 SF
% BUILDING COVERAGE (2,563 / 17,777.91) = 14.41%			
DRIVEWAY	1,565 SF	0 SF	0 SF
SIDEWALKS	653 SF	0 SF	0 SF
UNCOVERED PATIO	0 SF	0 SF	0 SF
UNCOVERED WOOD DECK	0 SF	0 SF	0 SF
AC PADS	23 SF	0 SF	0 SF
OTHER* (POOL WALKWAY)	717 S.F.	0 SF	0 SF
TOTAL NON-BUILDING COVERAGE	2,958 SF	0 SF	0 SF
TOTAL SITE COVERAGE (IMPERVIOUS)	8,222 SF	0 SF	0 SF
% IMPERVIOUS COVER (8,222 / 17,777.91) = 46.24%			
WITHOUT POOL			
% IMPERVIOUS COVER (8,222 / 17,777.91) = 38.40%			

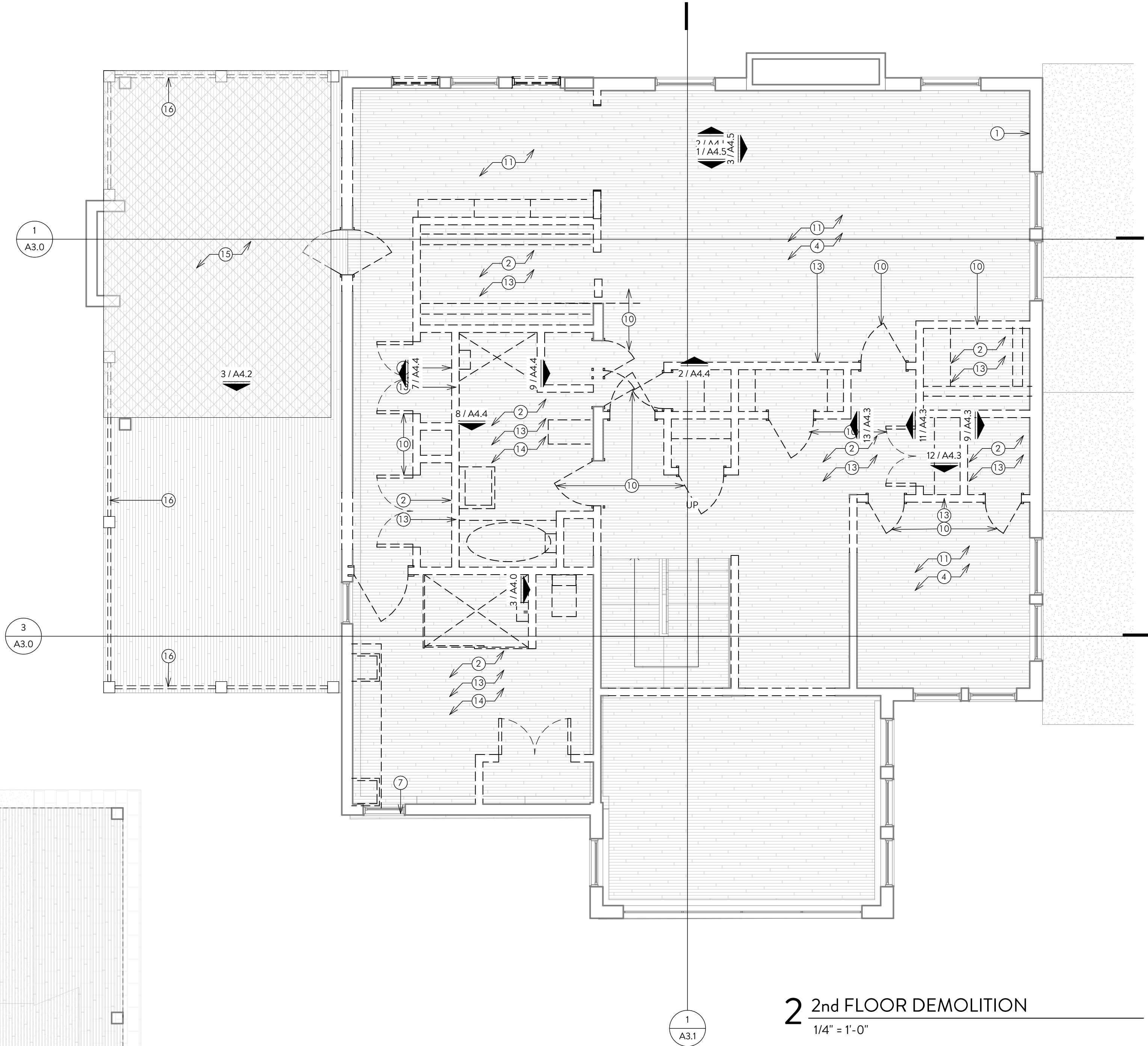
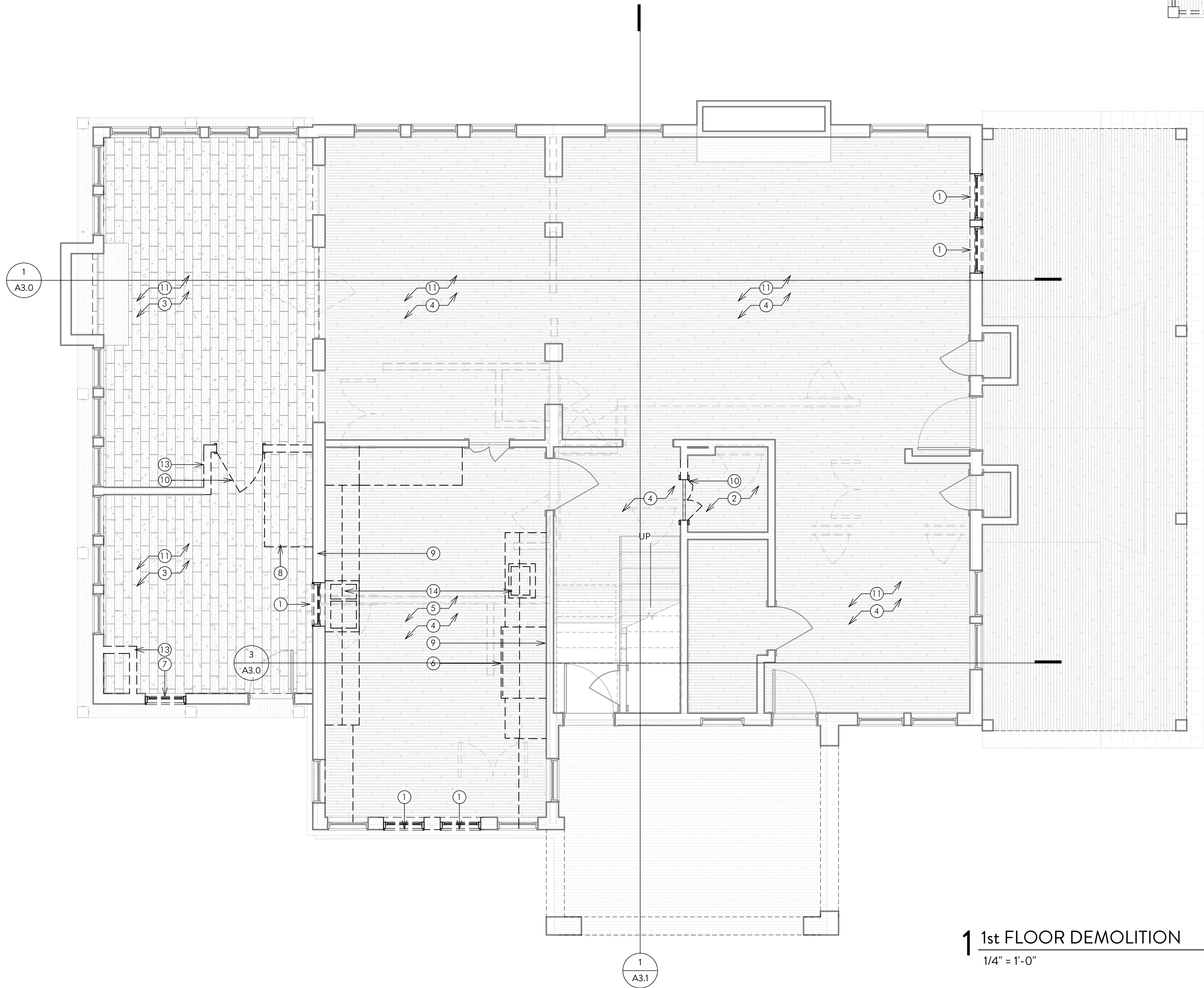
DRAWING INDEX

GENERAL	STRUCTURAL
G1.0 GENERAL	SFR-101 STRUCTURAL FRAMING PLANS SFR-102 STRUCTURAL 2ND LVL PLANS SFR-103A STRUCTURAL FRAMING PLANS SFR-103B STRUCTURAL FRAMING PLANS
DEMOLITION	S-201 WOODEN DECK/FRAMING DETAILS & NOTES S-202 WOODEN DECK/FRAMING DETAILS & NOTES S-301 PROPOSED STRUCTURAL DETAILS S-302 PROPOSED STRUCTURAL DETAILS
ARCHITECTURAL	
A1.0 SITE PLAN	
A1.1 FIRST FLOOR PLAN	
A1.2 FIRST FLOOR CEILING & UTILITY	
A1.3 SECOND FLOOR PLAN	
A1.4 SECOND FLOOR CEILING & UTILITY	
A1.5 ROOF PLAN	
A2.0 EXTERIOR ELEVATIONS	
A2.1 EXTERIOR ELEVATIONS	
A3.0 BUILDING SECTIONS	
A3.1 BUILDING SECTIONS	
A4.1 ENLARGED PLANS & INTERIOR ELEVATIONS	
A4.2 ENLARGED PLANS & INTERIOR ELEVATIONS	
A4.3 ENLARGED PLANS & INTERIOR ELEVATIONS	
A4.4 ENLARGED PLANS & INTERIOR ELEVATIONS	
A4.5 ENLARGED PLANS & INTERIOR ELEVATIONS	
A6.0 SCHEDULES	
A6.1 SCHEDULES	



ISSUED DATE 2021-02-26
PROJECT NUMBER 41863

PERMIT SET



DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW CONSTRUCTION
- OVERHEAD STRUCTURE TO BE REMOVED

DEMOLITION NOTES

- ALL EXISTING COMPONENTS TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION BY THE GENERAL CONTRACTOR (GC). ANY DAMAGED MATERIAL IS TO BE REPAIRED, REPLACED, OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT.
- THE GC IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION OF THE BUILDING SYSTEMS, AND PATCHING OR REPAIR OF EXISTING BUILDING FINISHES/SITE FEATURES AFFECTED BY NEW CONSTRUCTION.
- DAMAGES TO THE PROPERTY OF THE OWNER SHALL BE REPAIRED OR PAID FOR BY THE GC. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, DAMAGE TO THE BUILDING GROUNDS, PLANTINGS, WALLS, PAVEMENT, VEHICLES, UTILITIES, FINISHES, FURNISHINGS, ETC.
- CONTRACTOR TO BRACE/SHORE EXISTING CONSTRUCTION TO REMAIN.

DEMOLITION KEYNOTES

- DEMO EXISTING WINDOWS FOR NEW DOOR OPENING, RE: PLAN AND DOOR SCHEDULE, TYP.
- DEMO EXISTING SHELVING UNITS.
- DEMO EXISTING TILE FLOOR AND PREPARE TO RECEIVE NEW FINISH.
- EXISTING FLOOR TO REMAIN - PROTECT DURING DEMOLITION.
- DEMO EXISTING KITCHEN MILLWORK, BEADBOARD CEILING AND LIGHT FIXTURES.
- SALVAGE EXISTING RANGE FOR REUSE.
- DEMO STAINED GLASS WINDOW AND PREPARE TO RECEIVE NEW WINDOW UNIT.
- DEMO BUILT IN MILLWORK AND SHELVING.
- DEMO TILE BACKSPLASH.
- DEMO EXISTING DOOR AND FRAME, TYP. U.N.O.
- DEMO EXISTING FABRIC WINDOW COVERINGS AND BRACKETS THROUGHOUT.
- DEMO PENDANT FIXTURES.
- DEMO EXISTING INTERIOR WALLS AS SHOWN, PROVIDE TEMPORARY SUPPORT AS REQ'D.
- DEMO EXISTING PLUMBING FIXTURES AND CAP AT SOURCE.
- DEMO EXISTING ROOF & ROOF STRUCTURE OVERHEAD.
- DEMO EXISTING WOOD HANDRAIL.





ISSUED DATE 2021-02-26
PROJECT NUMBER 41863

PERMIT SET

ALTA VISTA

1308 ALTA VISTA
AUSTIN, TEXAS 78704

A1.0
SITE PLAN

SITE LEGEND

	PROPERTY LINE
	BUILDING SETBACKS
	FENCE
	8" LAYER OF MULCH COVERED WITH BURLAP AND KEPT MOIST FOR TREE PROTECTION
	EXISTING TREE TO REMAIN
	EXISTING BUILDING FOOTPRINT TO REMAIN
	EXISTING BUILDING FOOTPRINT TO BE REMODELED
	ADDITION AREA
	OVERHEAD ELECTRICAL LINES
	WATER LINE
	WASTE-WATER LINE
	UNDERGROUND ELECTRICAL LINES
	PROPOSED HOSE BIB LOCATIONS
	PROPOSED GAS TAP

GENERAL NOTES:

1. TOPOGRAPHY SHOWS EXISTING GRADE. NEW GRADING TO BE COORDINATED WITH LANDSCAPE DESIGNER.
2. SEE SITE PLAN FOR INFORMATION ON LOCATION OF NEW BUILDING.
3. REFER TO DEMOLITION SITE PLAN D1.1 FOR CONSTRUCTION PATH AND STAGING.
4. ROUTE NEW WASTE WATER LINES TO AVOID THE 1/2 CRZ OF PROTECTED TREES WHERE POSSIBLE. IF NOT AVOIDABLE, TRENCHES TO BE AIR SPADED BY A CERTIFIED ARBORIST FOR THE TOP 30" TO AVOID CUTTING ROOTS 1.5" IN DIAMETER.
5. CONTRACTOR TO WALK SITE BEFORE CONSTRUCTION AND DECIDE IF PRUNING OF ANY PROTECTED TREES IS NECESSARY. IF SO, CERTIFIED ARBORIST TO ASSESS THE PRUNING NEEDS AND PROVIDE A WRITTEN ASSESSMENT OF ESTIMATED PERCENTAGE OF CANOPY PROPOSED TO BE REMOVED.

SITE INFORMATION:

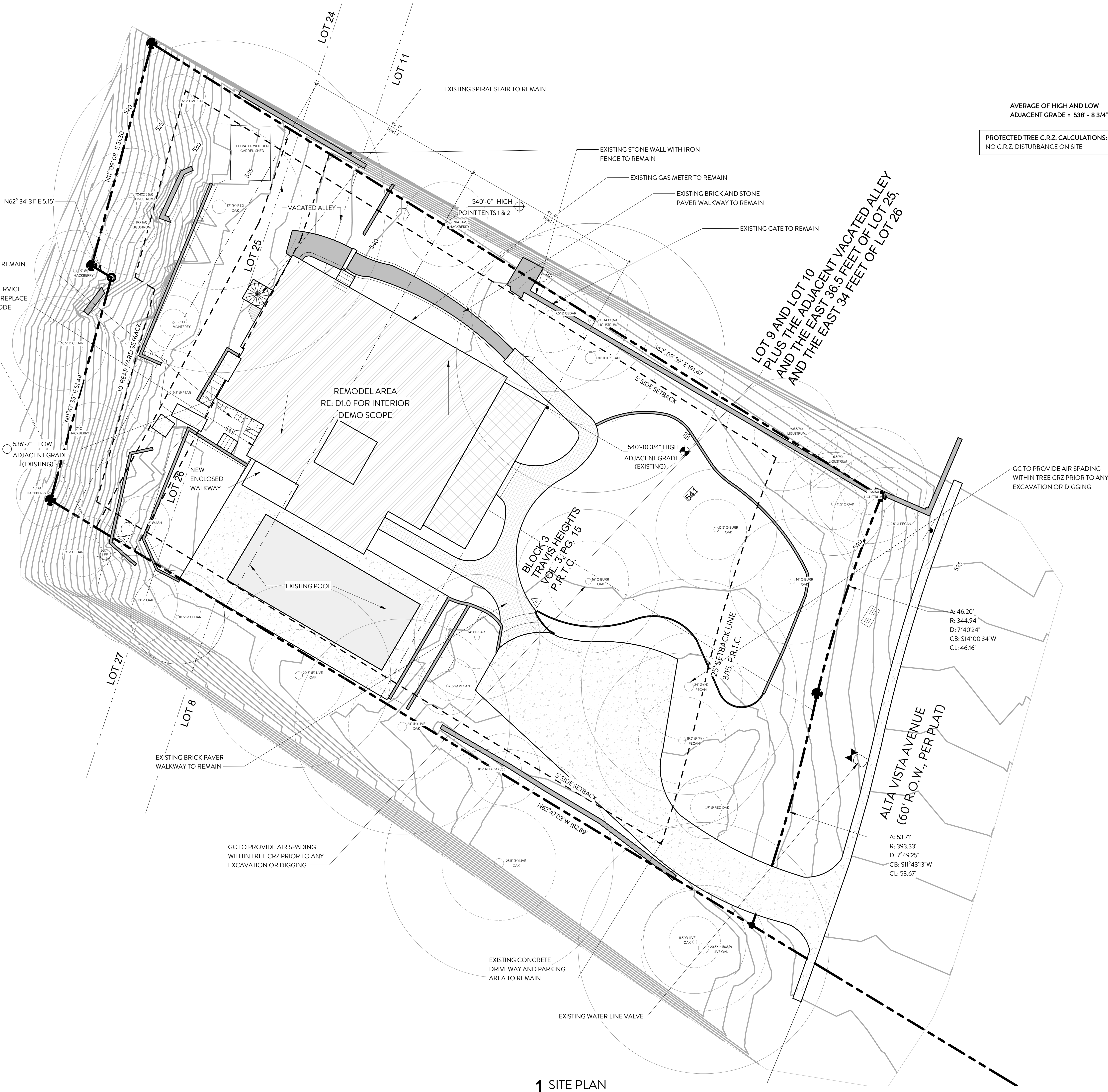
SITE INFORMATION TAKEN FROM SURVEY PERFORMED BY SURVEY WORKS ON 12/08/2020, SETH P. REICHENAU 6735.

TREE PROTECTION NOTES:

1. PROVIDE TREE PROTECTION FENCING PER CITY OF AUSTIN REQUIREMENTS AND 8" MULCH GROUND COVER DURING CONSTRUCTION AROUND ALL TREES IN THE CONSTRUCTION AREA.
2. PROVIDE BREATHABLE RUBBER MAT OVER 8" MULCH AT LOCATIONS WHERE TREE PROTECTION FENCING IS NOT POSSIBLE.
3. WRAP 2x4 BOARDS AROUND TREE TRUNKS DURING CONSTRUCTION.
4. ALL LIMBS AND TREE TRIMMING TO BE PERFORMED BY OWNER PROVIDED ARBORIST.
5. GC TO ENSURE THAT ANY CONCRETE WASHOUT OR PORTABLE TOILET DOES NOT HAPPEN WITHIN THE CRZ OF ANY PROTECTED TREES.
6. GC TO AVOID TRENCHING INSIDE THE 1/2 CRZ OF ANY PROTECTED TREES. PROVIDE AIR SPAZING AS NEEDED TO PROTECT EXISTING ROOTS.

AVERAGE OF HIGH AND LOW
ADJACENT GRADE = 538' - 8 3/4"

PROTECTED TREE C.R.Z. CALCULATIONS:
NO C.R.Z. DISTURBANCE ON SITE



1 SITE PLAN
3/32" = 1'-0"

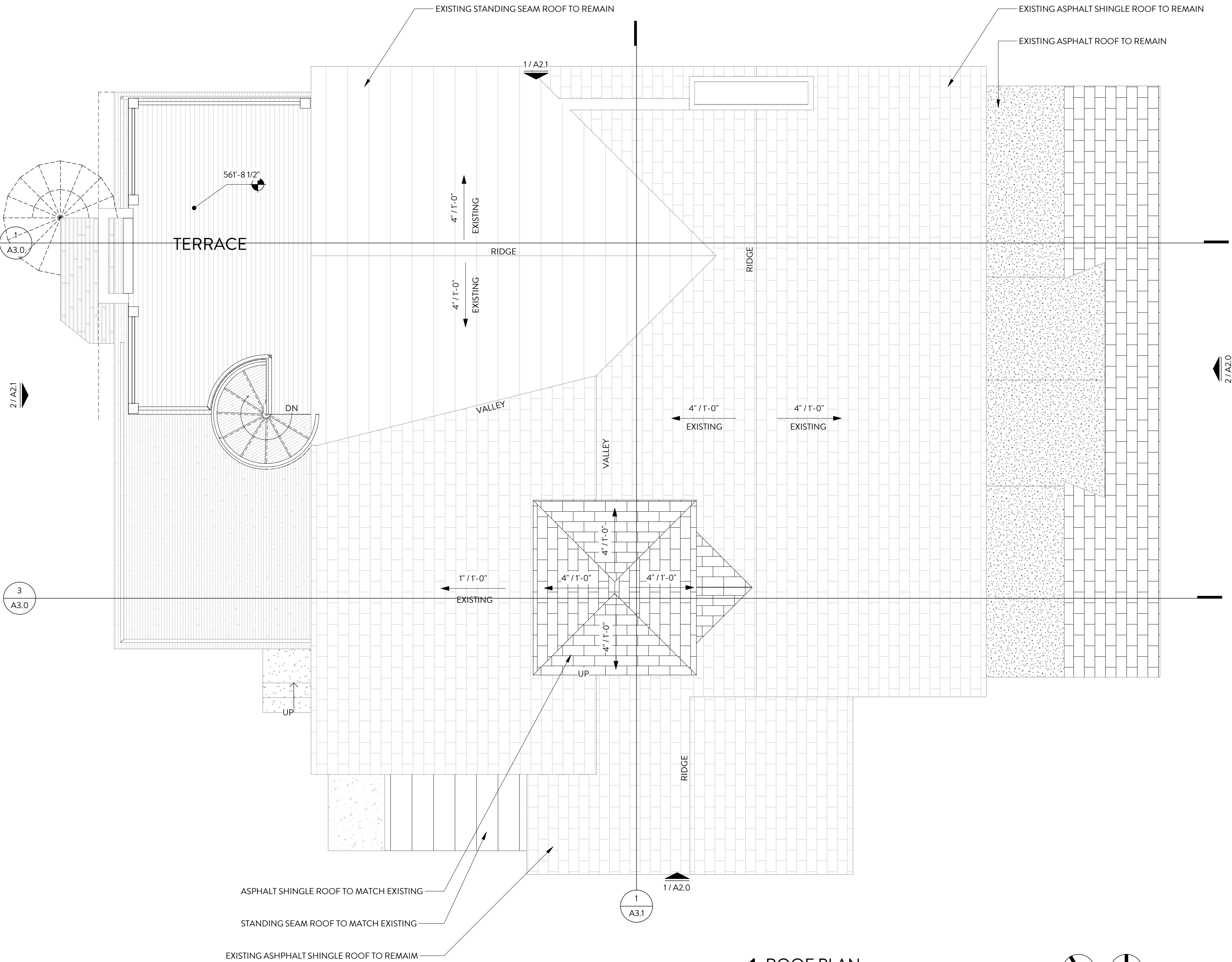


ISSUED DATE 2021-02-26
PROJECT NUMBER 41863

PERMIT SET

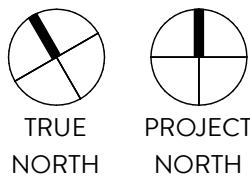
PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW CONSTRUCTION
- WOOD FLOORING
- WOOD DECKING
- NEW TILE FLOORING
- CONCRETE FLOORING
- NEW MOSIAC TILE FLOORING



ASPHALT SHINGLE ROOF TO MATCH EXISTING
STANDING SEAM ROOF TO MATCH EXISTING
EXISTING ASPHALT SHINGLE ROOF TO REMAIN

1 ROOF PLAN
1/4" = 1'-0"



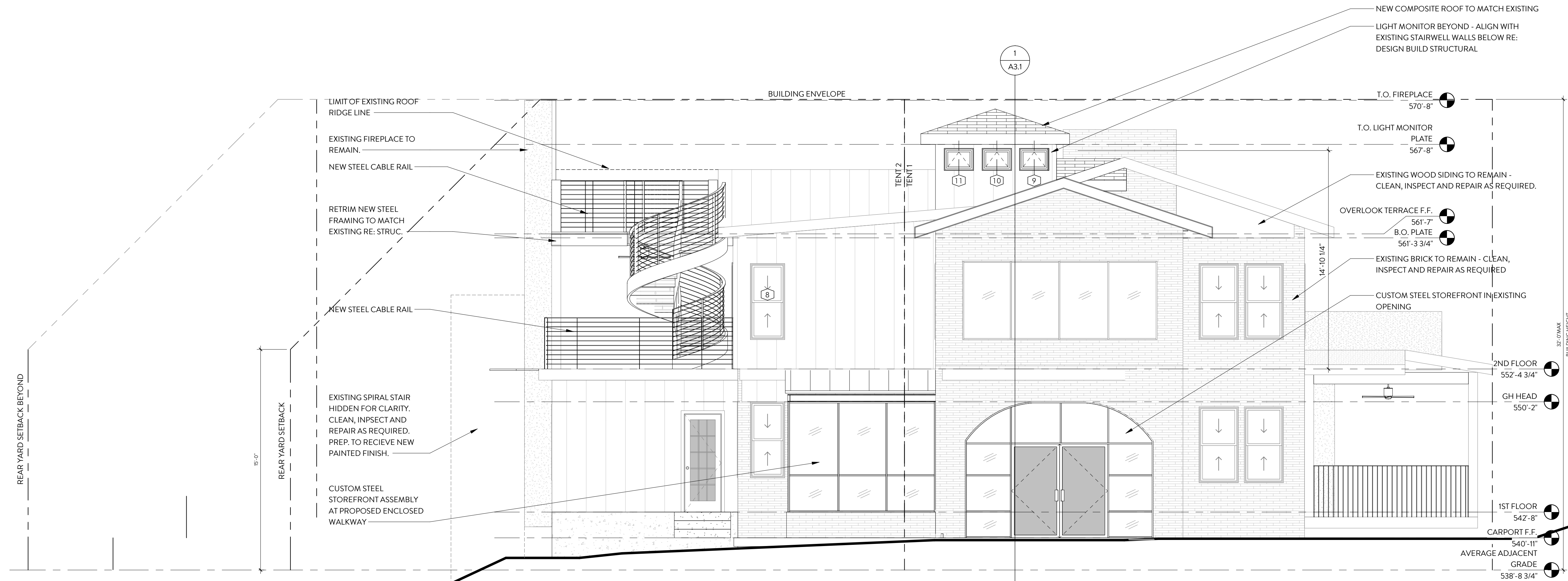
ALTA VISTA
1308 ALTA VISTA
AUSTIN, TEXAS 78704

A1.5
ROOF PLAN



ISSUED DATE 2021-02-26
PROJECT NUMBER 41863

PERMIT SET



1 SOUTH ELEVATION
1/4" = 1'-0"



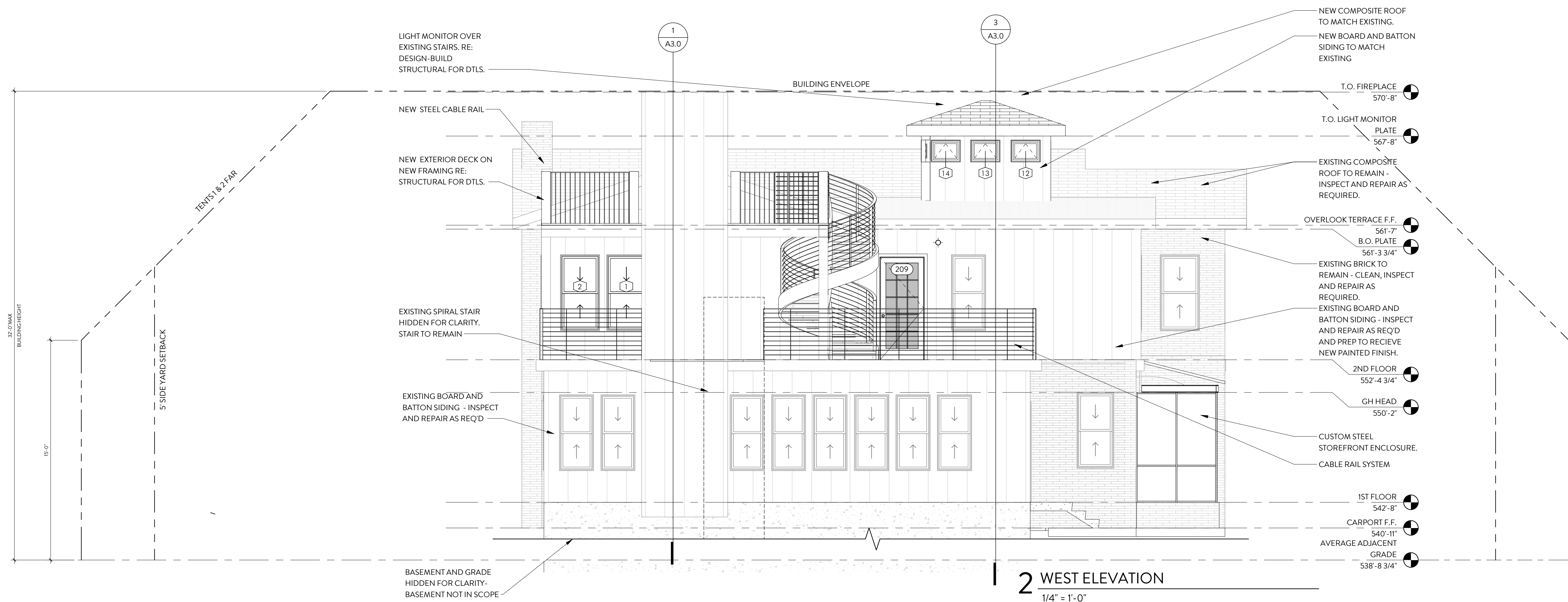
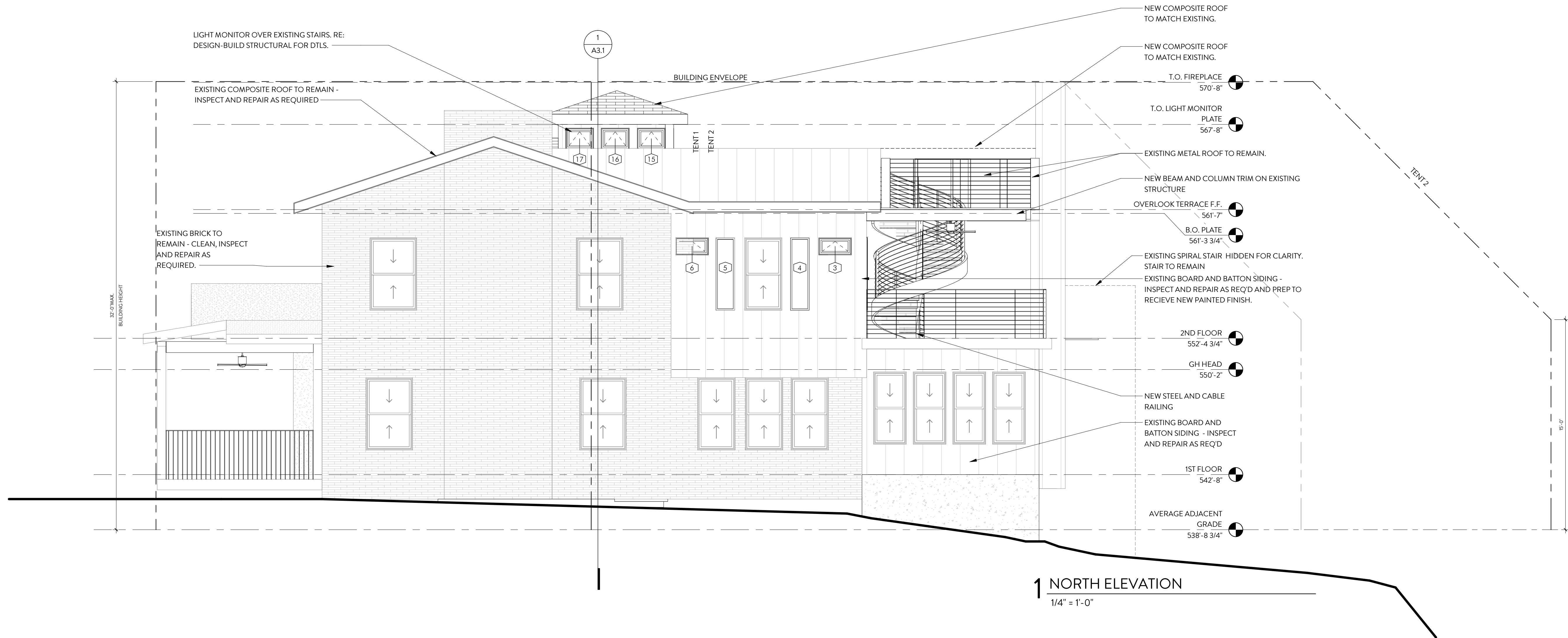
2 EAST ELEVATION
1/4" = 1'-0"

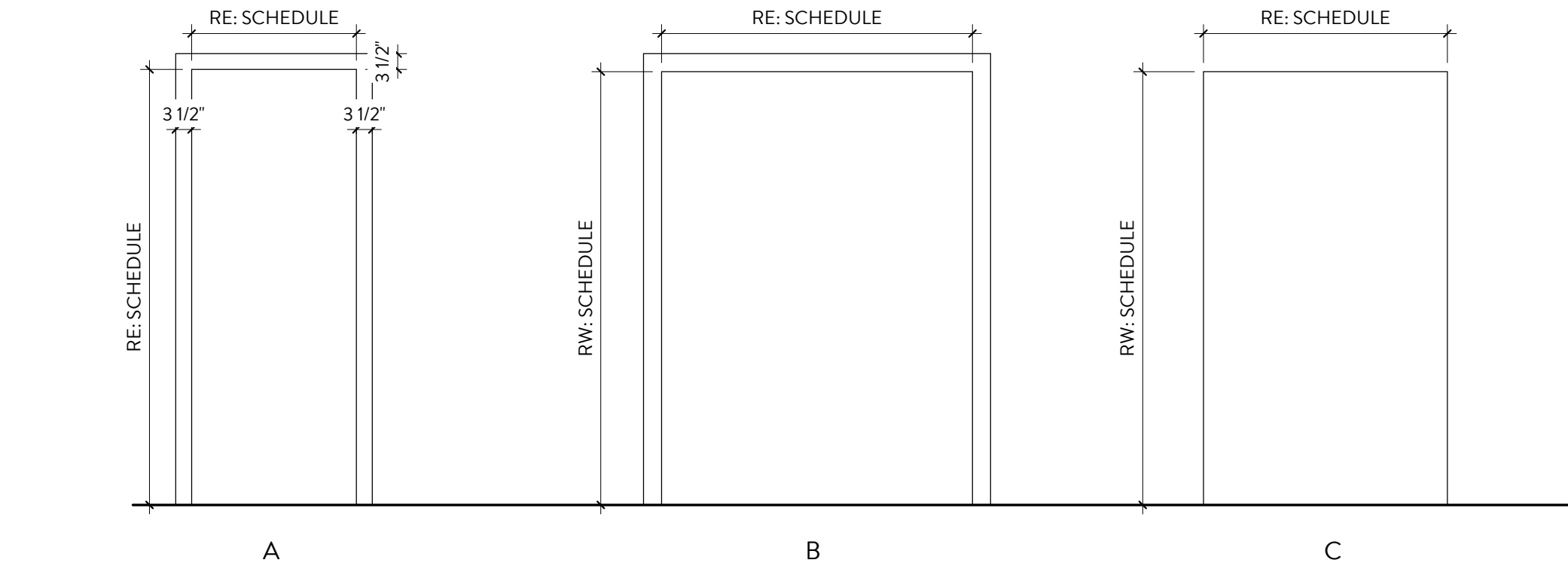
ALTA VISTA

1308 ALTA VISTA
AUSTIN, TEXAS 78704

A2.0

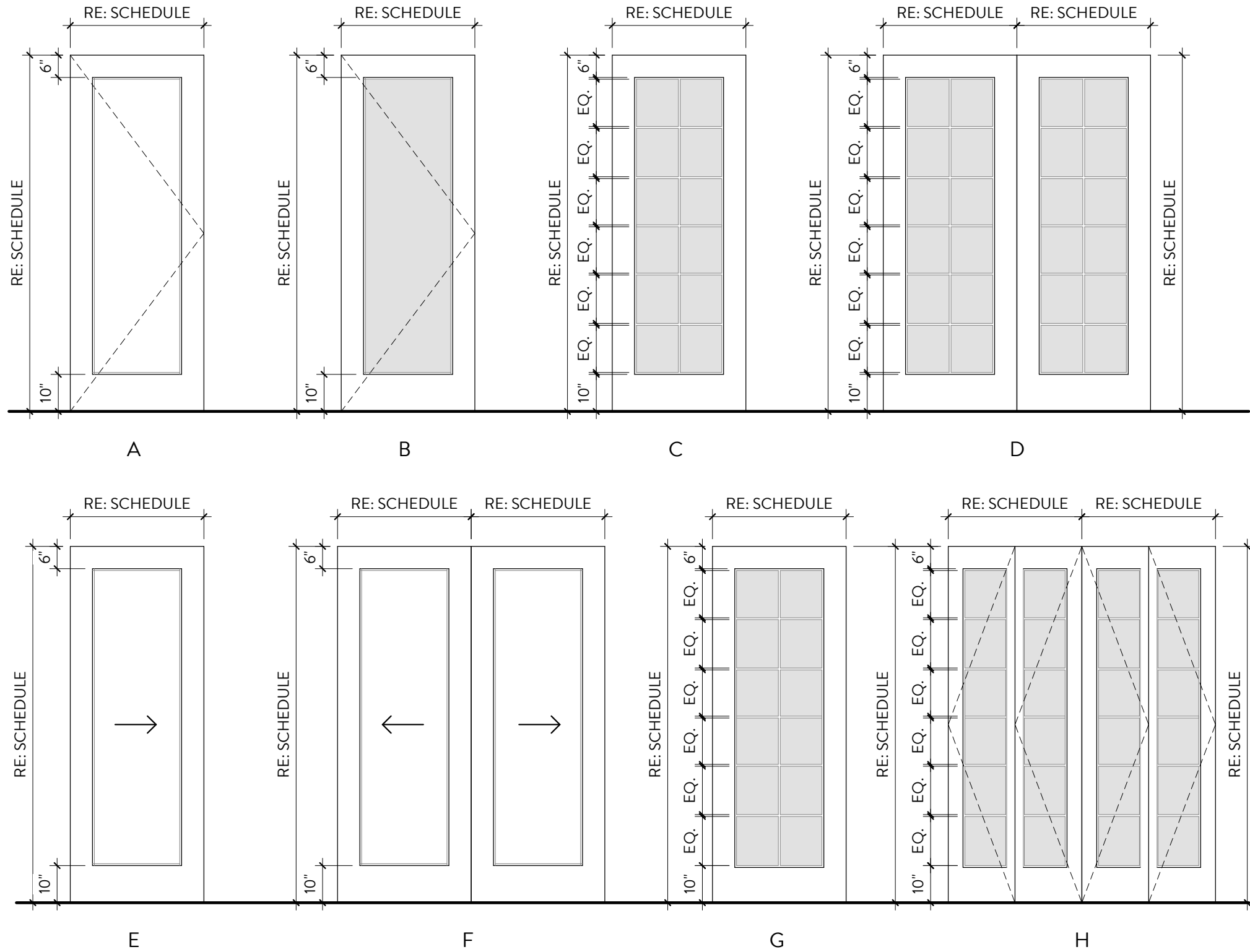
EXTERIOR
ELEVATIONS





DOOR FRAME TYPES

3/8" = 1'-0"

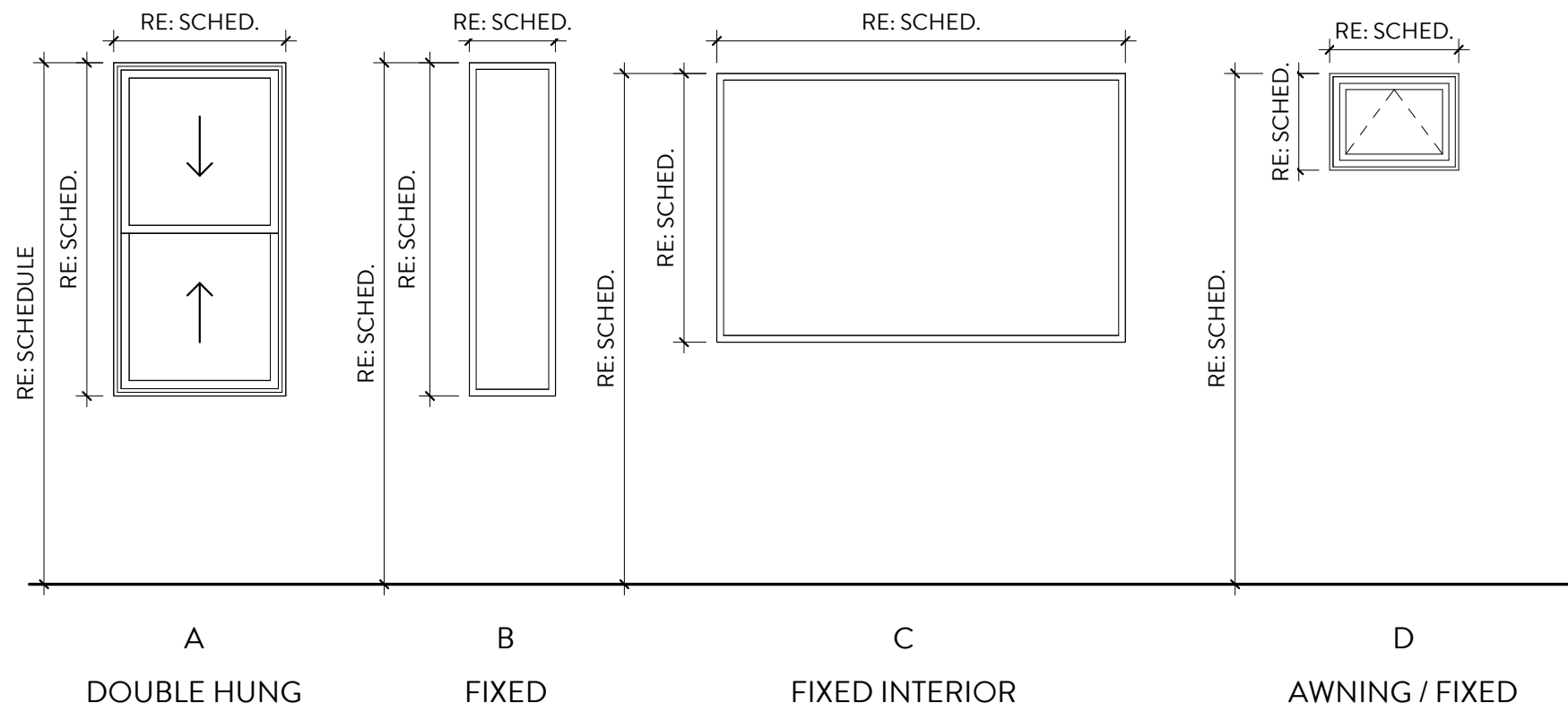


DOOR TYPES

3/8" = 1'-0"

DOOR NOTES

- 1. ALL SIZES TO BE VERIFIED ON SITE BY DOOR FABRICATOR, SIZES NOTED IN THIS SCHEDULE ARE APPROXIATE.
- 2. ALL EXTERIOR DOORS TO MEET CURRENT ENERGY CODES.
- 3. PROVIDE TEMPERED GLASS AS NOTED AND AS REQ'D BY CODE - TO BE VERIFIED WITH CONTRACTOR.
- 4. INTERIOR DOORS TO BE SOLID-CORE WOOD, PAINTED (COLOR TBD).
- 5. EXTERIOR DOORS TO BE PREFINISHED (COLOR TBD).
- 6. FOR PANEL AND LITE CONFIGURATION, RE: DOOR TYPES.
- 7. ALL INTERIOR DOOR TRIM TO BE PAINTED (COLOR TBD).



WINDOW TYPES

3/8" = 1'-0"

WINDOW NOTES

- 1. ALL WINDOWS TO MEET CURRENT ENERGY CODES.
- 2. PROVIDE TEMPERED GLAZING AS NOTED AND AS REQ'D BY CODE - TO BE VERIFIED BY CONTRACTOR.
- 3. ALL INTERIOR WINDOW TRIM TO BE PAINTED (COLOR TBD).
- 4. ALL SHOWER WINDOWS TO BE FIBERGLASS AND HAVE APPLIED PRIVACY FILM.
- 5. PROVIDE EGRESS OPENINGS AS REQUIRED AT ALL SLEEPING ROOMS.
- 6. ALL EXISTING WINDOWS TO REMAIN TO BE REPAIRED AS REQUIRED AND RECIEVE PAINTED FINISH (COLOR TBD)

DOOR SCHEDULE

NUMBER	Level	WIDTH	HEIGHT	DOOR		FRAME		DETAIL			HARDWARE GROUP	COMMENTS
				TYPE	MATERIAL	TYPE	MATERIAL	JAMB	HEAD	THRESHOLD		
CARPORT F.F.												
111B	CARPORT F.F.	6'-6 29/64"	6'-4 1/2"				STEEL				(none)	
111C	CARPORT F.F.	4'-8 127/256"	6'-3 1/2"								(none)	
INT. LANDING												
112	INT. LANDING	2'-0"	5'-0"	A	WOOD	A	WOOD				(none)	EXISTING TO REMAIN - NEW PAINT
111	INT. LANDING	2'-10"	6'-8"	C	WOOD	A	WOOD				(none)	EXISTING TO REMAIN - NEW PAINT

1ST FLOOR

102	1ST FLOOR	3'-0"	6'-8"	E	WOOD	A	WOOD				(none)	
102B	1ST FLOOR	2'-0"	6'-8"	A	WOOD	A	WOOD				(none)	EXISTING TO REMAIN - NEW PAINT
103B	1ST FLOOR	2'-0"	6'-8"	A	WOOD	A	WOOD				(none)	EXISTING TO REMAIN - NEW PAINT
103	1ST FLOOR	3'-0"	6'-8"	B	WOOD	A	WOOD				(none)	EXISTING TO REMAIN - NEW PAINT
103C	1ST FLOOR	2'-6"	6'-8"	C	WOOD	A	WOOD				(none)	EXISTING TO REMAIN -REPAIR AS REQUIRED- NEW PAINT
104	1ST FLOOR	2'-6"	6'-8"	A	WOOD	A	WOOD				(none)	EXISTING TO REMAIN - NEW PAINT
105	1ST FLOOR	3'-0"	6'-8"	B	WOOD	A	WOOD				(none)	
109	1ST FLOOR	2'-4"	6'-8"		WOOD	A	WOOD				(none)	EXISTING TO REMAIN - NEW PAINT
110B	1ST FLOOR	2'-6"	6'-8"	C	WOOD	A	WOOD				(none)	EXISTING TO REMAIN -REPAIR AS REQUIRED- NEW PAINT
106	1ST FLOOR	2'-6"	6'-8"	A	WOOD	A	WOOD				(none)	
102C	1ST FLOOR	6'-0"	6'-8"	D	WOOD	A	WOOD				(none)	
110	1ST FLOOR	3'-0"	6'-8"	B	WOOD	A	WOOD				(none)	

2ND FLOOR

215	2ND FLOOR	3'-0"	7'-0"	A	WOOD	A	WOOD				(none)	
208	2ND FLOOR	6'-0"	7'-0"	F	WOOD	A	WOOD				(none)	
209	2ND FLOOR	3'-0"	7'-0"	C	WOOD	A	WOOD				(none)	
203	2ND FLOOR	3'-0"	7'-0"	A	WOOD	A	WOOD				(none)	
214	2ND FLOOR	3'-0"	7'-0"	A	WOOD	A	WOOD				(none)	
205	2ND FLOOR	3'-0"	7'-0"	A	WOOD	A	WOOD				(none)	
204	2ND FLOOR	3'-0"	7'-0"	E	WOOD	A	WOOD				(none)	
212	2ND FLOOR	4'-8"	7'-0"		WOOD	A	WOOD				(none)	
211	2ND FLOOR	6'-0"	7'-0"	F	WOOD	A	WOOD				(none)	
206	2ND FLOOR	5'-0"	7'-0"		WOOD	A	WOOD				(none)	
209B	2ND FLOOR	3'-0"	7'-0"	C	WOOD	A	WOOD				(none)	
213	2ND FLOOR	2'-6 1/4"	8'-11"								(none)	FRAMELESS GLASS SLIDER - TO BE SELECTED
210	2ND FLOOR	4'-1"	7'-0"		WOOD	C	STEEL				(none)	FRAMELESS WOOD CONCEALED POCKETDOOR

WINDOW SCHEDULE

MARK	TYPE	HEAD HEIGHT	WIDTH	HEIGHT	FRAME		TRIM	COMMENTS
					TYPE	MATERIAL		
1	A	7'-2"	2'-8"	5'-2"		FIBERGLASS		PRELIMINARY - TO BE SELECTED
2	A	7'-2"	2'-8"	5'-2"		FIBERGLASS		PRELIMINARY - TO BE SELECTED
3	D	7'-2"	2'-4"	1'-2 1/2"		FIBERGLASS		PRELIMINARY - TO BE SELECTED
4	H	7'-2"	1'-4"	5'-2"		FIBERGLASS		PRELIMINARY - TO BE SELECTED
5	H	7'-2"	1'-4"	5'-2"		FIBERGLASS		PRELIMINARY - TO BE SELECTED
6	D	7'-2"	2'-4"	1'-2 1/2"		FIBERGLASS		PRELIMINARY - TO BE SELECTED
7	C	7'-2"	6'-4"	4'-2"		WOOD		INTERIOR WINDOW - CUSTOM GLASS IN SITE BUILT FRAME
8	A	7'-2"	2'-4"	5'-2"		WOOD		PRELIMINARY - TO BE SELECTED
9	D	15'-0"	2'-0"	1'-6"		VINYL		PRELIMINARY - TO BE SELECTED
10	D	15'-0"	2'-0"	1'-6"		VINYL		PRELIMINARY - TO BE SELECTED
11	D	15'-0"	2'-0"	1'-6"		VINYL		PRELIMINARY - TO BE SELECTED
12	D	15'-0"	2'-0"	1'-6"		VINYL		PRELIMINARY - TO BE SELECTED
13	D	15'-0"	2'-0"	1'-6"		VINYL		PRELIMINARY - TO BE SELECTED
14	D	15'-0"	2'-0"	1'-6"		VINYL		PRELIMINARY - TO BE SELECTED
15	D	15'-0"	2'-0"	1'-6"		VINYL		PRELIMINARY - TO BE SELECTED
16	D	15'-0"	2'-0"	1'-6"		VINYL		PRELIMINARY - TO BE SELECTED
17	D	15'-0"	2'-0"	1'-6"		VINYL		PRELIMINARY - TO BE SELECTED



ISSUED DATE 2021-02-26
PROJECT NUMBER 41863

PERMIT SET