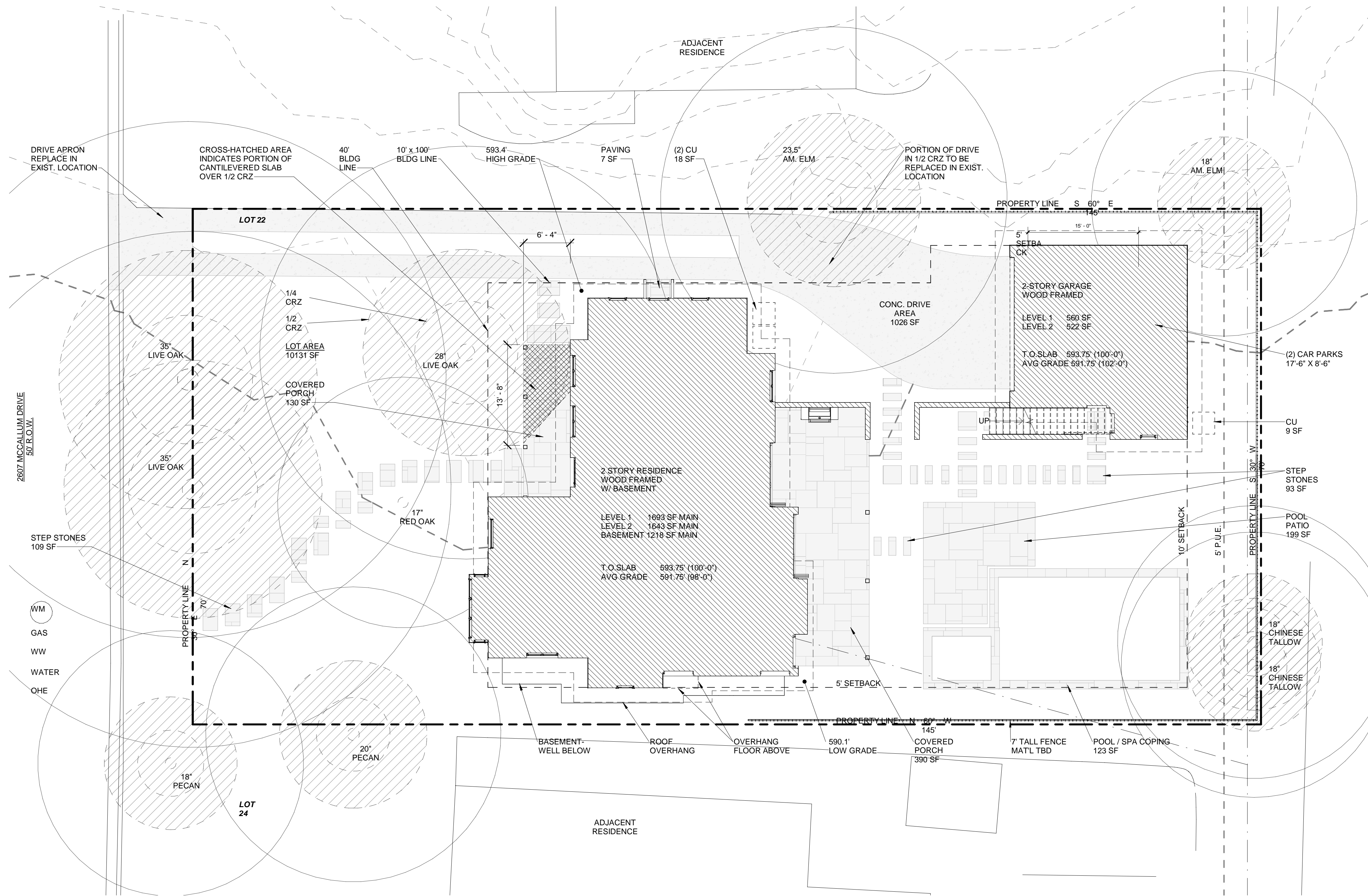


GENERAL SITE NOTES

- Any work that involves cutting or damage to existing conditions shall be repaired to match existing.
- Locate and mark all utilities prior to construction notify underground utility companies 48 hours prior to any excavation. Repair any damaged utility lines at contractor's expense.
- Construction materials shall be delivered via path and site entrance determined in pre-construction meeting.
- Coordinate with owner for special permits required for any temporary blockage of driveways, streets, or parking areas as required during construction.
- Remove all existing construction and landscaping within the footprint of the new construction.
- Contractor shall construct all new grades as indicated. Assume a constant slope between new relative spot elevations.
- Slope grade away from new building a minimum of 4% for 6 feet. Slope new impervious surfaces away from building at 2% (1/4" per foot) for 6 feet minimum.
- Provide a rough broom finish on all new exterior concrete walks.
- Restore existing landscape areas and lawns damaged by construction with sod.
- Provide reinforced HVAC unit, transformer, and generator pads as required by mechanical and electrical. Pad sizes shown are approximate sizes. Concrete pads shall be sized to accommodate manufacturer's recommendations.
- The limits of construction shall include, but not be limited to 12 feet outside of any constructed or renovated area and not to extend beyond the property line.
- Stockpiling of excavated or fill material shall be limited to an area as defined by the Architect / Owner.
- Trim all trees within 4 feet of new building. Coordinate any tree removal or pruning with the city tree permit. Provide city required tree protection.
- Indicated (100.0') finish floor elevation is a reference elevations. Actual finish floor elevation above sea level differs. All elevations are relative to F.F. (100.0') unless noted without parenthesis as 792.2'
- Site information provided by owner. Architect is not responsible for inaccurate site information or problems caused by inaccurate site information.
- Provide one pre-cast concrete splash block at each downspout extending 4 feet from building, unless downspout is tied into storm drain or drains on to concrete surface.

SITE LEGEND

- EXISTING CONTOUR
NEW CONTOUR
FENCE
TREE
BUILDING ENTRANCE
SPOT ELEVATION
D.S.
(R)
(E)
(D)
CJ
DOWNSPOUT
RELOCATED
EXISTING
DEMOLISH
CONTROL JOINT



REVISIONS		
NUMBER	DATE	DESCRIPTION

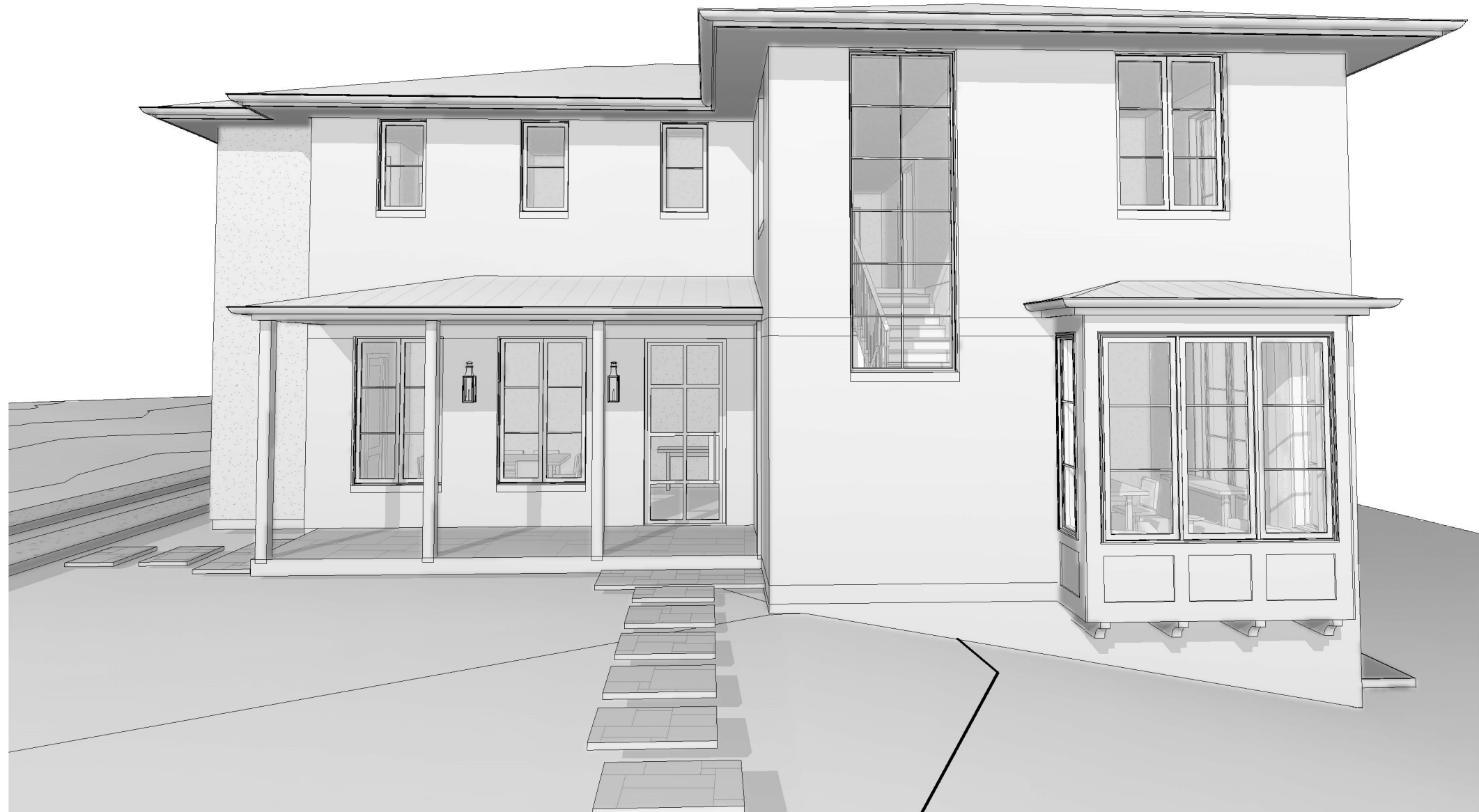
Site Plan	
DESIGN DEVELOPMENT	
DATE:	6/2/21
JOB:	2026

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Preliminary. Not for regulatory approval, permitting, or construction.



4 Perspective - Driveway to Backyard



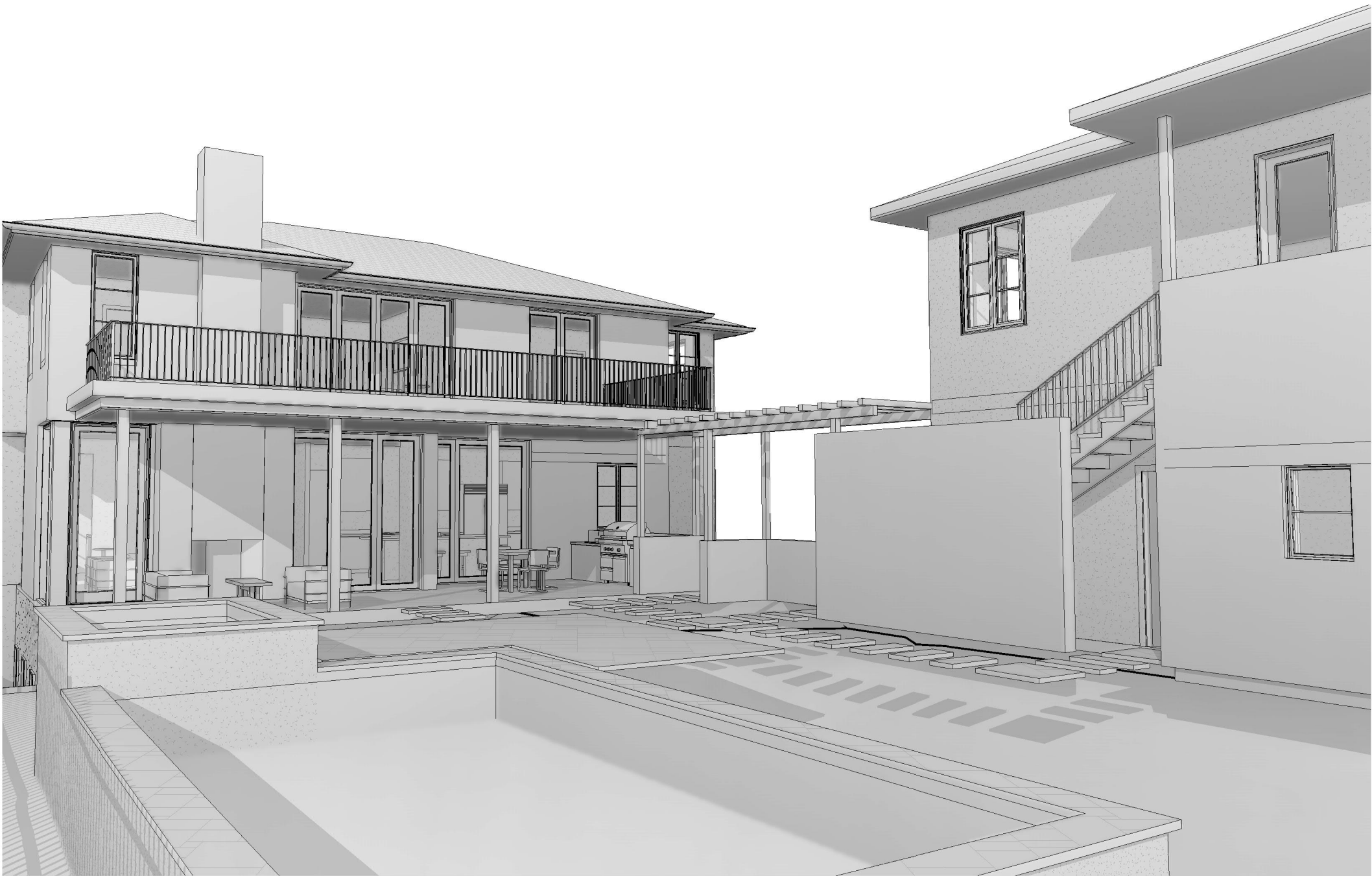
2 Front Elevation



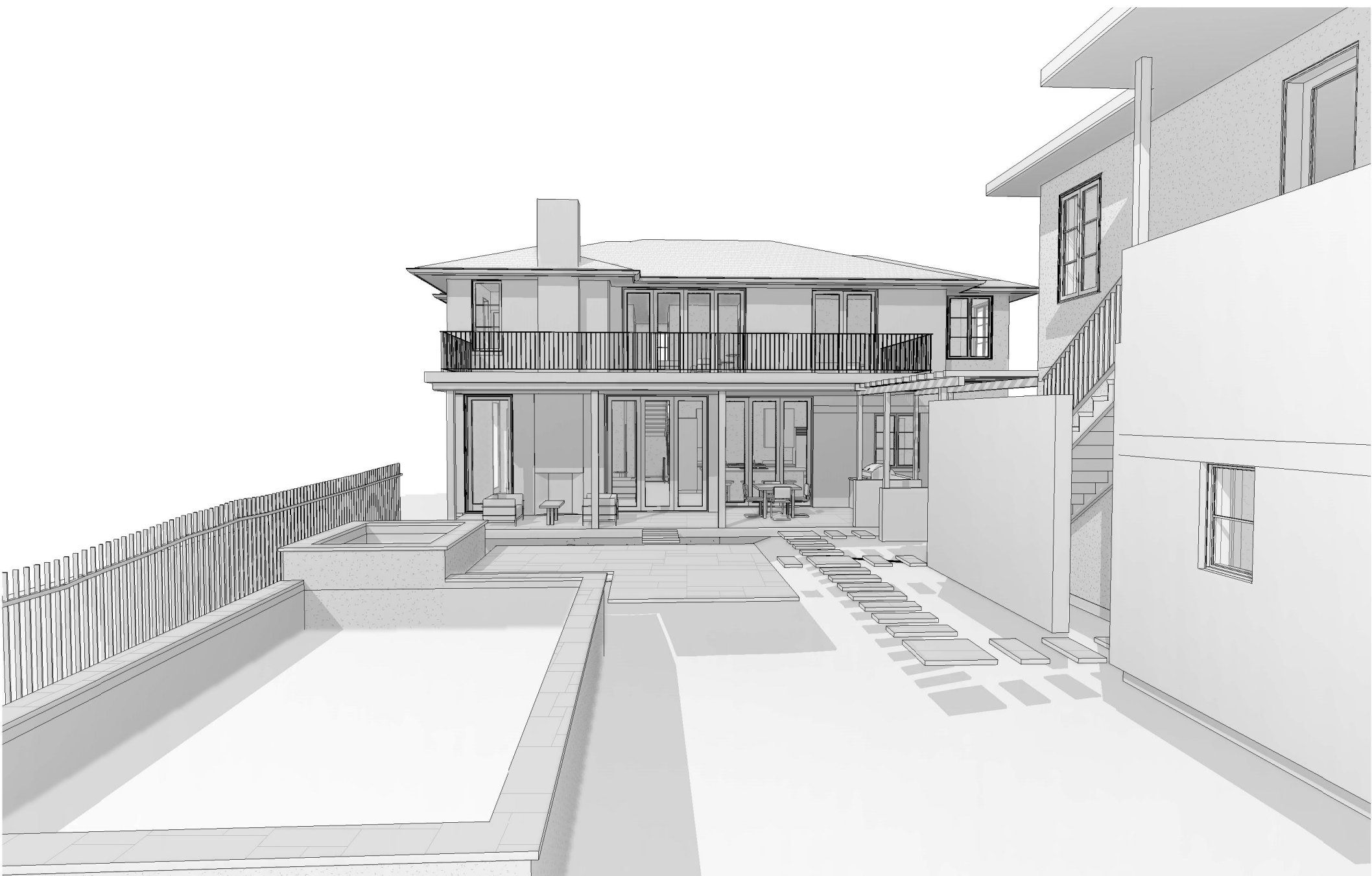
3 Perspective - Front Porch



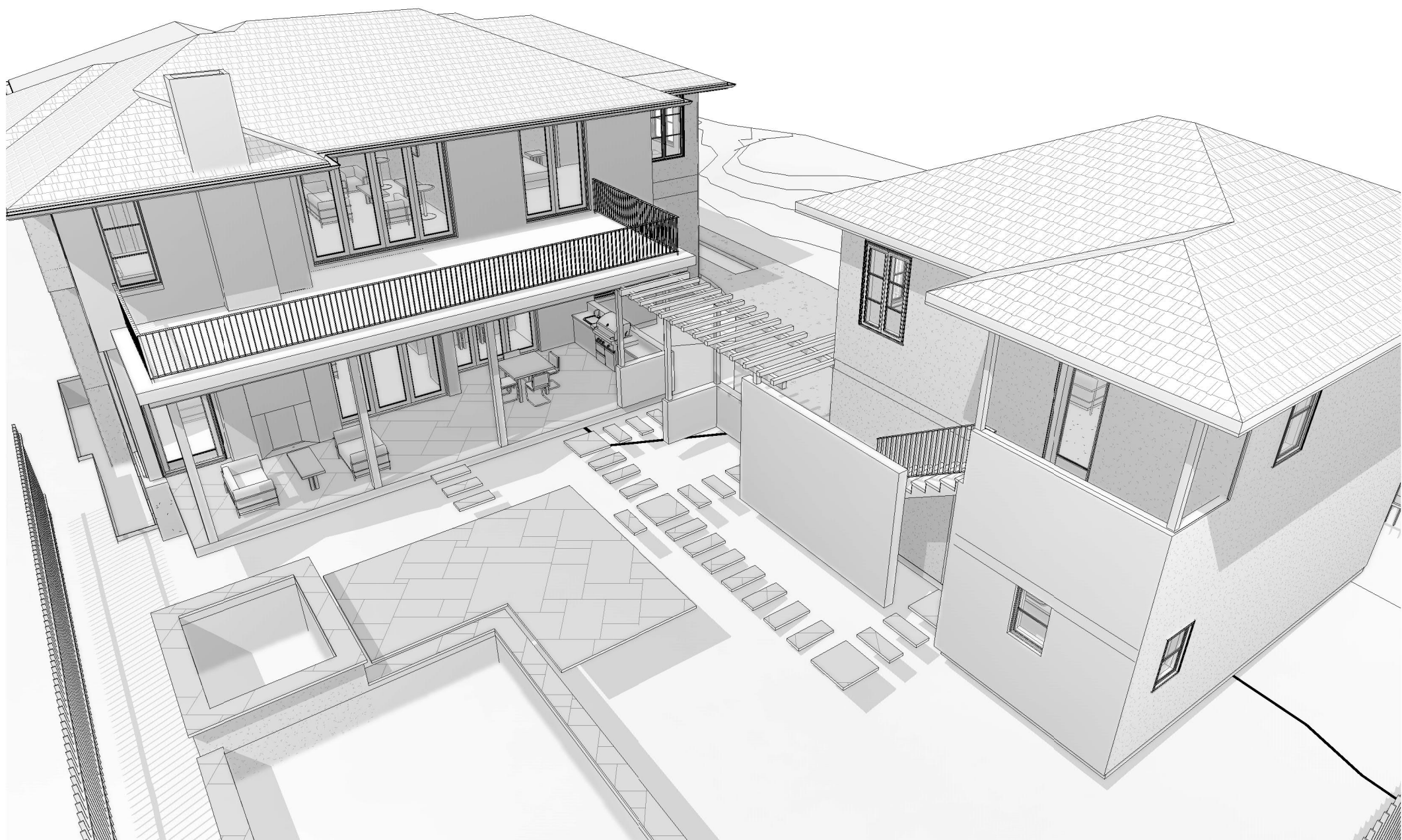
1 Perspective Driveway to Front



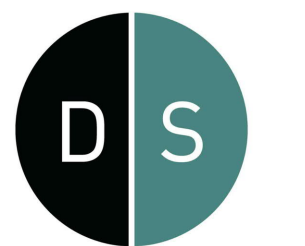
2 Perspective - Pool to House



1 Perspective - Rear Elevation



3 Perspective - Backyard Bird's Eye



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2607 McCallum Drive, Austin, TX 78703

REVISIONS		
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3D Views

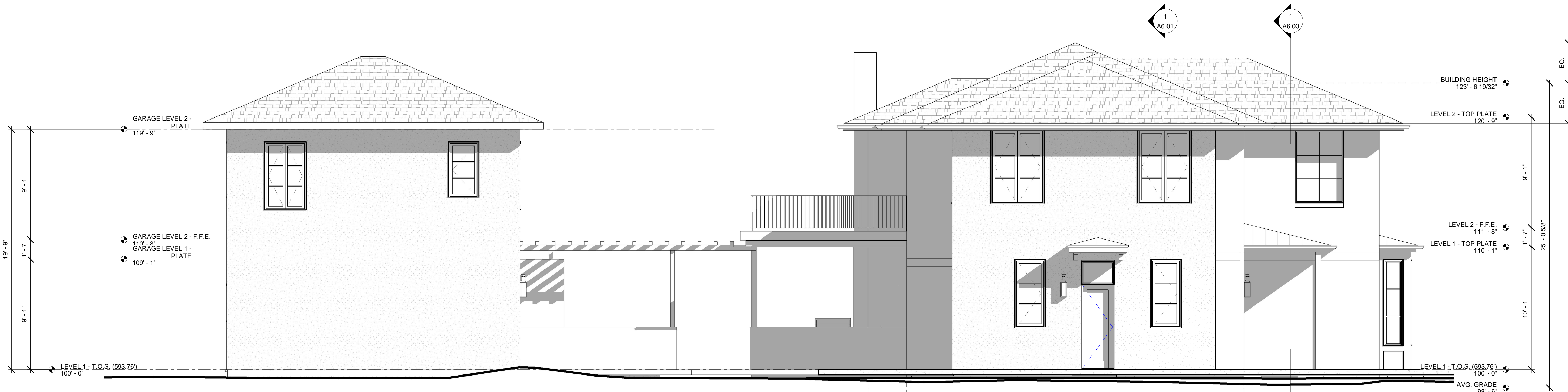
DESIGN DEVELOPMENT

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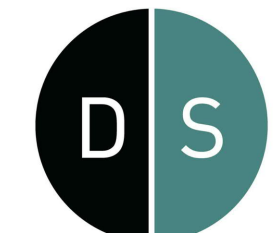
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LEFT
2 NORTH ELEVATION
1/4" = 1'-0"



FRONT
1 WEST ELEVATION
1/4" = 1'-0"



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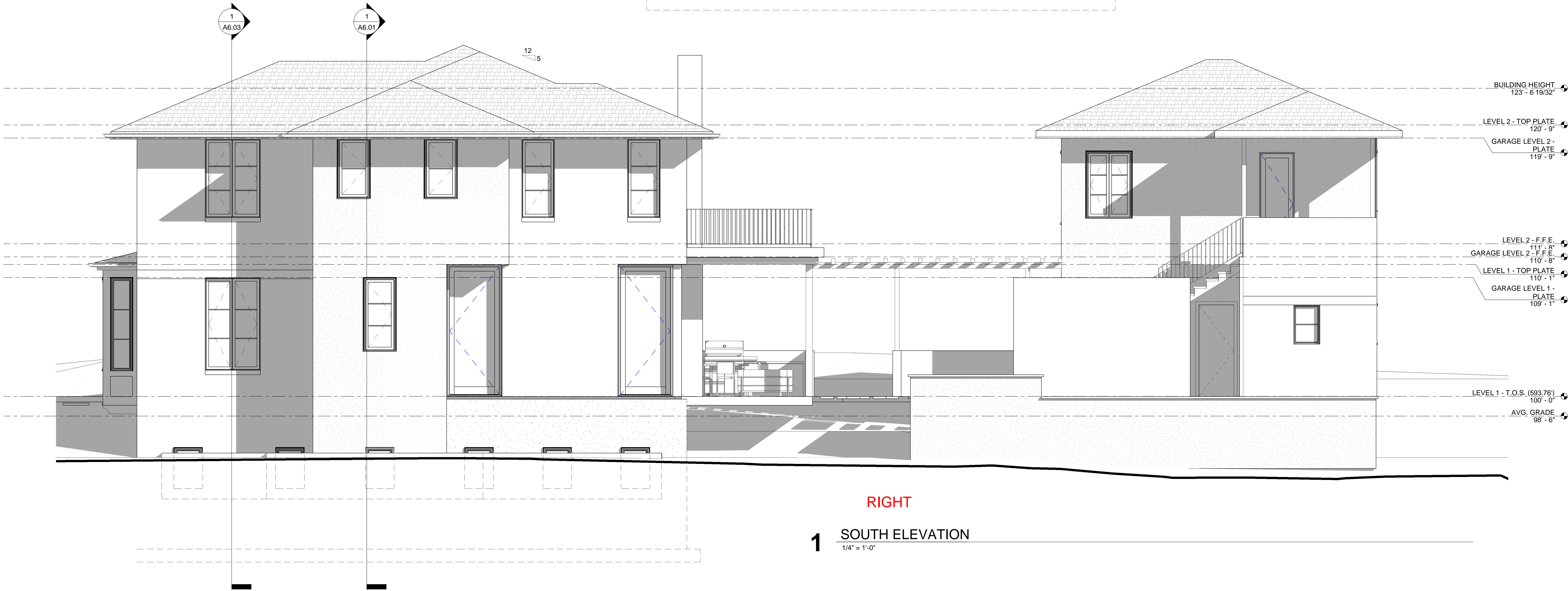
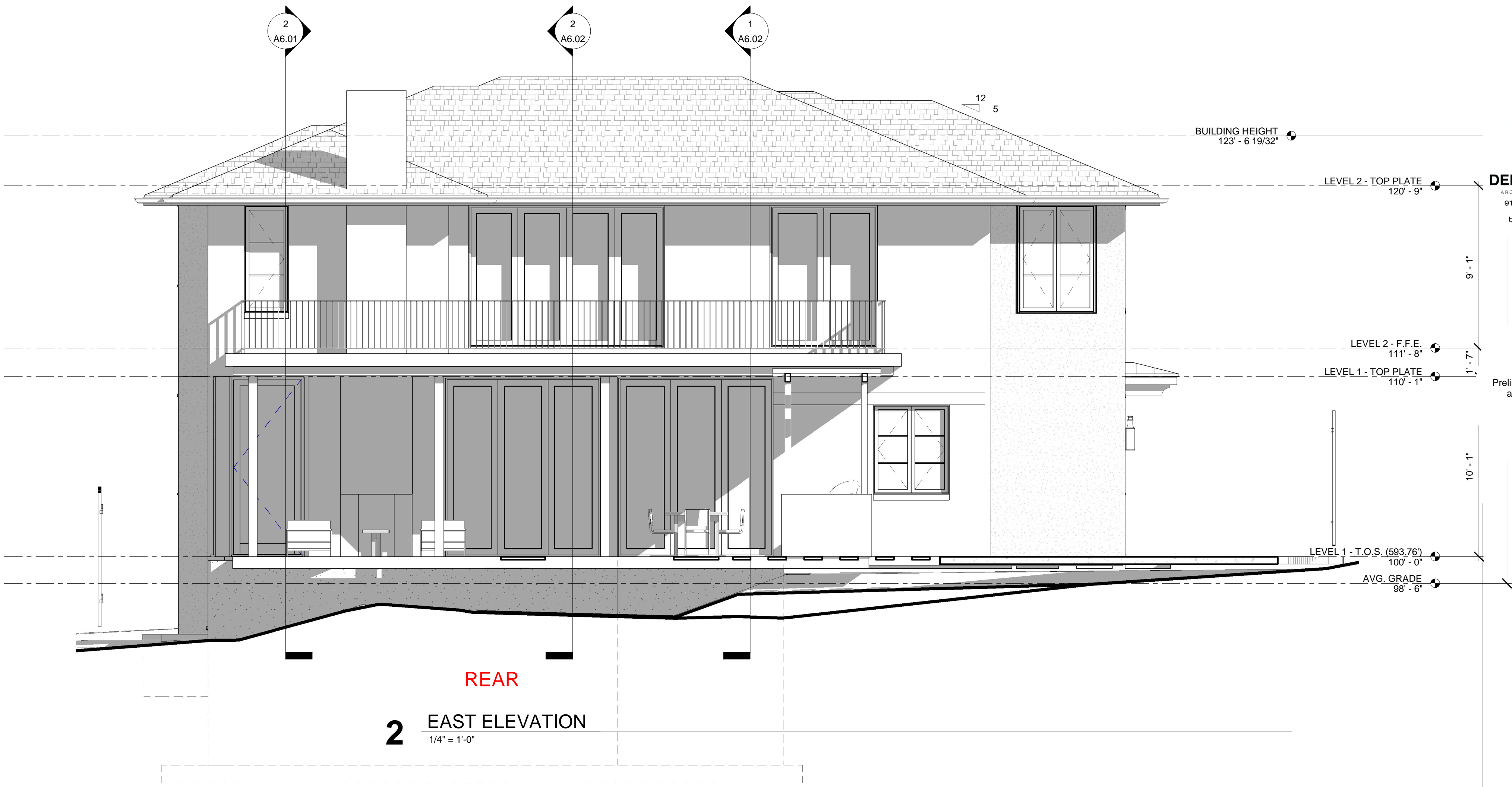
REVISIONS		
NUMBER	DATE	DESCRIPTION

Building Elevations
DESIGN DEVELOPMENT
DATE: 6/2/21
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