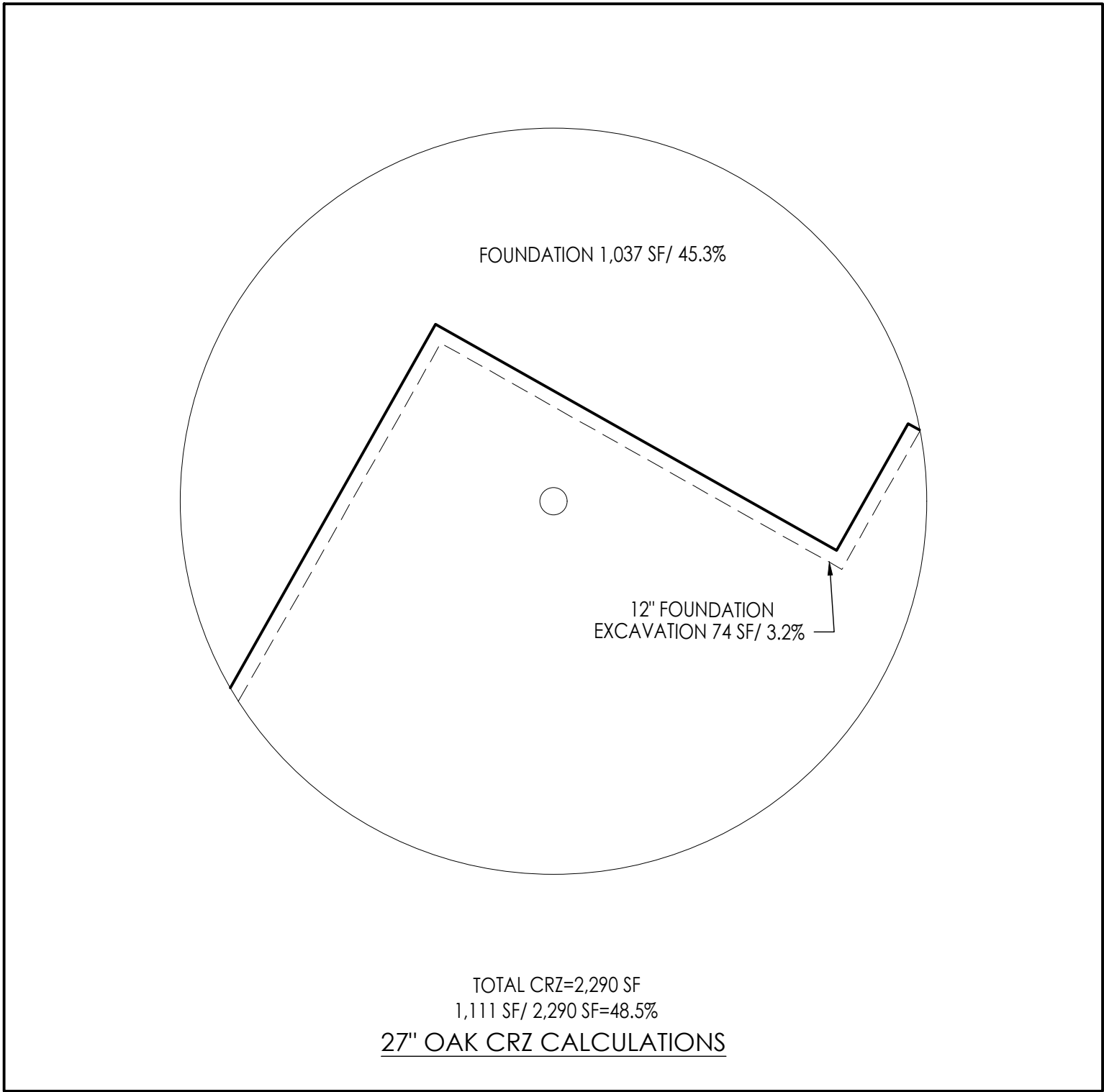
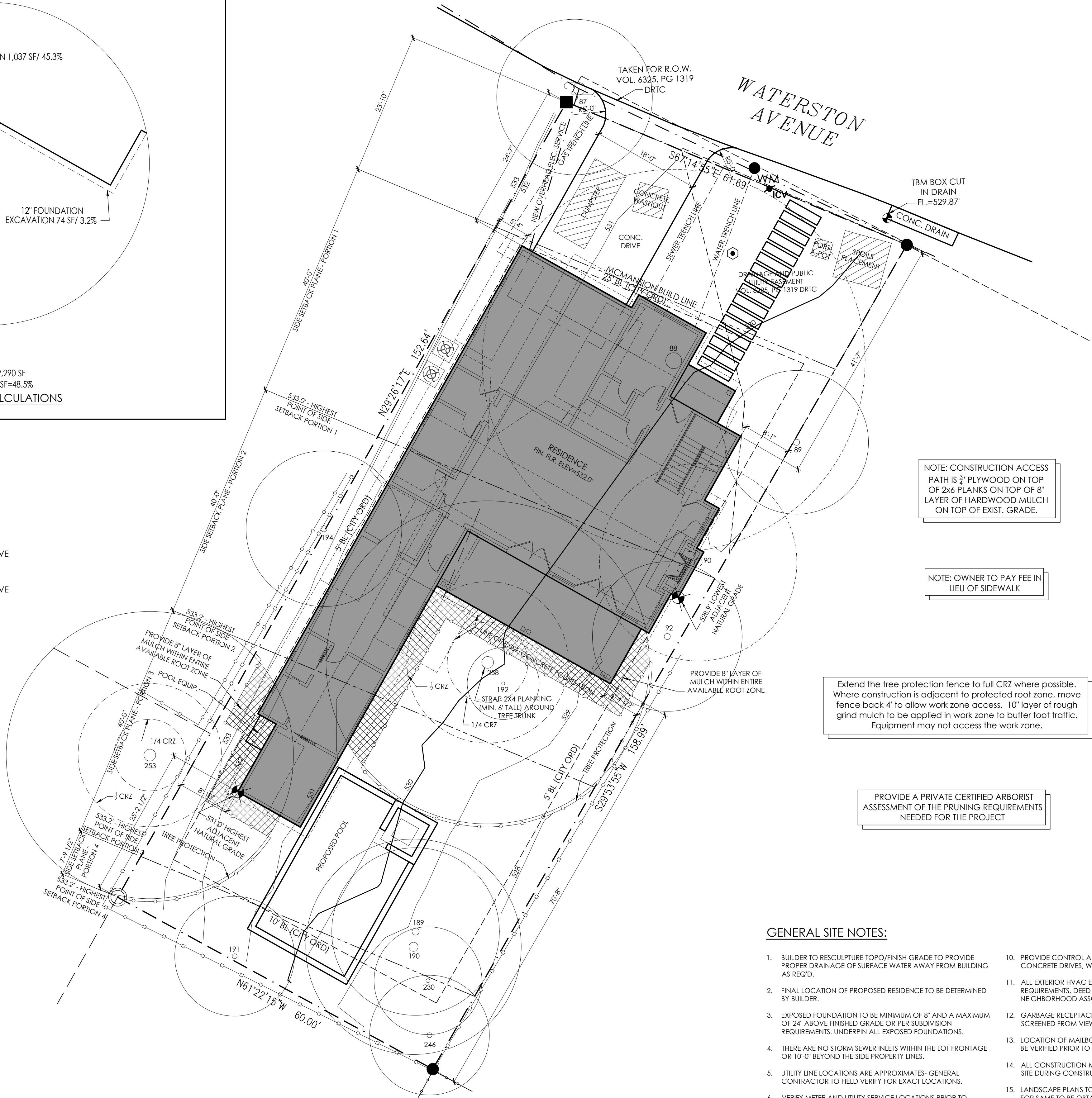




Point Table	
Point #	Description
87	TRE 13 OAK TT7374
88	TRE 32 ELM TT7373
89	TRE 12 PECAN TT7375
90	TRE 16.5 ELM TT7376
92	TRE 12.5 PECAN TT7377
189	TRE 14 OAK TT7380
190	TRE 18 OAK TT7379
191	TRE 10 ELM TT7383
192	TRE 6 OAK TT7382
194	TRE 13 ELM TT7385
230	TRE 9 OAK TT7378
246	TRE 10 TWIN TREE TT7381
253	TRE 24 OAK TT253
258	TRE 27 OAK TT7384

REMOVE

REMOVE



NOTE: CONSTRUCTION ACCESS PATH IS 3/4" PLYWOOD ON TOP OF 2x6 PLANKS ON TOP OF 8" LAYER OF HARDWOOD MULCH ON TOP OF EXIST. GRADE.

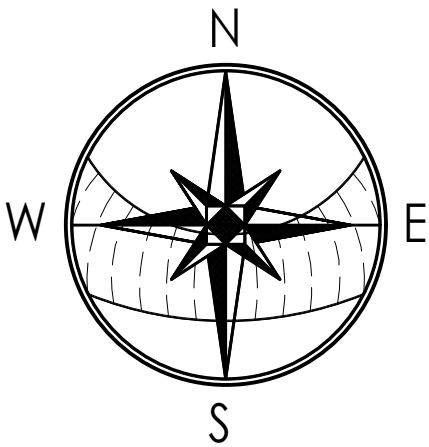
NOTE: OWNER TO PAY FEE IN LIEU OF SIDEWALK

Extend the tree protection fence to full CRZ where possible. Where construction is adjacent to protected root zone, move fence back 4' to allow work zone access. 10" layer of rough grind mulch to be applied in work zone to buffer foot traffic. Equipment may not access the work zone.

PROVIDE A PRIVATE CERTIFIED ARBORIST ASSESSMENT OF THE PRUNING REQUIREMENTS NEEDED FOR THE PROJECT

GENERAL SITE NOTES:

- BUILDER TO RESCULPTURE TOP/FINISH GRADE TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQ'D.
- FINAL LOCATION OF PROPOSED RESIDENCE TO BE DETERMINED BY BUILDER.
- EXPOSED FOUNDATION TO BE MINIMUM OF 8" AND A MAXIMUM OF 24" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS. UNDERPIN ALL EXPOSED FOUNDATIONS.
- THERE ARE NO STORM SEWER INLETS WITHIN THE LOT FRONTAGE OR 10'-0" BEYOND THE SIDE PROPERTY LINES.
- UTILITY LINE LOCATIONS ARE APPROXIMATES- GENERAL CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATIONS.
- VERIFY METER AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
- EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONFIRM ALL DRIVEWAY, WALKWAY AND PVC LAYOUTS/LOCATIONS PRIOR TO COMMENCING WORK.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- ALL EXTERIOR HVAC EQUIPMENT TO BE SCREENED PER CITY REQUIREMENTS, DEED RESTRICTIONS OF SUBDIVISION OR NEIGHBORHOOD ASSOCIATION.
- GARBAGE RECEPTACLES TO BE STORED IN GARAGE OR SCREENED FROM VIEW AND ANIMAL ACCESS.
- LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHT(S) TO BE VERIFIED PRIOR TO INSTALLATION.
- ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- LANDSCAPE PLANS TO BE PROVIDED BY OTHERS AND PERMIT FOR SAME TO BE OBTAINED SEPARATELY FROM THESE PLANS.
- NO EXISTING TREES TO BE REMOVED OR DISTURBED WITHOUT OWNER APPROVAL.
- ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
- CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.



SITE PLAN

SCALE 1:10

CITY OF AUSTIN - GROSS FLOOR AREA

AREA	EXISTING/ REMODELED	NEW/ ADDITION	EXEMPTION	TOTAL
1ST FLOOR AREA (INCL. MASONRY)	0'	2,475'	0'	2,475'
2ND FLOOR AREA (INCL. MASONRY)	0'	996'	0'	996'
3RD FLOOR AREA	0'	0'	0'	0'
BASEMENT	0'	0'	0'	0'
ATTIC	0'	732'	-732'	0'
GARAGE (ATTACHED)	0'	506'	-200'	306'
GARAGE (DETACHED)	0'	0'	0'	0'
CARPORT (ATTACHED)	0'	0'	0'	0'
CARPORT (DETACHED)	0'	0'	0'	0'
GROUND FLOOR PORCHES	0'	422'	-422'	0'
TOTAL GROSS FLOOR AREA	0'	5,131'	-1,354'	3,777'
TOTAL LOT AREA				9,444'

$3,777' / 9,444' \times 100 = 40.0\% \text{ FLOOR-TO-AREA RATIO (FAR)}$

ALLOWABLE FAR: $9,444' \times 40\% = 3,777'$

CITY OF AUSTIN - BUILDING COVERAGE

AREA	EXISTING/ REMODELED	NEW/ ADDITION	TOTAL
1ST FLOOR AREA	0'	2,475'	2,475'
GARAGE/CARPORT	0'	506'	506'
ACCESSORY BUILDING (DETACHED)	0'	0'	0'
COVERED PATIOS	0'	0'	0'
COVERED PORCHES	0'	422'	422'
TOTAL BUILDING COVERAGE	0'	3,403'	3,403'
TOTAL LOT AREA			9,444'

$3,403' / 9,444' \times 100 = 36.0\% \text{ PERCENTAGE OF LOT}$

ALLOWABLE BUILDING COVERAGE: $9,444' \times 40\% = 3,777'$

CITY OF AUSTIN - IMPERVIOUS COVERAGE

AREA	EXISTING/ REMODELED	NEW/ ADDITION	TOTAL
TOTAL BUILDING COVERAGE	0'	3,403'	3,403'
DRIVEWAY	0'	477'	477'
SIDEWALKS/WALKWAYS	0'	144'	144'
UNCOVERED PATIOS (REAR STEPS)	0'	0'	0'
UNCOVERED WOOD DECKS (0' @ 50%)	0'	0'	0'
AC/POOL EQUIP PADS	0'	60'	60'
OTHER:			
POOL COPING	0'	105'	105'
RETAINING WALLS	0'	0'	0'
TOTAL IMPERVIOUS COVER	0'	4,189'	4,189'
TOTAL LOT AREA			9,444'

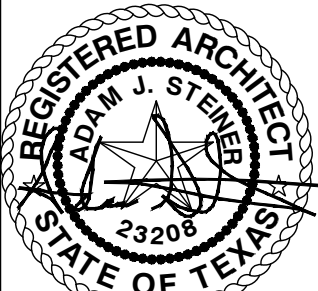
$4,189' / 9,444' \times 100 = 44.3\% \text{ PERCENTAGE OF LOT}$

ALLOWABLE IMPERVIOUS COVERAGE: $9,444' \times 45\% = 4,249'$

PROVIDE TREE PROTECTION AS REQUIRED PER ENVIRONMENTAL CRITERIA MANUAL SECT. 3.5.2 IN ORDER TO ASSURE THAT THE REMAINING ROOT ZONES ARE ADEQUATELY PRESERVED. TREE PROTECTION FENCING IS REQUIRED FOR ALL TREES WITHIN THE LIMITS OF CONSTRUCTION. FENCING SHOULD BE INDICATED TO PROTECT THE ENTIRE CRZ AREA OR AS MUCH OF THE CRZ AS PRACTICAL. FENCING IS REQUIRED TO BE CHAIN LINK MESH AT A MINIMUM HEIGHT OF 5 FEET. WHEN THE TREE PROTECTION FENCING CANNOT INCORPORATE THE ENTIRE 1/2 CRZ, AN 8" LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR ALL TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRZ. 2X4 OR GREATER SIZE PLANKS (6" TALL MIN.) TO BE STRAPPED SECURELY AROUND PROTECTED TREE TRUNKS AND ROOT FLARES WHEN PROTECTIVE FENCING DOES NOT INCORPORATE THE ENTIRE 1/2 CRZ FOR ANY REASON AT ANY TIME ON THE PROJECT.

LEGAL DESCRIPTION:

1805 WATERSTON AVENUE
W 62.1FT OF N1/4 60' OF ORIG
LOT 7 BLK 13 MAAS ADDN
AUSTIN, TEXAS 78703
TRAVIS COUNTY

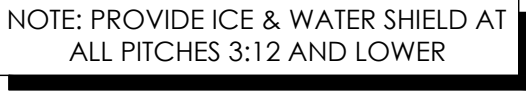


04.25.21

SHEET NO.

A-1
1 OF 12

PROJECT NO. 21004
DRAWN BY: AS
DATE: 04.25.21
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REVISION:



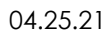
SOLAR READY ZONE - 240 SQ. FT. TOTAL
VERIFY NO VENTS, CHIMNEYS, PARAPETS, OR
ROOF MOUNTED EQUIPMENT OBSTRUCTS
THIS AREA

BLOCK OUT
FOR CHIMNEY

1. PITCHES TO BE AS NOTED ON PLANS.
2. HIPS, VALLEYS & RIDGES TO BE FRAMED ONE SIZE LARGER THAN RAFTERS.
3. ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE.
4. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF. ALL OVERHANGS TO BE 24" FROM THE FRAMEWORK UNLESS NOTED OTHERWISE.
5. U.N.O. ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING.
6. ALL EXTERIOR OPENINGS TO BE LOAD BEARING.

7. WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEER'S SPECIFICATIONS.
8. THE BIDDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BIDDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE BIDDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
9. THE DESIGN & SIZING OF ALL LOAD BEARING HEADERS, STRUCTURAL BEAMS AND TRUSSES IS THE RESPONSIBILITY OF THE AGENT [ENGINEER/TRUSS MANUFACTURER, ETC.] CHOSEN BY THE BIDDER/OWNER TO DO SAID DESIGN.

SCALE 1/4" = 1'-0"

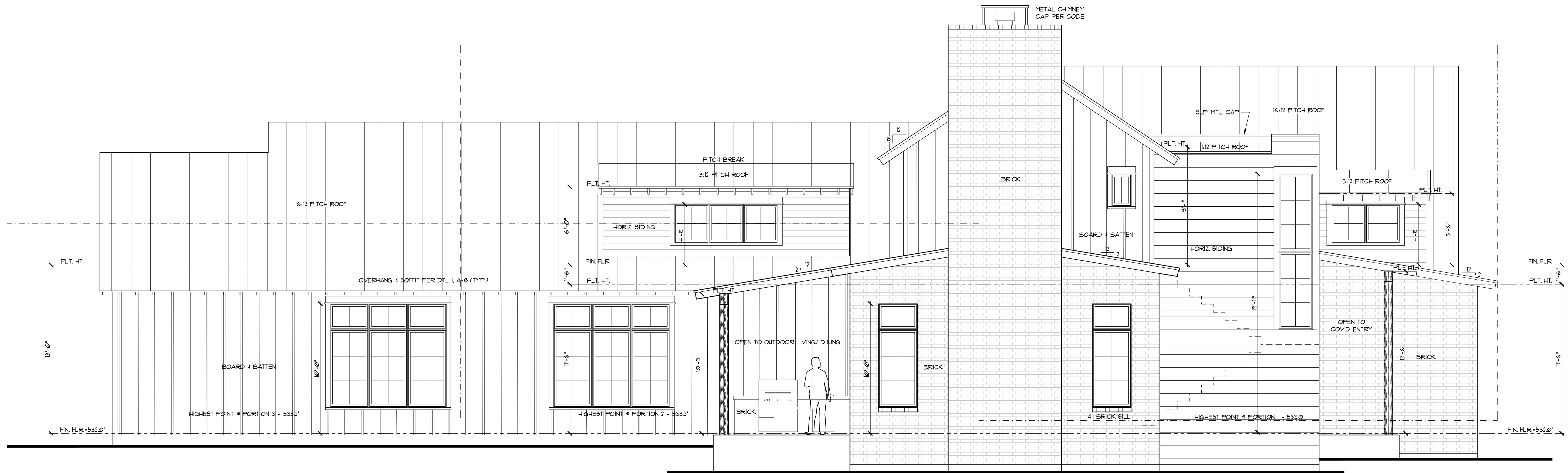


1805 WATERSTON AVE.

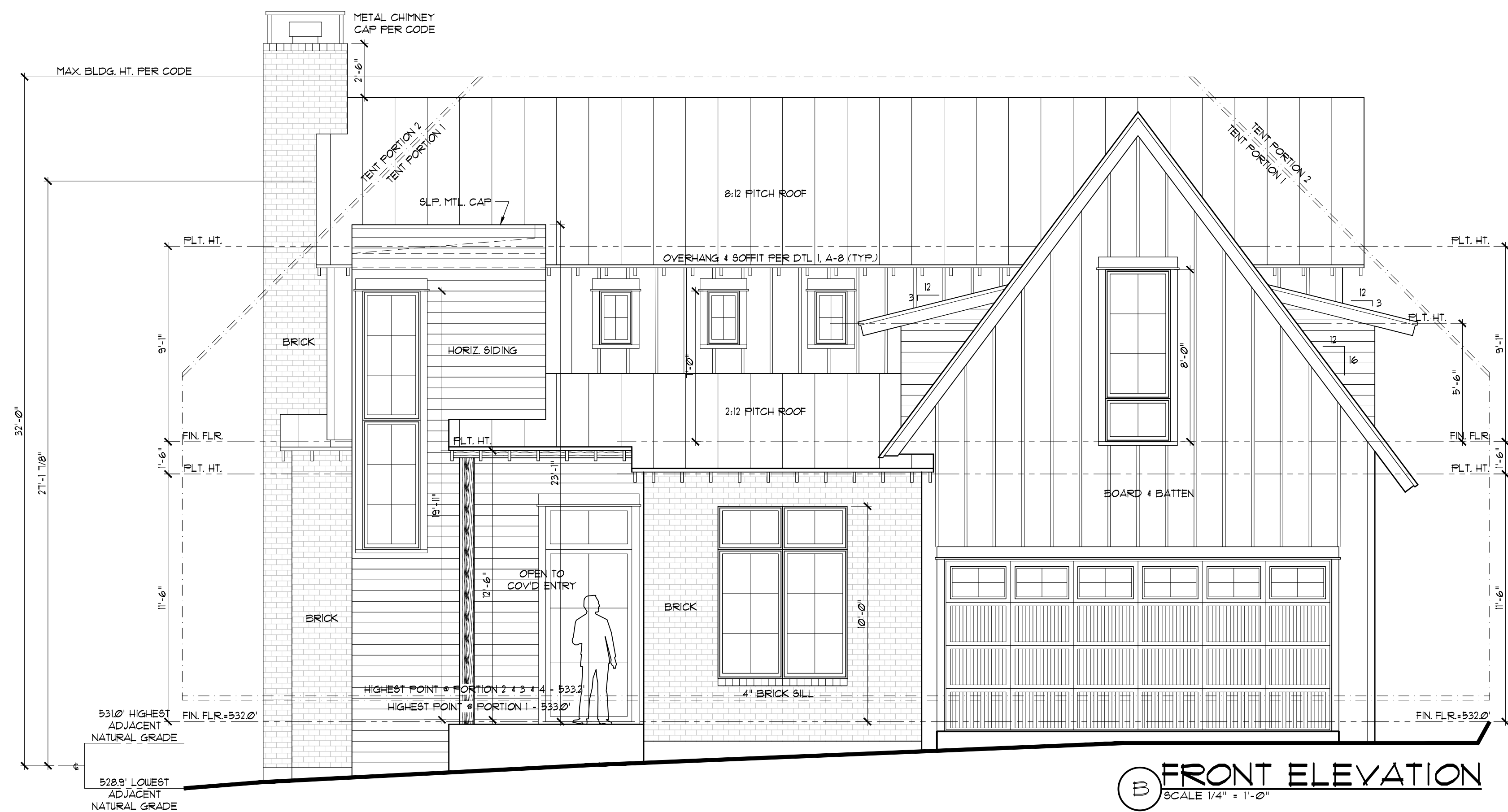
SHEET NO.
A-6
6 OF 12

PROJECT NO.	21004
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A LEFT ELEVATION
SCALE 1/4" = 1'-0"



B FRONT ELEVATION
SCALE 1/4" = 1'-0"

GENERAL ELEVATION NOTES

- 1.0 ALL WINDOW HDR HTS. TO BE AS NOTED ON FLOOR PLANS.
- 2.0 PROVIDE WOOD TRIM AT WOOD VENEERS.
- 3.0 EXPOSED FOUNDATION TO BE MINIMUM OF 8" AND A MAXIMUM OF 24" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS. UNDERPIN ALL EXPOSED FOUNDATIONS.
- 4.0 GRADE LINES SHOWN ON ELEVATION DRAWINGS SHALL NOT BE CONSTRUED TO REPRESENT ACTUAL FINISH GRADES. VERIFY FINISH GRADE ON JOB SITE.
- 5.0 ACTUAL ELEVATIONS TO VARY PER GRADE OF EXISTING LOT.
- 6.0 ALL PLUMBING, APPLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.
- 7.0 CHIMNEY FLUE SHOWN AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY FLUE TO ENSURE PROPER DRAW FOR FIREPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.
- 8.0 CONTRACTOR TO PROVIDE RAINSCREEN AND FLASHING BEHIND ALL STUCCO / SIDING VENEERS TO ASSURE ADEQUATE DRAINAGE.

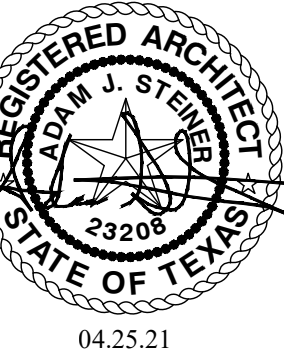
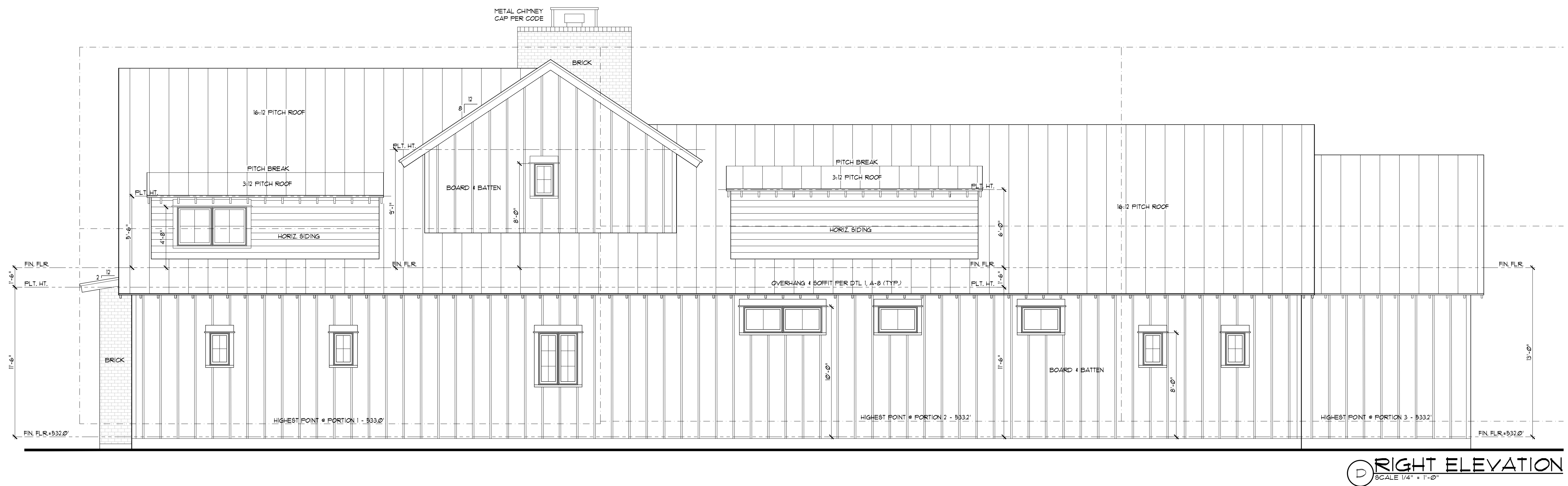
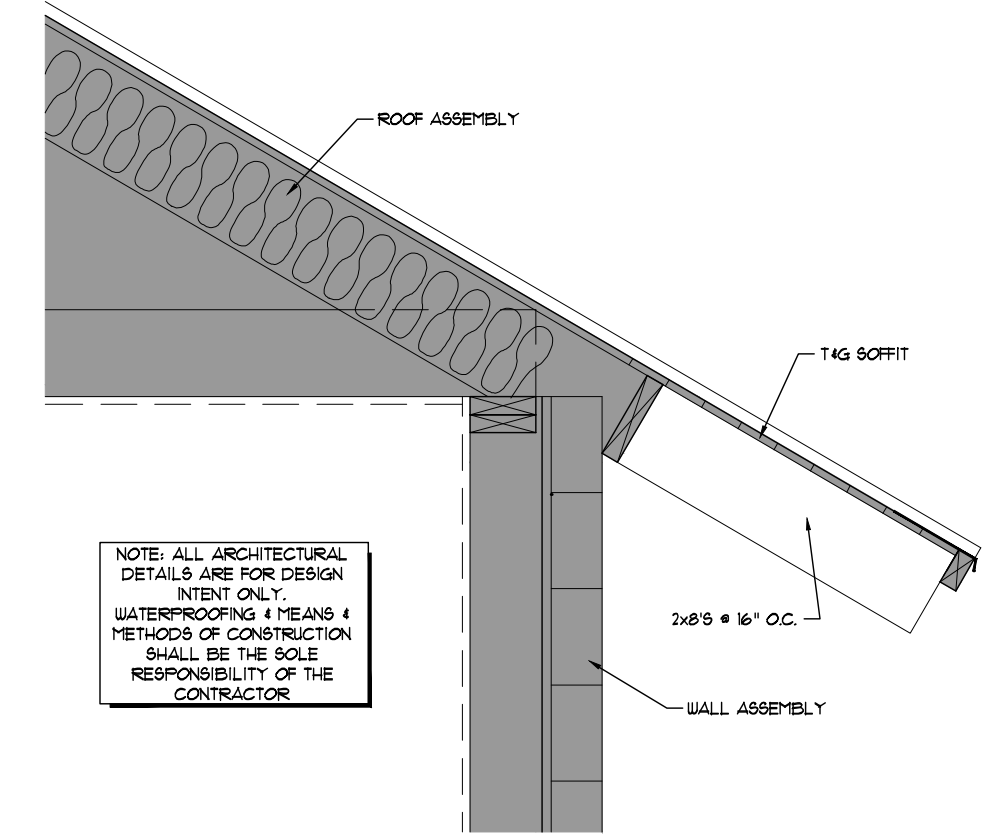
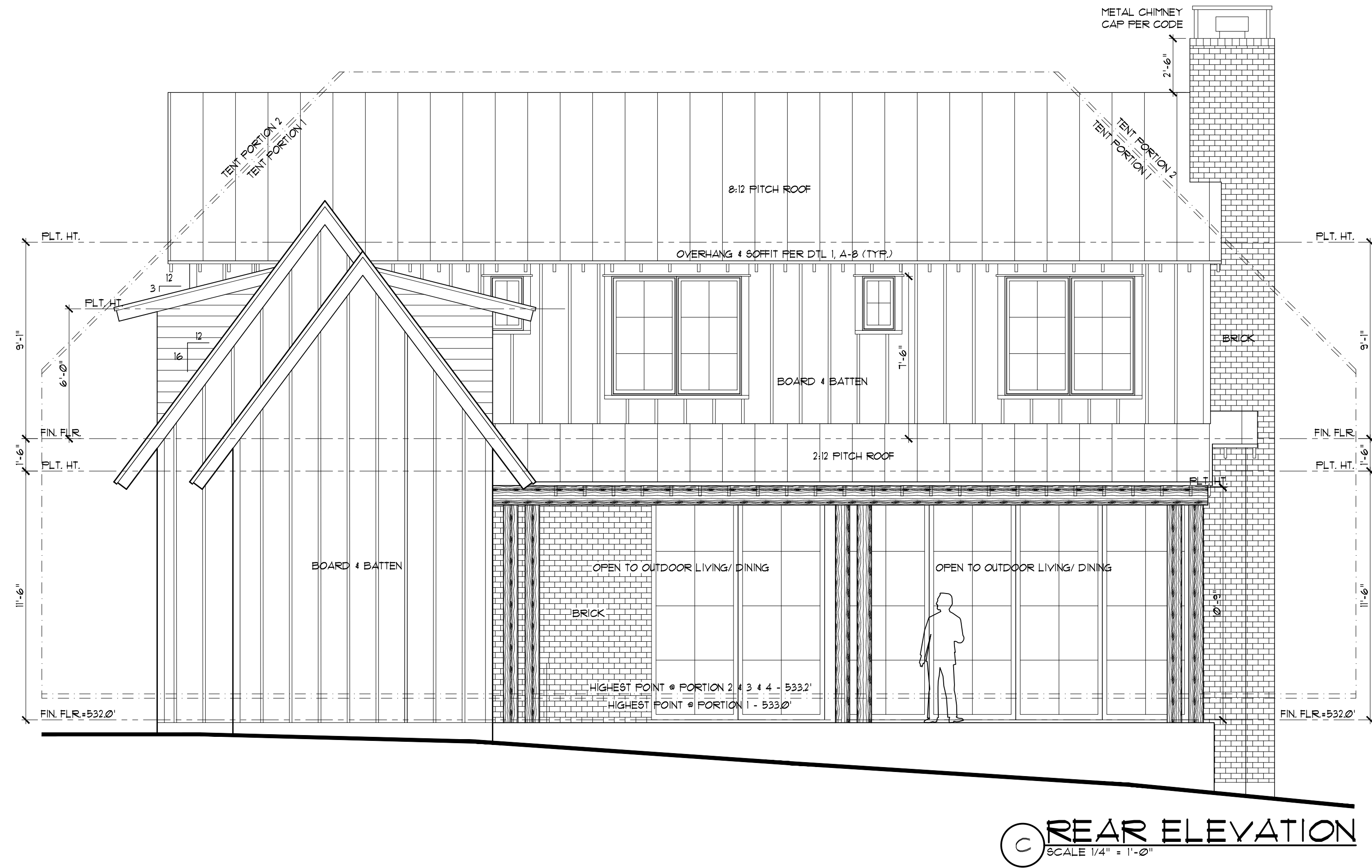


1809 WATERSTON AVE.

SHEET NO.

A-7
1 OF 12

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1809 WATERSTON AVE.
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A-8
8 OF 12
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