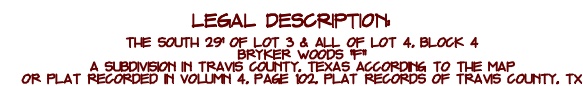


REVISIONS		DATE 06/28/19
1	08/01/19	JOB # 17-32
2	06/11/21	
		A-1
		ARCHITECTURAL



PROPOSED
AREA OF DISTURBANCE = 525 SQ FT
PERCENTAGE OF CRITICAL ROOT ZONE LEFT UNDISTURBED = 64%

<u>FLOOR AREA RATIO</u>	
SITE AREA	11,293 SQ FT
EXISTING 1ST FLOOR LIVING AREA	2,214 SQ FT
TOTAL LIVING AREA	2,214 SQ FT
NEW 2 CAR GARAGE = 555 SQ FT LESS 450 SQ FT EXEMPTION	105 SQ FT
TOTAL FLOOR AREA F.A.R.	2,319 SQ FT 20.5%

IMPERVIOUS COVER	
SITE AREA	11263 SQ FT
EXISTING HOUSE FOOTPRINT	2,214 SQ FT
NEW DRIVEWAY	10,355 SQ FT
FRONT PORCH	75 SQ FT
CONC AND STEPS	85 SQ FT
STEPPING STONES	95 SQ FT
CONC PAVERS	136 SQ FT
WOOD DECK	66 SQ FT
A/C PAD	12 SQ FT
NEW GARAGE	5,555 SQ FT
TOTAL IMPERVIOUS AREA	4,274 SQ FT
TOTAL IMPERVIOUS COVER	37.6%



SCALE 1/8"=1'-0"



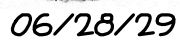
SCALE 1/8"=1'-0" 555 90 FT



SCALE 1/8"=1'-0"



SCALE 1/8"=1'-0"



SCALE 1/8"=1'-0"



A RENOVATION OF 3101 OAKMOUNT AUSTIN, TEXAS

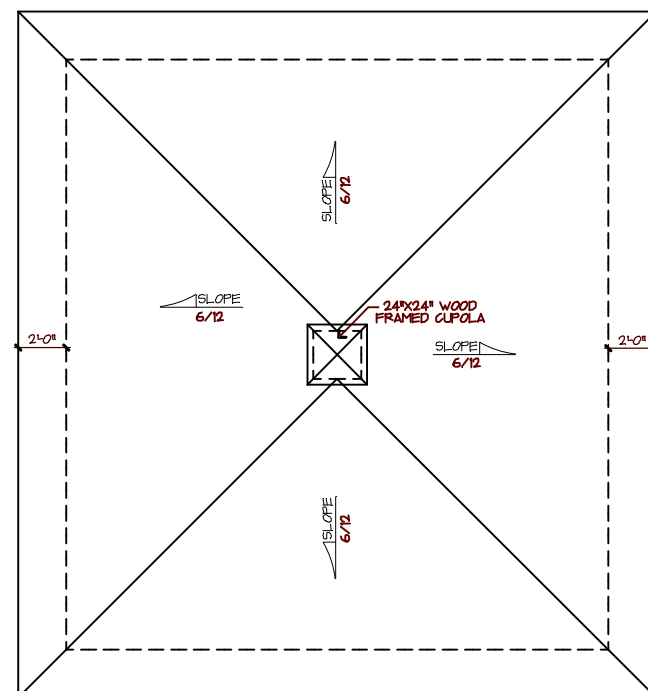
	REVISIONS	DATE: 06/28/19
		JOB # 17-32
		A-2
	ARCHITECTURAL	

FRAMING NOTES:

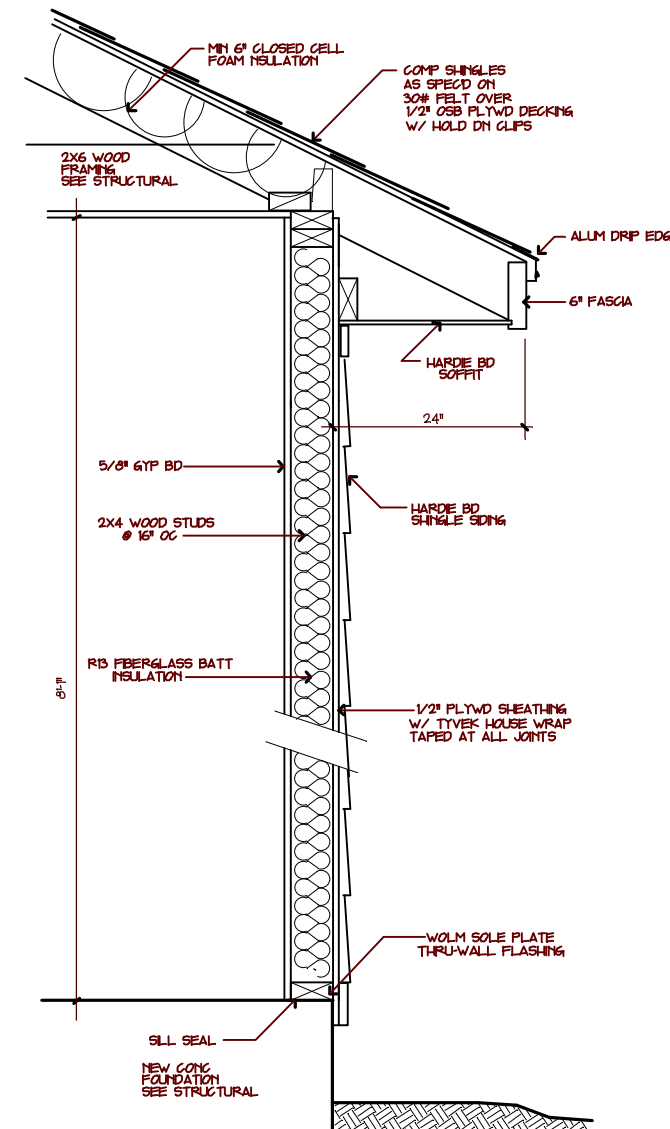
1. RAFTERS SHALL BE 2X6S OR 2X8S @ 16" O.C. SEE ENGINEERING.
2. MAXIMUM SPAN OF RAFTERS BETWEEN SUPPORTS SHALL BE 11'-0".
3. 6:12 ROOF PITCH (TYPICAL EXCEPT AS NOTED). SEE ELEVATIONS.
4. VALLEY & HP RAFTERS SHALL BE 1-2X10S (MINIMUM)
5. ALL BEAMS SHALL HAVE 3-STUD MINIMUM BEARING.
6. LET-IN X4 STP WIND BRACING IS REQUIRED ON INTERIOR WALLS WHERE POSSIBLE. EXTERIOR SHEATHING IS A 4X8 SHEET OF 1/2" CDX PLYWOOD AT ALL CORNERS AND 1/2" GYPSUM ELSEWHERE. CDX SHALL BE NAILED WITH 10D NAILS, 6" OC AT EDGES AND 12" OC AT INTERMEDIATE SUPPORTS.
7. OVERHANG SHALL BE 24" TYPICAL FROM STUD WALL.
8. AN ROOF BRACING OVER 8'-0" SHALL BE T-BRACED.
9. BOLT LVL'S TOGETHER AS FOLLOWS:
 - 3 - LVL BEAMS TOGETHER. USE 2 1/2" BOLTS @ 3'-0" OC
 - 2 - LVL BEAMS TOGETHER. USE 2 1/2" BOLTS @ 4'-0" OC

TIMBER:

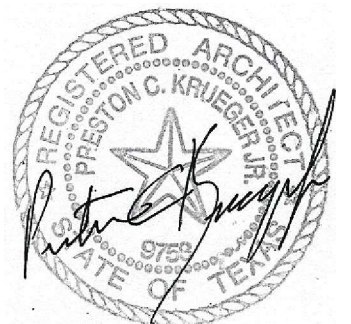
1. UNLESS OTHERWISE NOTED, ALL STRUCTURAL FRAMING LUMBER SHALL BE CLEARLY MARKED NO. 2 SPF BY THE SPIB WITH A MINIMUM FB-1550 PSI.
2. ALL WOOD STUD WALLS SHALL BE FULL HEIGHT WITHOUT INTERMEDIATE PLATE LINE UNLESS DETAINED OTHERWISE.
3. SOLID 2X BLOCKING SHALL BE PROVIDED AT END AND POINT OF SUPPORT OF ALL WOOD JOISTS AND SHALL BE PLACED BETWEEN SUPPORTS IN ROWS NOT EXCEEDING 6'-0" APART. ALL WALLS SHALL HAVE SOLID 2X BLOCKING AT 4'-0" O.C. MAXIMUM VERTICALLY. END NAIL WITH 2-16D NAILS OR SIDE TOE NAIL WITH 2-16D NAILS.
4. DECKING: PLYWOOD DECKING - 1 1/8" FOR 2ND FLOOR, 1 1/2" FOR ROOFS
GRADE C-D, WITH EXTERIOR GLUE, USE 10D FASTENERS 12" O.C. AT ALL SUPPORTED EDGES, 3D AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS. ALL JOINTS IN PLYWOOD DECKING SHALL BE STAGGERED.
5. ALL FRAMING MEMBERS FRAMING INTO THE SIDE OF A HEADER SHALL BE ATTACHED USING THE APPROPRIATE METAL JOIST HANGERS.
6. NAILING AND ATTACHMENT OF ALL FRAMING MEMBERS SHALL BE AS SPECIFIED IN THE APPROPRIATE BUILDING CODE NAILING SCHEDULE UNLESS NOTED OTHERWISE IN THE DRAWINGS. COMMON WIRE NAILS OR SPIKES, OR GALVANIZED BOX NAILS SHALL BE USED FOR ALL FRAMING UNLESS NOTED.
7. PLACE A SINGLE PLATE AT THE BOTTOM AND A DOUBLE PLATE AT THE TOP OF ALL STUD WALLS. STUDS SHALL BE END NAILED TO PLATES.
8. GLU-LAMINATED BEAMS SHALL BE GRADE 24FV3 OR BETTER.



ROOF PLAN
SCALE 1/8"=1'-0"



TYPICAL
WALL SECTION
NOT TO SCALE



06/28/19

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A RENOVATION OF 3101 OAKMOUNT AUSTIN, TEXAS

	REVISIONS	DATE: 06/28/19
		JOB # T7-32
		A-3
		ARCHITECTURAL

DATE: 06/28/19

JOB # 17-32

A-3

ARCHITECTURAL