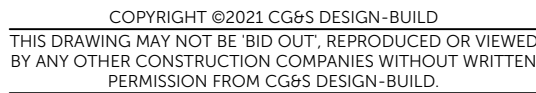


1906 W 33RD STREET, AUSTIN, TEXAS 78703



OFFICE: 512-444-1580
FAX: 512-444-1790

COSTELLO RESIDENCE

1906 W 33RD ST
AUSTIN, TX 78703

ABV	above
ADJ	adjacent
AFF	above finished floor
ALT	alternate
~	approximately
ARCH	architect
@	at
BLDG	building
BTM	bottom of
CONST	construction
CL	centerline
CLNG	ceiling
CMU	concrete masonry unit
Ø	diameter
DN	down
DET/DTL	detail
EQ	equal
ETR	existing to remain
EXTG	existing
FD	floor drain
FF	finished floor
FF	face of finish
FOS	face of stud
GWB	gypsum wall board
HP	high point
HVAC	heating, ventilation + air conditioning
ID	inside dimension
MAX	maximum
NIC	not in contract
NS	not to scale
OC	on center
OD	outside dimension
OFCl	owner furnished
	contractor installed
OFOf	owner furnished
	owner installed
RCP	reflected ceiling plan
REV	revision
RM	room
RO	rough opening
RM	similar
TBB	tile backer board
TBD	to be determined
TO	top of
TPD	typical
UC	under counter
UON	unless otherwise noted
VIF	verify in field
WP	waterproofing

	DOOR REFERENCE		DEMOLITION KEY
	WINDOW REFERENCE		LIGHTING KEY
	REVISION REFERENCE		ELECTRICAL KEY
	REVISION REFERENCE		HARDWARE KEY
	CURRENT REVISION CLOUD		PLUMBING KEY
	PREVIOUSLY ISSUED REV CLOUD		TOILET ACCESSORIES KEY
	SECTION REFERENCE		EQUIPMENT KEY
	SECTION REFERENCE		PAINT KEY
	DETAIL REFERENCE		TILE KEY
	ELEVATION REFERENCE		STONE KEY
	ELEVATION REFERENCE		WOOD KEY
	ELEVATION		GLAZING KEY
	PLAN NORTH		PLASTIC LAMINATE KEY
	PLAN NORTH		METAL KEY
	DIMENSION		TRIM KEY
	DIMENSION TO CENTERLINE		

SMOKE ALARM NOTE:
PER IRC 2015 R314:
R314.1.1 LISTINGS
SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL217 COMBINATION SMOKE
AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217
AND UL 2034.
R314.2 ALTERATIONS, REPAIRS AND ADDITIONS.
WHERE ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR
WHERE ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING
DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE
ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS.
R314.3 LOCATION
SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. IN EACH SLEEPING ROOM.
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF
THE BEDROOM.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND
HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE
ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT
AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM
INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER
LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW
THE UPPER LEVEL.
4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY
FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR
SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED
BY SECTION R314.3.
R314.5 COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED
TO BE USED IN LIEU OF SMOKE ALARMS.

WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT

CARBON MONOXIDE ALARM NOTE:
PER IRC R315:
R315.1.1 LISTINGS
CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL2034.
COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE LISTED IN
ACCORDANCE WITH UL 2034 AND UL217.
R315.2.2 ALTERATIONS, REPAIRS AND ADDITIONS.
WHERE ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR
WHERE ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING
DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH CARBON
MONOXIDE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS.
R315.3 LOCATION
CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED OUTSIDE OF
EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS
ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN
THE BEDROOM.

COMBUSTION AIR VENTILATION NOTE:
IF APPLICABLE, COMBUSTION AIR VENTILATION SHALL BE PROVIDED, PER IRC SECTION
G2407,

OWNERS: JULIE AND CHAD COSTELLO

ADDRESS: 1906 W 33RD STREET, AUSTIN, TEXAS 78703

LEGAL DESCRIPTION: LOT 5, BRYKERWOODS G, TRAVIS COUNTY

ZONING CLASSIFICATION: SF-3-NP

REGULATORY JURISDICTION:

APPLICABLE CODES: THIS PROJECT HAS BEEN DESIGNED UNDER THE INTERNATIONAL RESIDENTIAL CODE FOR ONE OR TWO FAMILY DWELLINGS, 2015 EDITION.

RESTRICTIVE COVENANTS: DEED RESTRICTIONS

MC MANSION ORDINANCE: APPLICABLE

HISTORIC PRESERVATION: APPLICABLE

The map displays a section of Austin, Texas, centered on the intersection of Mopac Expressway and Loop 1. A black dot marks the location at 1906 W 33rd St, Austin, TX 78703. Another label points to 2430 W 35th St, Austin, TX 78731. The map includes various landmarks such as the Texas Military Forces Museum, Austin State School, and Windsor Road. The Mopac Expressway and Loop 1 are clearly marked, running vertically through the center. The map also shows the intersection of Mopac Expressway and Loop 1, with a black dot indicating the location at 1906 W 33rd St, Austin, TX 78703. The map includes various landmarks such as the Texas Military Forces Museum, Austin State School, and Windsor Road. The Mopac Expressway and Loop 1 are clearly marked, running vertically through the center.

COSTELLO

PERMIT SET

06.23.2021

WHEN PRINTED AT 50% (11X17) ALL SCALES SHALL BE $\frac{1}{2}$ THE SIZE OF NOTED SCALES

COVER SHEET

SHEET NO.

A0.0



Area Description		Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.				
a) 1 st floor conditioned area		0.00	1,810.00	1,810.00
b) 2 nd floor conditioned area		0.00	1,073.00	1,073.00
c) 3 rd floor conditioned area		0.00	0.00	0.00
d) Basement		0.00	0.00	0.00
e) Attached Covered Parking (garage or carport)				0.00
f) Detached Covered Parking (garage or carport)			584.00	584.00
g) Covered Wood Decks (counted at 100%)				0.00
h) Covered Patio			0.00	0.00
i) Covered Porch			341.00	341.00
j) Balcony				0.00
k) Other – Specify:				0.00
Total Building Area (TBA)	(add: a through k)	0.00	3,808.00	3,808.00
Total Building Coverage (TBC)	(from TBA subtract, if applicable: b, c, d, and j)	(A) 0.00	2,735.00	(B) 2,735.00
l) Driveway			1,081.00	1,081.00
m) Sidewalks			81.00	81.00
n) Uncovered Patio			0.00	0.00
o) Uncovered Wood Decks (counted at 50%)		0.00	285.50	285.50
p) AC pads and other concrete flatwork			47.00	47.00
q) Other (Pool Coping, Retaining Walls)			86.00	86.00
Total Site Impervious Coverage	(add: TBC and l through q)	(C) 0.00	4,315.50	(D) 4,315.50
r) Pool		0.00	0.00	0.00
s) Spa		0.00	0.00	0.00

Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Lot Area (sq. ft.): 9,640.00

Existing Building Coverage (see above A, sq. ft.): 0.00
Existing Coverage % of lot ($A \div \text{Lot Area}$) x 100 : _____ %

Final Building Coverage (see above **B**, sq. ft.): 2,735.00
Final Coverage % of lot (**B** ÷ **Lot Area**) x 100 : 28.00 %

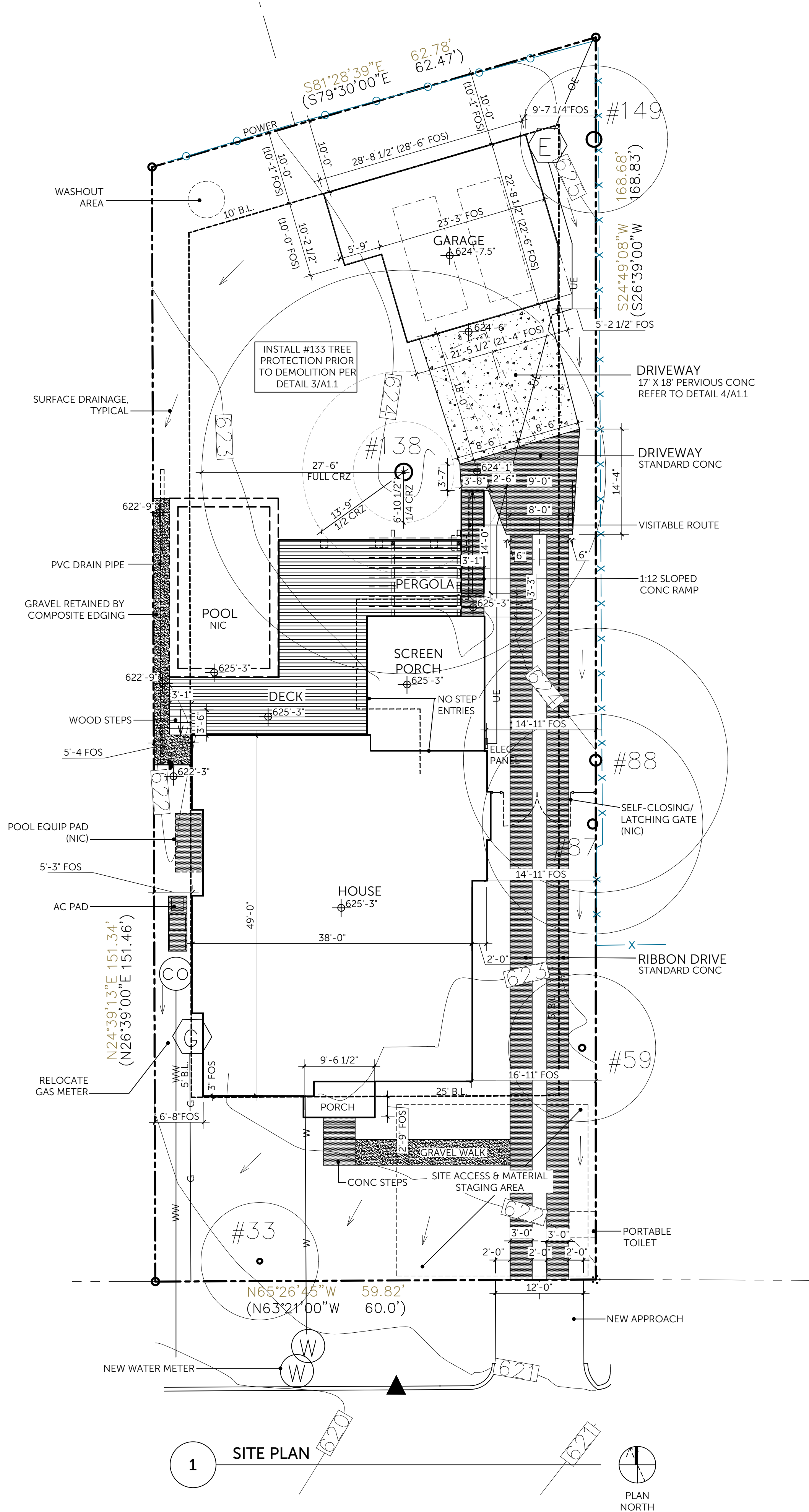
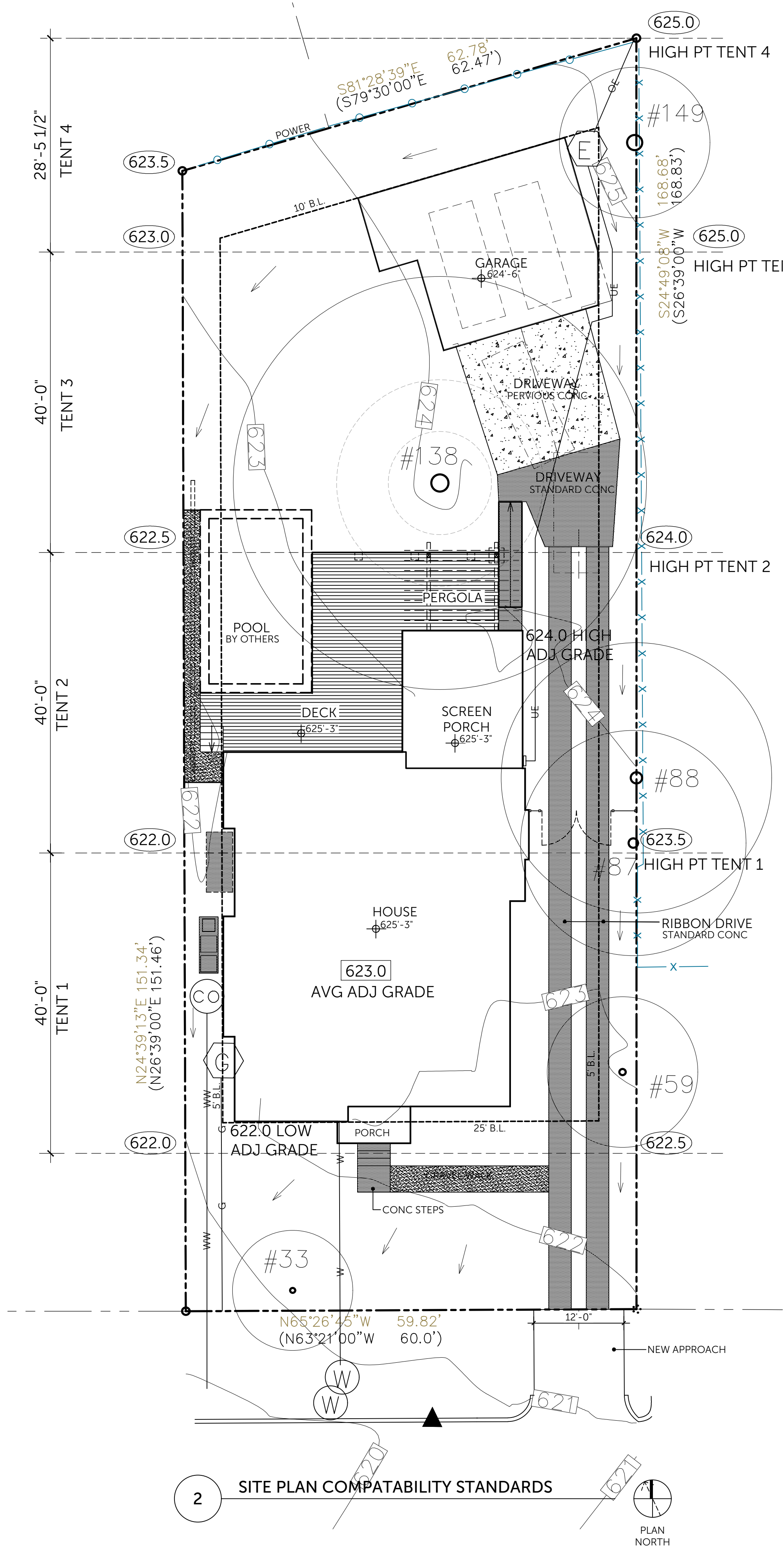
Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces including all building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

Existing Impervious Coverage (see above C): sq. ft.: 0.00

Existing coverage % of lot (C + Lot Area) x 100 : _____ %

Final coverage % of lot (**D** ÷ Lot Area) x 100 : 44.80 %



- LEGEND**
- BUILDING OUTLINE
 - CONTOUR LINE
 - SETBACK, BUILDING OR EASEMENT LINE
 - PROPERTY LINE
 - OE OVERHEAD ELECTRICAL
 - UE UNDERGROUND ELECTRICAL
 - WW WASTE WATER
 - W WATER, G GAS
 - DIRECTION OF SITE SURFACE DRAINAGE

- GENERAL NOTES**
- SITE INFO BASED ON PROPERTY SURVEY COMPLETED BY WATERLOO SURVEYORS INC. 512-481-9602 ON 01.22.2020.
 - NO MATERIAL STAGING, DUMPSTER, SPOILS, PORTABLE TOILET, CONCRETE WASHOUT OR PAINT WASHOUT TO BE LOCATED WITHIN CRZ OF PROTECTED TREES ON SITE.



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402 CORRAL LANE
AUSTIN, TEXAS 78745

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FAX: 512-444-1790

NEW CONSTRUCTION
OF THE

COSTELLO
RESIDENCE

1906 W 33RD ST
AUSTIN, TX 78703



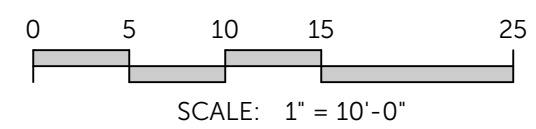
COSTELLO

PERMIT SET

06.23.2021

WHEN PRINTED AT SIZE (LAYOUT) ALL SCALES SHALL BE THE SIZE OF NOTED SCALES

SITE PLAN

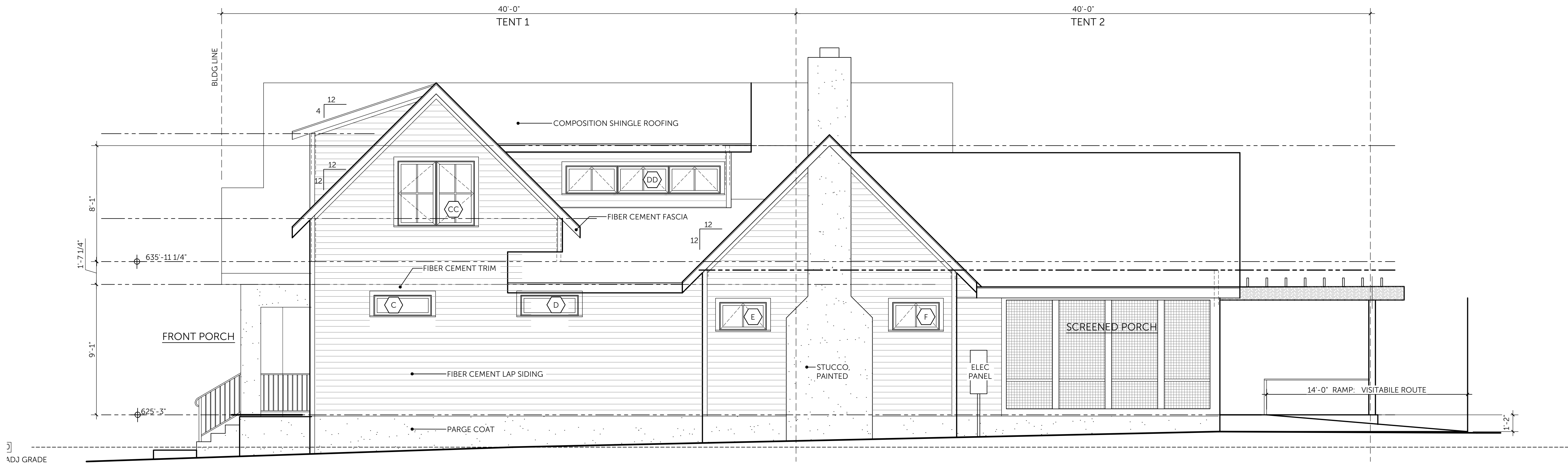


SHEET NO.

A1.0



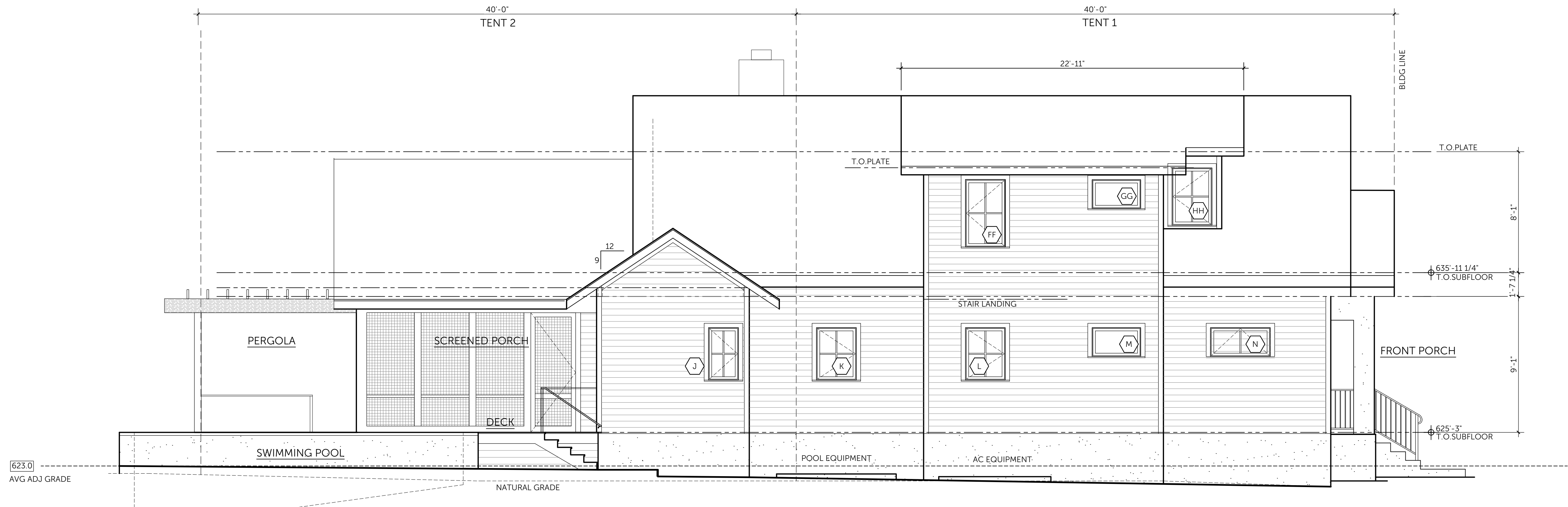
1 FRONT (SOUTH) EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



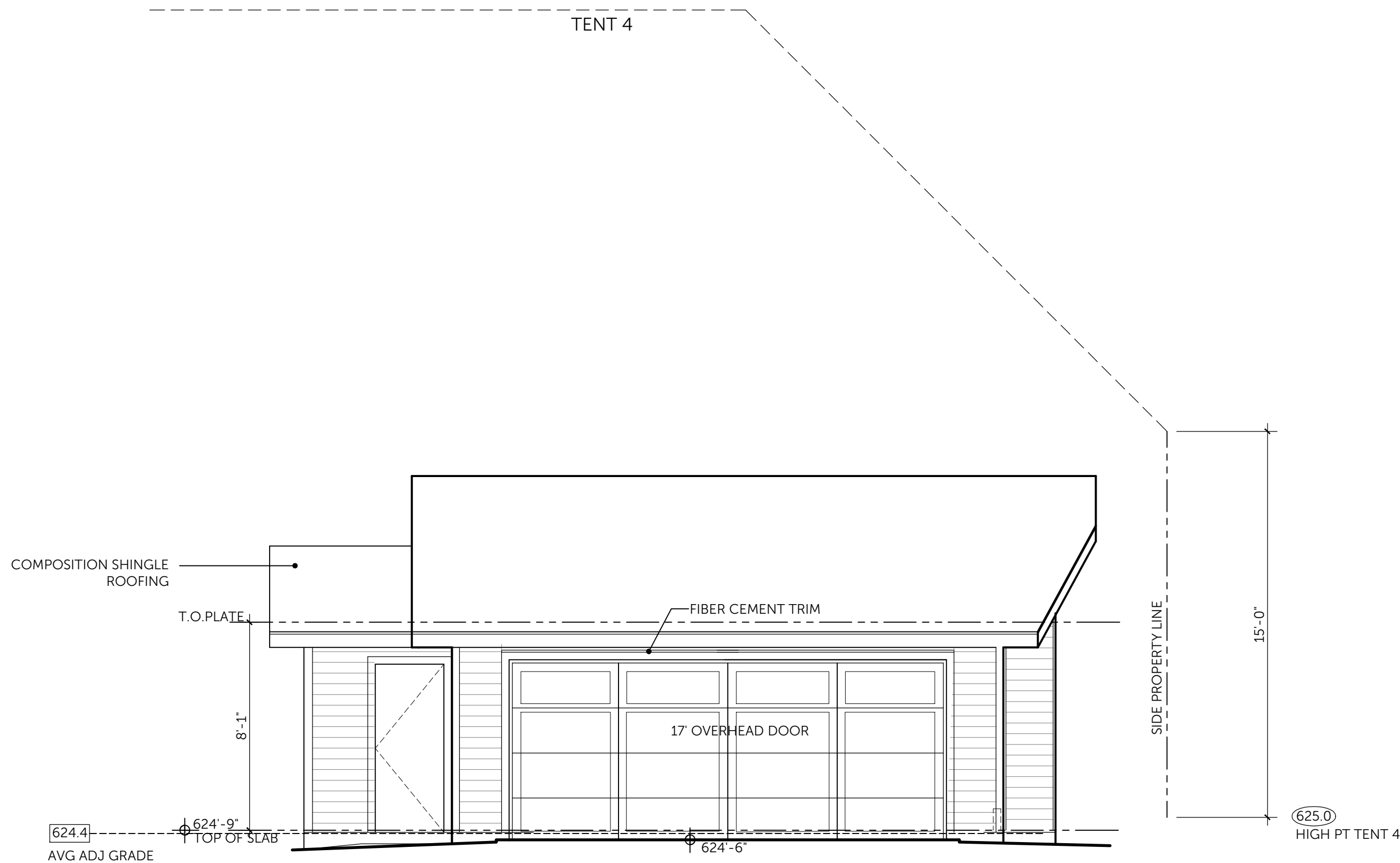
2 EAST SIDE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



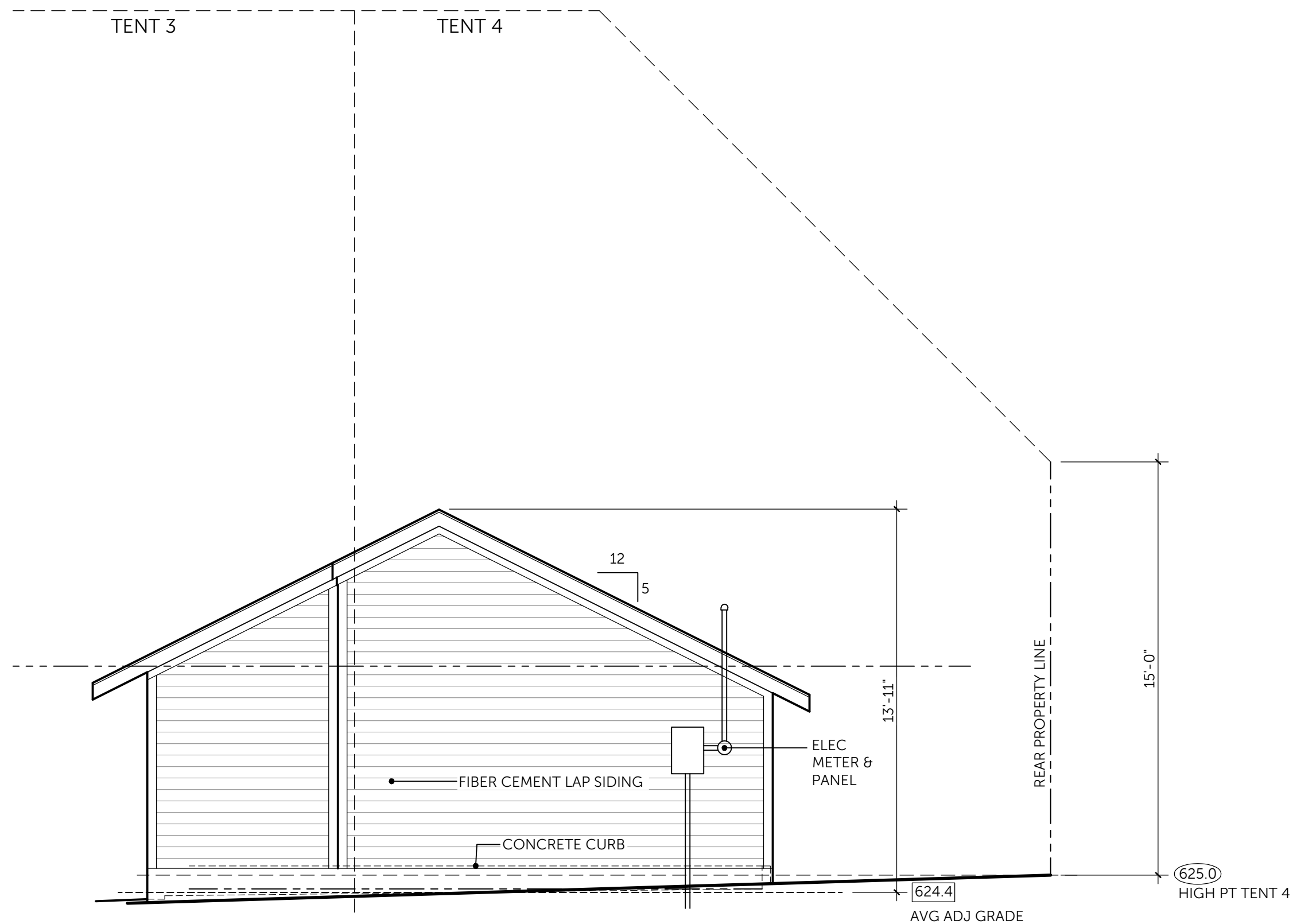
1 REAR (NORTH) EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



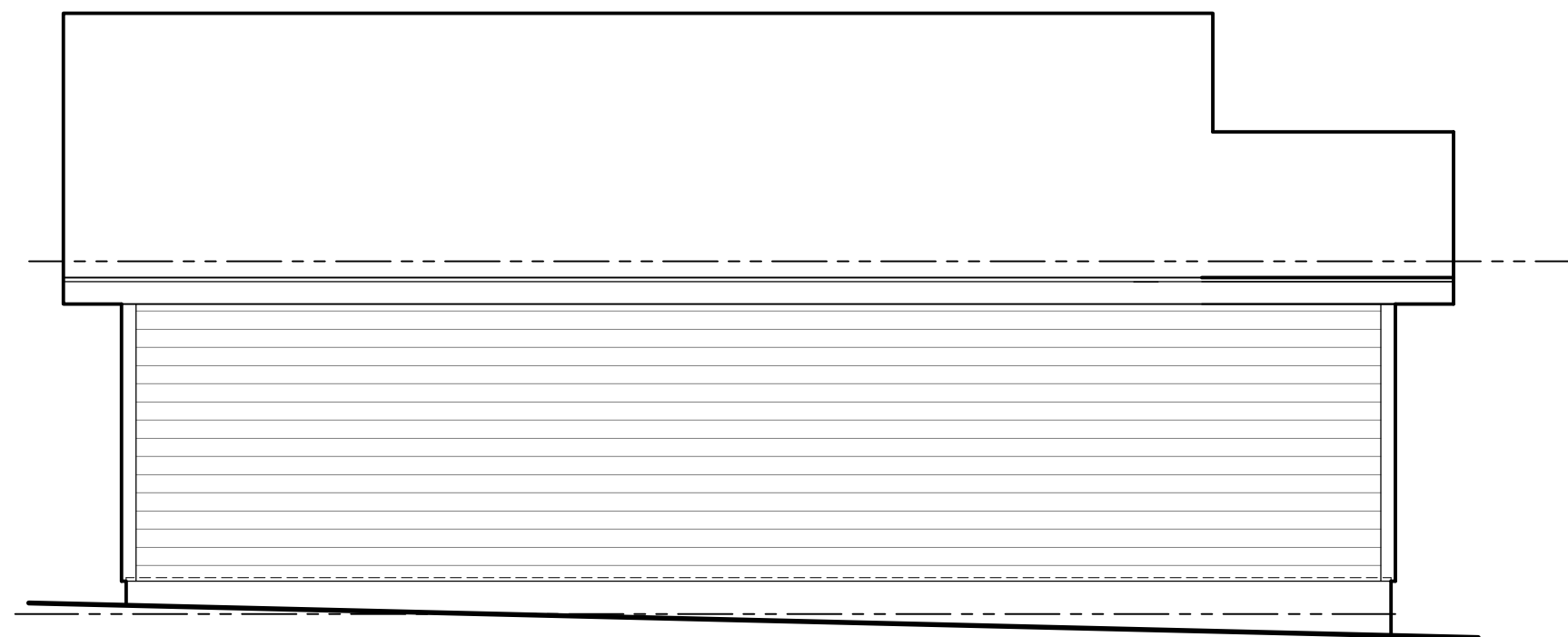
2 WEST SIDE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



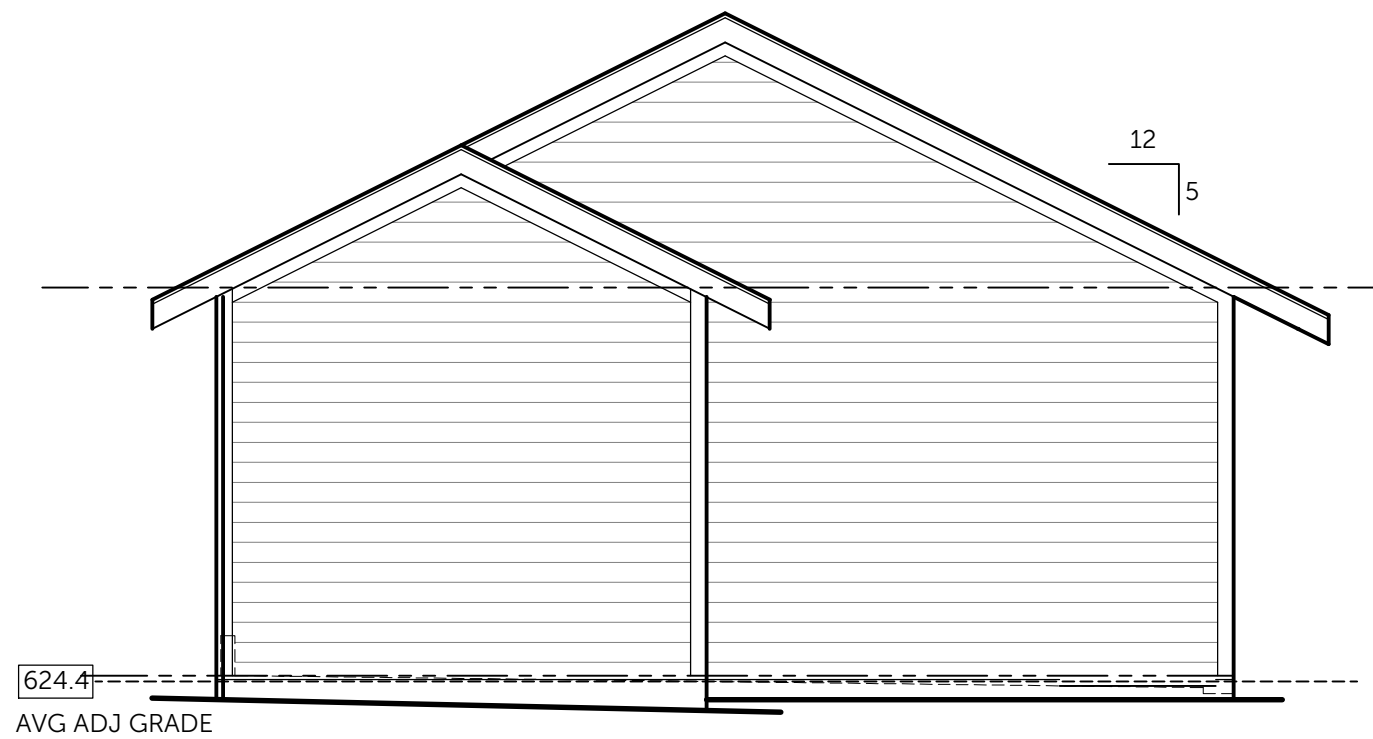
1 FRONT (NORTH) GARAGE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST SIDE GARAGE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR (SOUTH) GARAGE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST SIDE GARAGE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



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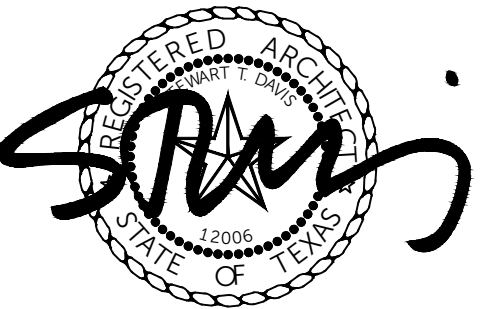
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NEW CONSTRUCTION
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COSTELLO

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06.23.2021

WHEN PRINTED AT 50% (DUO) ALL SCALES SHALL BE 1/2 THE SIZE OF NOTED SCALES

EXTERIOR
ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET NO.

A8.2