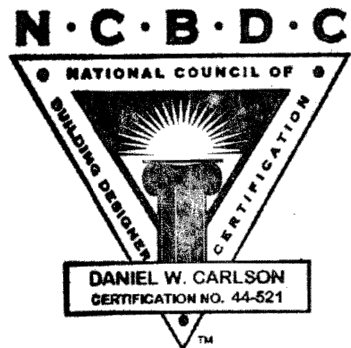




June 14, 2021

Daniel W. Carlson

AVERAGE GRADE CALCS. GARAGE	
*HIGH POINT GRADE	617.58
*LOW POINT GRADE	616.72
TOTAL	1234.30
AVERAGE GRADE	617.15

*SEE SITE PLAN FOR GRADE INFO.

LOT 1 & N13.5' LOT 2
(2010072851)

LOT 1

AVERAGE GRADE CALCS. HOUSE	
*HIGH POINT GRADE	615.70
*LOW POINT GRADE	614.03
TOTAL	1229.73
AVERAGE GRADE	614.87

*SEE SITE PLAN FOR GRADE INFO.

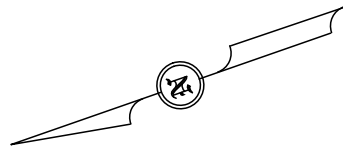
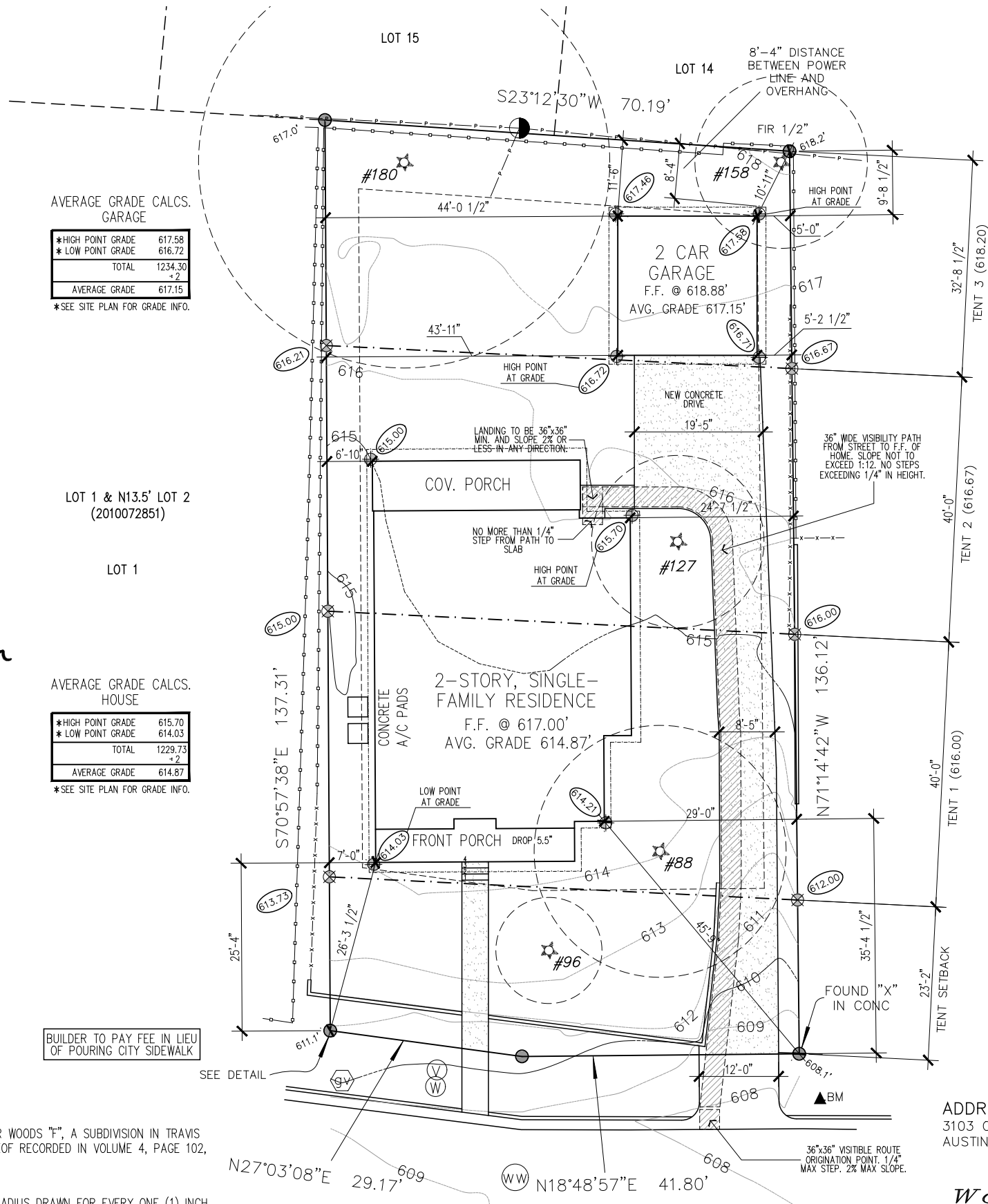
BUILDER TO PAY FEE IN LIEU
OF POURING CITY SIDEWALK

LEGAL DESCRIPTION:

S44.01 FT OF LOT 2 & N 27 FT OF LOT 3 BLK 4 BRYKER WOODS "F", A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 4, PAGE 102, PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

TREE NOTE:

THE TREE CIRCLES SHOWN HEREON HAVE ONE (1) FOOT RADIUS DRAWN FOR EVERY ONE (1) INCH OF MEASURED TRUNK DIAMETER. GENERALLY, TRUNK DIAMETER IS MEASURED AT A DISTANCE OF 4.5 FEET ABOVE GROUND LEVEL. MULTI-TRUNK TREES ARE DISPLAYED USING THE FOLLOWING FORMULA: SUM OF THE LARGEST TRUNK + 1/2 OF THE SUM OF SMALLER TRUNKS.



SCALE: 1"=20'

TREE LIST:

#.	TYPE.	SIZE
84,	Bur Oak	34 Legend
88,	Bur Oak	19
89,	Pecan	18 7
96,	Oak	8
126,	Pecan	16
127,	Pecan	13
158,	Ligustrum	8 5 4
180,	Bur Oak	31

ADDRESS:
3103 OAKMONT BOULEVARD
AUSTIN, TEXAS 78703

Waterloo Surveyors Inc.
SURVEY PLAT

State of Texas:
County of Travis:

The undersigned does hereby certify that this survey was this day made on the property legally described hereon and is correct, and this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1B 3 6 Conditions II Survey.

And I certify that the property shown hereon IS NOT within a special flood hazard area as identified by the Federal Insurance Adm. Department of HUD Flood hazard boundary map revised as per Map Number: 48453C0445K, Zone: X, Dated: 1/22/2020.

Dated this the 25th day of MARCH, 2021.

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David Weekley Homes

DWC

Scale: 1/8"=1'

Date: 5/19/21

Rev: 06/14/21

Proj. No.: 2045

Job No.: 0148

Lot: 2

Blk: 4

Sect:

WINDSOR ROAD
3103 OAKMONT BLVD
AUSTIN, TX 78703

NORTH

C284-A

PLT_PLN-1

CENTRAL LIVING

Bellevue-Ewing

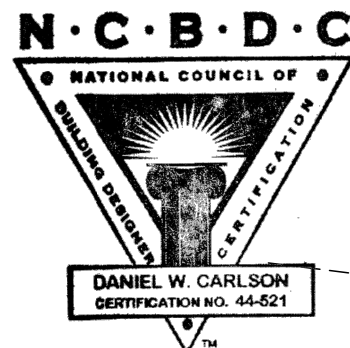
THE FOLLOWING APPLIES TO ALL TREES 19" AND LARGER ON THIS SITE:

- 1) A MINIMUM OF 50% OF THE CRZ MUST BE PRESERVED AT NATURAL GRADE, WITH NATURAL GROUND COVER.
- 2) NO CUT OR FILL GREATER THAN FOUR (4) INCHES WILL BE LOCATED WITHIN THE 1/2-CRZ.
- 3) NO CUT OR FILL IS PERMITTED WITHIN THE 1/4-CRZ
- 4) TRIMMING/PRUNING MORE THAN 25% OF THE CANOPY MUST BE APPROVED BY AN ARBORIST PRIOR TO PERFORMING THE TRIMMING. TAKE PHOTOS OF ANY TREES PRIOR TO TRIMMING/PRUNING.

NONE OF THE FOLLOWING WILL IMPACT ANY OF THE 1/2-CRZ OF ANY TREES ON THIS SITE: ACCESS ROUTE MATERIAL STAGING AREA, SPOILS, PORT-A-POTTY, OR CONCRETE WASHOUT AREA.

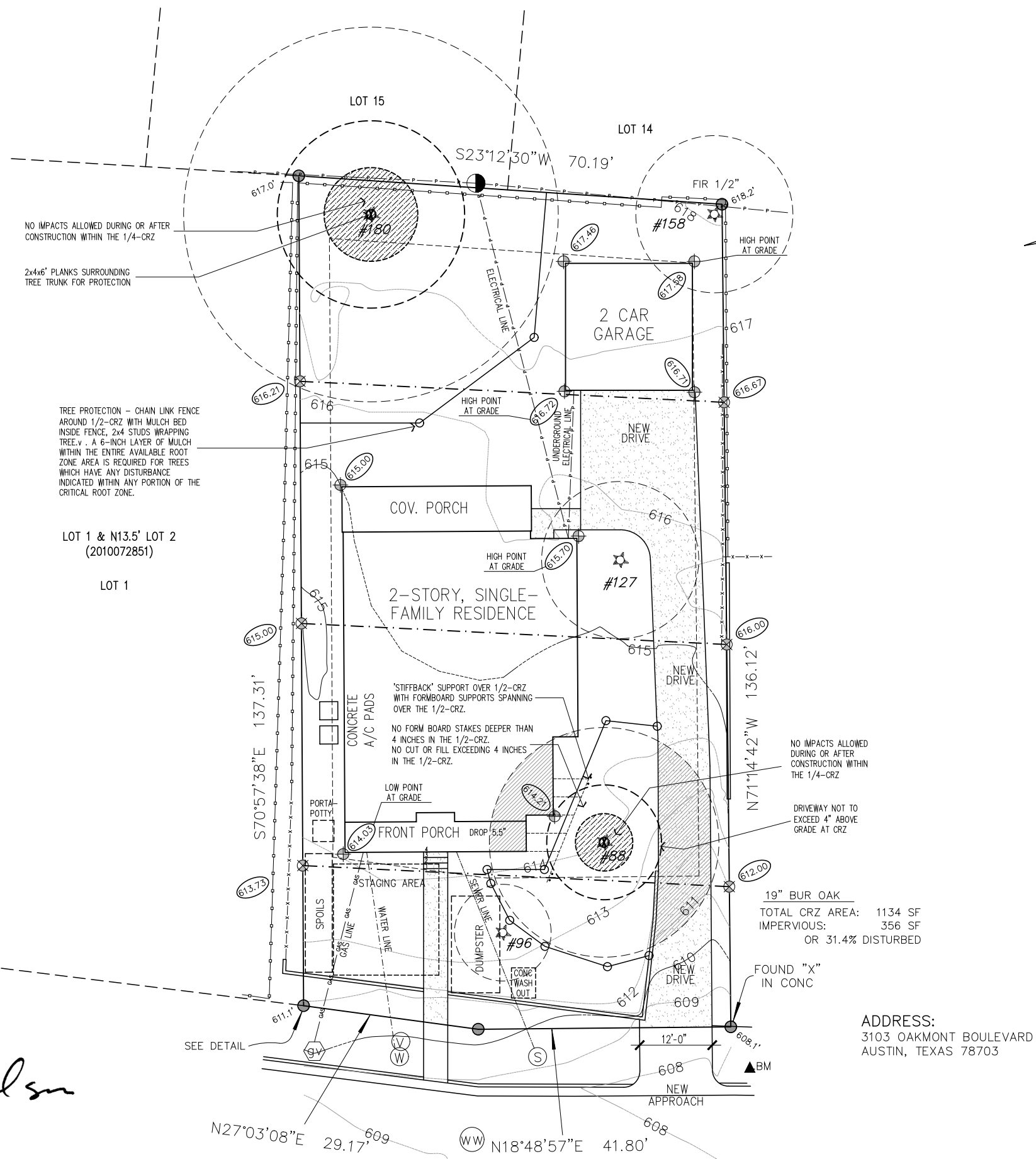
RECORD CALL ()
BUILDING SETBACK LINE B.L.
PUBLIC UTILITY EASEMENT P.U.E.
FOUND IRON ROD FIR
FOUND IRON ROD WITH CAP FIRC
FOUND IRON PIPE FIP
WATER VALVE (V)
WATER METER (W)
CLEANOUT (CO)
GAS VALVE (GV)
GAS METER (G)
ELECTRIC METER (E)
WASTE WATER MANHOLE (WW)
UTILITY POLE/GUY ANCHOR
UTILITY LINE
WOOD FENCE
WIRE FENCE
TREE, DRIPLINE & NUMBER

BENCHMARK:  BM
SET TRIANGLE ON CURB
NAVD88 ELEVATION: 607.77'



June 14, 2021

Dalw Glsn



SCALE: 1"=20'

#.	TYPE.	SIZE	
84,	Bur Oak	34	Legend
88,	Bur Oak	19	
89,	Pecan	18 7	
96,	Oak	8	
126,	Pecan	16	
127,	Pecan	13	
158,	Ligustrum	8 5 4	
180,	Bur Oak	31	

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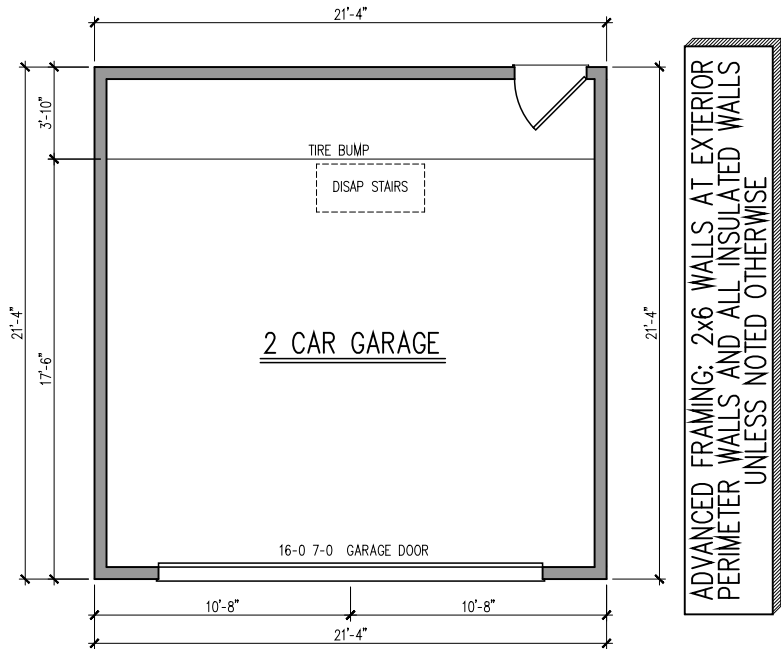
David Weekley Homes

DWC
 Date: 5/19/21
 Scale: 1/8"=1'
 Rev.: 06/14/

Proj. No.:	2045	Lot: 2
Job No.:		Blk: 4
	0148	Sect:

**WINDSOR ROAD
3103 OAKMONT BLVD
AUSTIN, TX 78703**

NORTH
C284-A
PLT_PLN-2
CENTRAL LIVING
Bellevue-Ewing



DETACHED GARAGE PLAN

NOTE: ALL 1ST FLR. CEILING HEIGHTS 9'-0" UNLESS NOTED OTHERWISE

FRAMING PLAN (TEXAS)

UNLESS OTHERWISE NOTED ALL MEMBERS TO BE: NO. 2 GRADE MATERIAL SPACED @ 24" O.C.

ALL JOIST AND BEAMS TO BE SOUTHERN YELLOW PINE MATERIAL.

ALL BEAMS USED FOR PURLIN SUPPORT ARE TO BE FLOATED WHEN POSSIBLE.

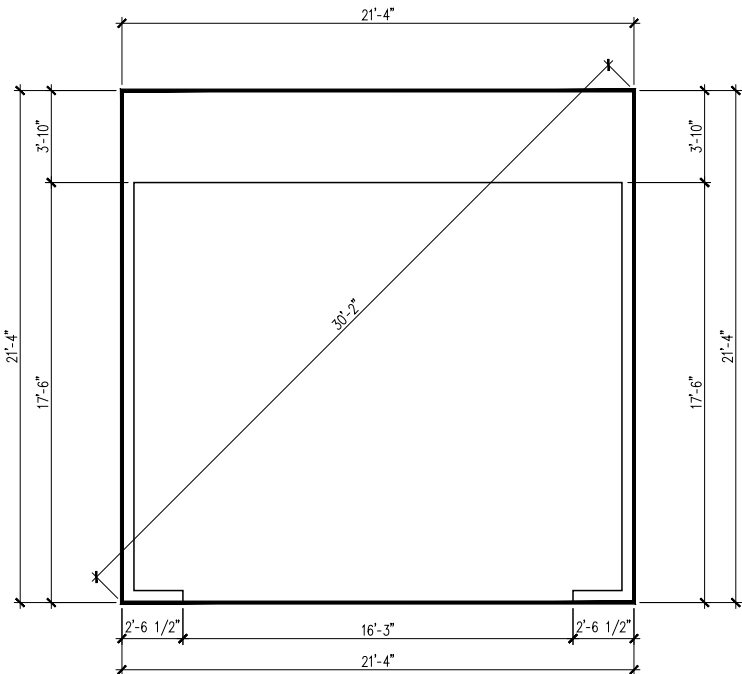
LVL OR EQUIVALENT AS NOTED (LSMOE 2800F+ 285F+ OR BETTER).

WATER HEATER, PROVIDE DRAIN AND PAN AS REQUIRED. WATER HEATER LOCATION MAY VARY PER ROOF CONDITION OR CITY REQUIREMENTS.

CEILING SHALL BE PROVIDED FOR DESIGNATED ATTIC STORAGE (PER COMMUNITY REQUIREMENTS).

REFER TO BEAM DETAIL FOR ALL RAFTERS AND JOISTS SHOWN AS A "DBL."

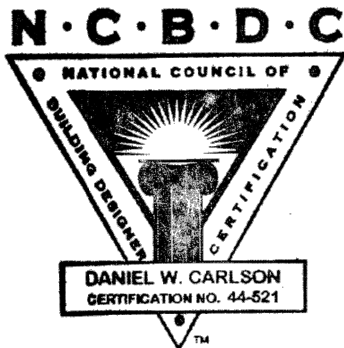
FB = FLUSH BEAM
LVL = LAMINATED VENEER LUMBER
DBL = DOUBLE MEMBER
DB = DROP BEAM
SFRB = BEAM FOR ROOF BRACING
UWA = UNDER WALL ABOVE



DETACHED GARAGE SLAB PLAN

CITY OF AUSTIN CALCULATIONS				
CITY OF AUSTIN MAX ALLOWED	F.A.R.	IMP. COVERAGE	BLDG COVER	TCAD
FLOOR 1 LIVING	1785	1785	1785	1785
FLOOR 2 LIVING	891			810
FLOOR 2 MECH	137			
TOTAL	2813			
F. PORCH		160	160	
R. PORCHES		230	230	
GARAGE	5*	455	455	
DRIVEWAY		1188		
PATH		147		
A/C PADS		16		
TOTAL AREA	2818	3981	2630	
LOT AREA	9703	9703	9703	
FINAL CALCULATION	.2904	41.03%	27.10%	

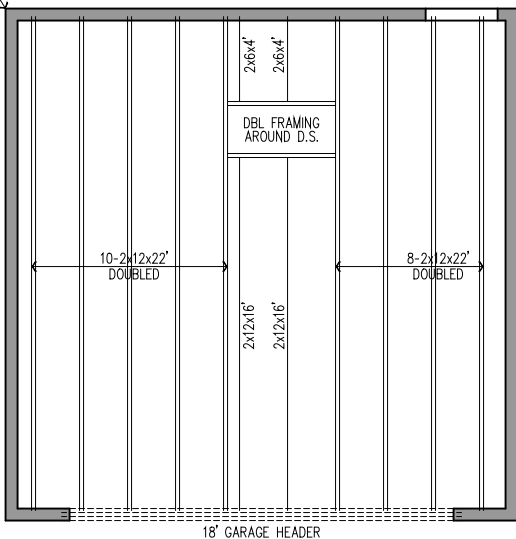
* GARAGE AREA IS REDUCED BY UP TO 450 SF PER SECTION 3.3.2. OF THE COMPATIBILITY STANDARDS.



June 14, 2021

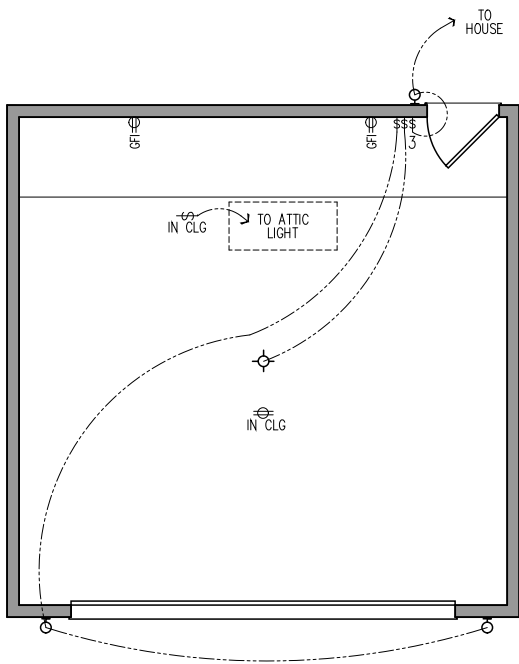
Daniel W. Carlson

JOIST/RAFTER PULL POINT



DETACHED GARAGE JOIST PLAN

NOTE: ALL 1ST FLR. CEILING HEIGHTS 9'-0" UNLESS NOTED OTHERWISE



DETACHED GARAGE ELECTRICAL PLAN

CENTRAL TEXAS General Notes

1. ATTIC ACCESS MINIMUM 22"x30" PER U.R.C.
2. 1 HOUR FIRE CODE COMMON WALL, GARAGE, AND CEILING.
3. ALL FRAMING MEMBERS TO COMPLY WITH U.R.C.
4. TO COMPLY WITH NATIONAL/CITY ELECTRICAL CODE.
5. FIREPLACE TO COMPLY WITH MANUFACTURER'S SPECIFICATIONS.
6. ALL TEMPERED GLASS ON SHOWERS AND GLASS WITHIN 24" OF EXTERIOR DOORS.
7. ALL PLUMBING TO COMPLY WITH U.R.C. / CITY PLUMBING CODE.
8. SMOKE DETECTORS IN ALL BEDROOMS AND ONE IN HALLWAY U.R.C. AND AMENDMENTS.
9. VENTS TO BE IN ALL LAUNDRY ROOMS & BATH ROOMS.
10. G.F.I. ON ALL BATHS & EXTERIOR PLUGS & ON PLUGS WITHIN 6' OF KITCHEN SINK.
11. VANITY LIGHTS TO BE 12" ABOVE MIRROR.
12. INSULATION R-15 WALLS & R-30 CEILING, U.R.C.
13. ANCHOR BOLTS PER U.R.C.
14. PROVIDE (1) 45"X45" GARAGE VENTS LOCATED 4" A.F.F. U.R.C.
15. ALL ELECTRICAL PLUGS TO BE 9" TO TOP FROM FLOOR IN ROOMS WITH WALL MOLDINGS.
16. LOCATE WATER HEATER IN ATTIC, PROVIDE DRAIN AND PAN AS REQUIRED, IF POSSIBLE.
17. SWITCH FOR ATTIC LIGHT TO BE LOCATED OUTSIDE OF ATTIC SPACE, 1'-0" FROM CEILING.
18. PROVIDE GAS AT APPLIANCES PER COMMUNITY REQUIREMENTS.

UTILITY LEGEND

- 110V OUTLET
- 12" A.F.F. (U.N.O.)
- GROUND FAULT INTERRUPTOR (WEATHER PROOF AS NOTED)
- 220V OUTLET (30" A.F.F. • UTILITY)
- PHONE LINE
- CABLE TELEVISION
- STANDARD SWITCH (3 OR 4 WAY AS NOTED)
- SURFACE MOUNTED LIGHT
- WALL MOUNTED LIGHT
- LED FLUSH MOUNT LIGHT
- TRAVERSE LED
- EXHAUST VENT
- SMOKE DETECTOR (CARBON MONOXIDE AS NOTED)
- DOOR BELL
- DOOR BELL CHIMES
- PANELBOARD W/ CIRCUIT BREAKERS
- HOSE BIB
- GAS TAP
- COLD/HOT WATER SUPPLY

NOT ORIGINAL DWH PLAN
THIS PLAN HAS BEEN
REVISED BY 3RD PARTY

CENTRAL TEXAS ROOF PLAN

UNLESS OTHERWISE NOTED: ALL MEMBERS TO BE NO.2 GRADE 2x6 S.Y.P. @ 24" O.C.

PURLINS TO BE SUPPORTED BY STRUTS (no smaller than 2x4). STRUTS INSTALLED TO BEARING WALLS OR BEAM AT A SLOPE NOT LESS THAN 45°. STRUTS SHALL BE SPACED NOT MORE THAN 4'-0" O.C. AND THE UNBRACED LENGTH SHALL NOT EXCEED 8'-0".

PURLIN SHALL NEVER BE SMALLER THAN SUPPORTED RAFTER.

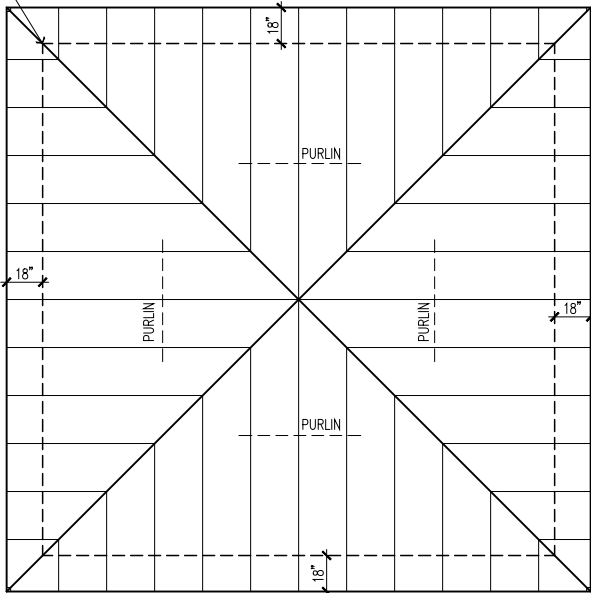
OVERHANDS @ 6/12 PITCH TO BE 21" FROM OUTSIDE FACE OF FRAME, OTHERS TO MATCH.

OVERHANDS @ GABLE ENDS TO BE 12" FROM OUTSIDE FACE OF FRAME.

NOTE: REFER TO SLOPE CEILING SECTION ON TYPICAL DETAIL SHEET.

CRIPPLES ARE TO BE PROVIDED FOR ALL JOISTS FASTENED TO RAFTERS.

JOIST/RAFTER PULL POINT



DETACHED GARAGE ROOF PLAN

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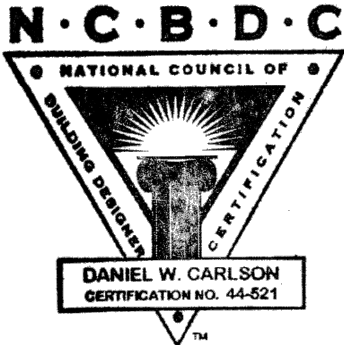
David Weekley Homes
DWC
Scale: 1/8"=1'
Date: 5/19/21
Rev: 06/14/21

Proj. No.: 2045
Job No.: 0148
Lot: 2
Blk: 4
Sect:

WINDSOR ROAD
3103 OAKMONT BLVD
AUSTIN, TX 78703

NORTH
C284-A
PLN-2
CENTRAL LIVING
Bellevue-Ewing

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June 14, 2021

Daniel W. Carlson

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David Weekley Homes

DWC	Scale: $1/8''=1'$
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Date: 5/19/21 Rev.: 06/14/21

Lot: 2

31k: 4

Subject:

Proj. No.: 0042

Job No.:

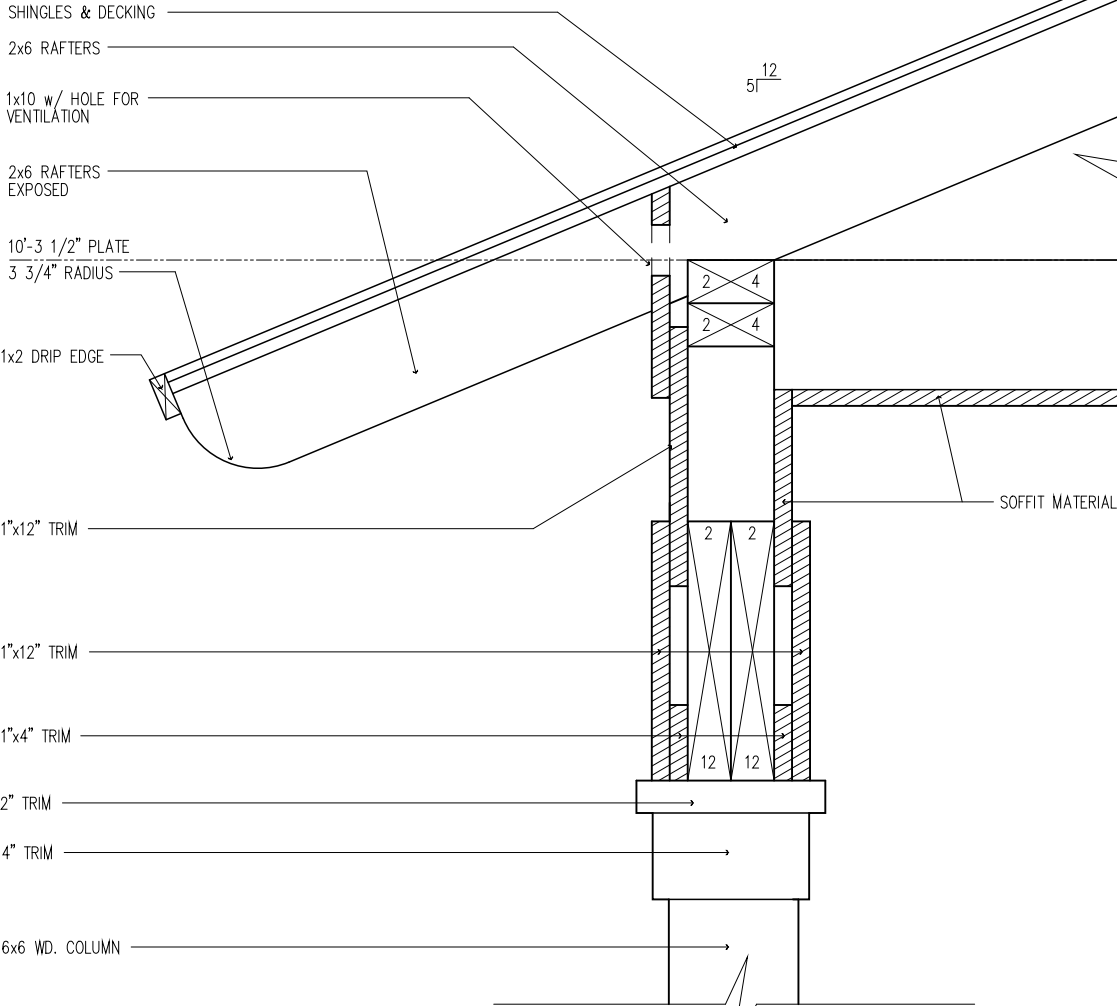
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**WINDSOR ROAD
3103 OAKMONT BLVD
AUSTIN, TX 78703**

NORTH
C284-A
ELV-1

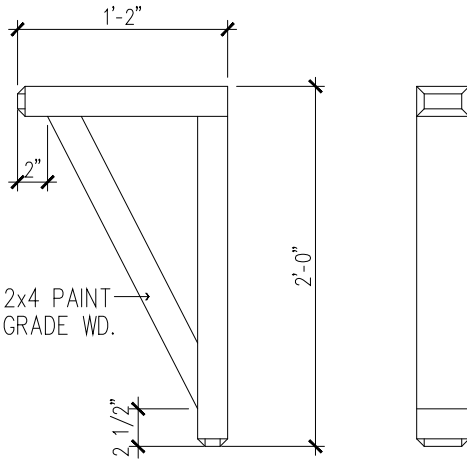
CENTRAL LIVING

Bellevue-Ewing



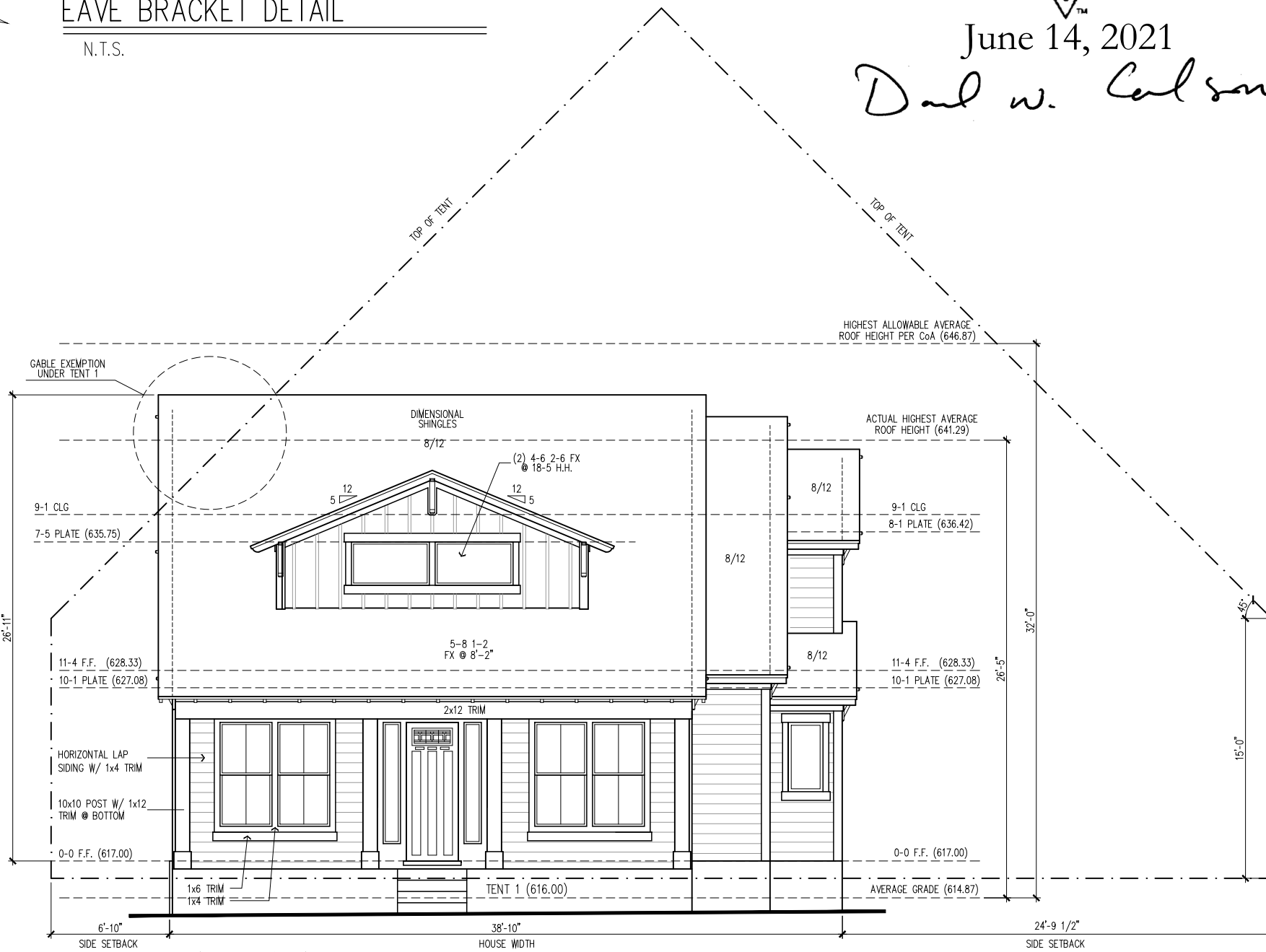
PORCH DETAIL

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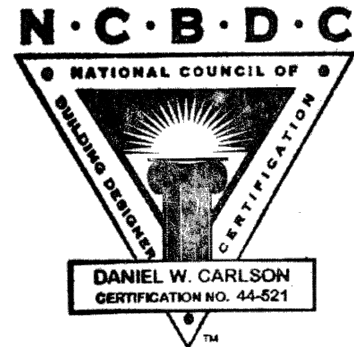


EAVE BRACKET DETAIL

N.T.S.

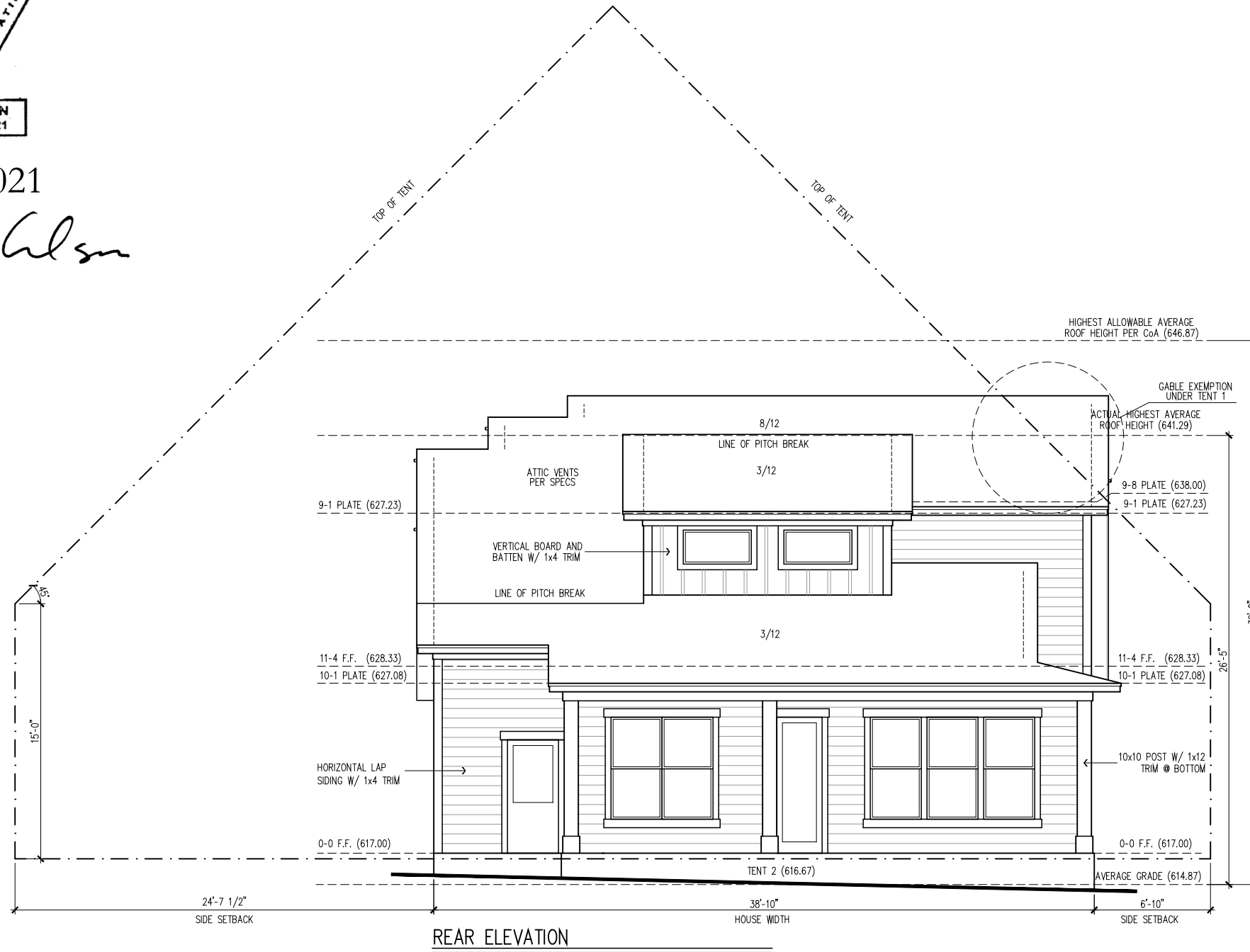


FRONT ELEVATION



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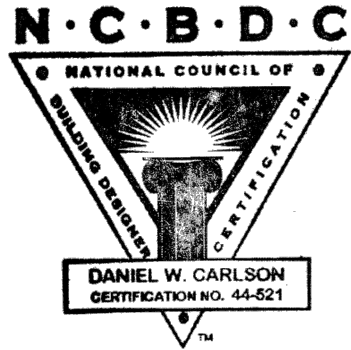
David Weekley Homes

DWC
Date: 5/19/21
Scale: 1/8"=1'
Rev.: 06/14/21

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Job No.: 0148
Lot: 2
Blk: 4
Sect:

WINDSOR ROAD
3103 OAKMONT BLVD
AUSTIN, TX 78703

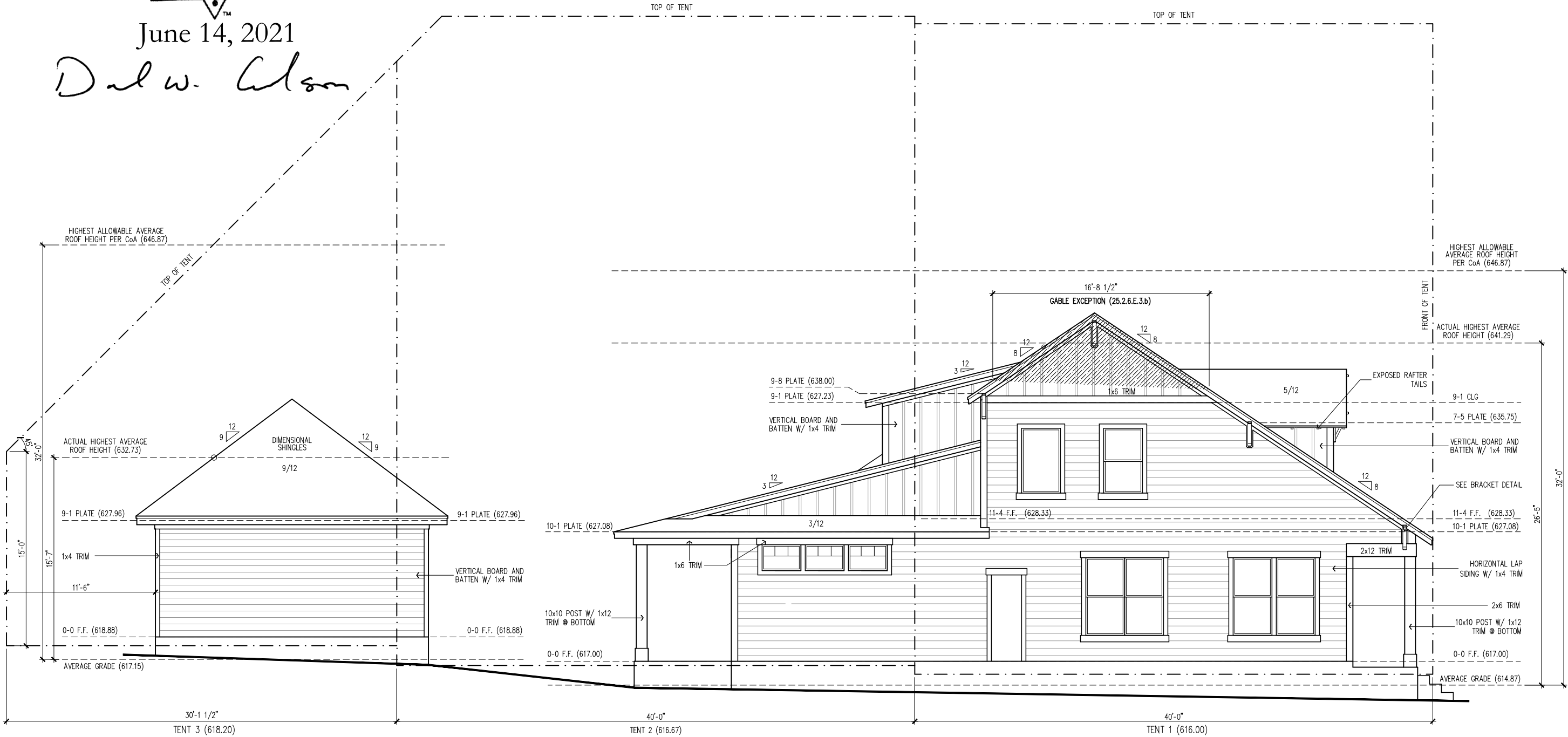
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GARAGE LEFT ELEVATION

LEFT ELEVATION

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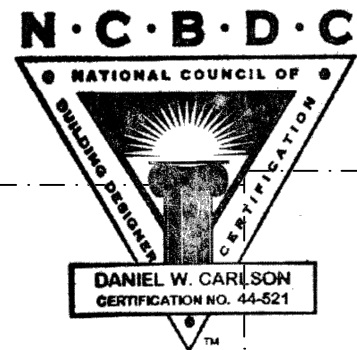
David Weekley Homes	Scale: 1/8"=1'	
	DWC	Date: 5/19/21
	Rev.: 06/14/21	

Proj. No.: 2045	Lot: 2	Sect:
	Blk: 4	
	Job No.: 0148	

WINDSOR ROAD
3103 OAKMONT BLVD
AUSTIN, TX 78703

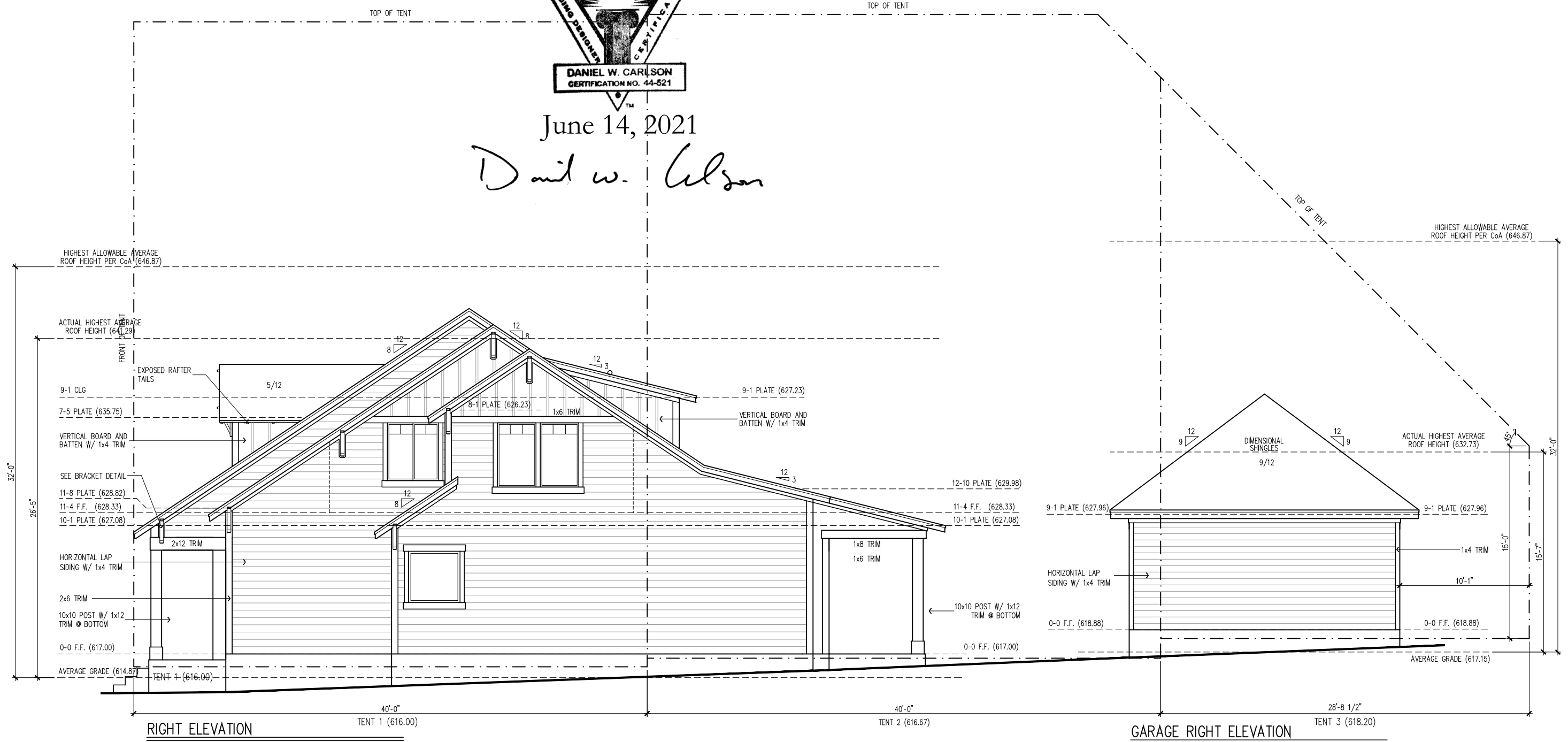
NORTH
C284-A
ELV-3
CENTRAL LIVING
Bellevue-Ewing

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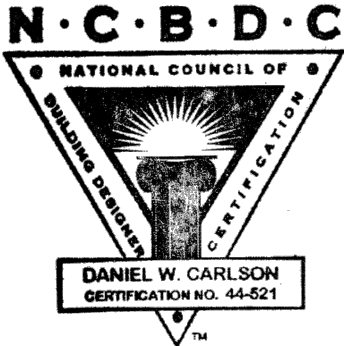
Proj. No.: 2045
Job No.: 0148

WINDSOR ROAD
3103 OAKMONT BLVD
AUSTIN, TX 78703

NORTH
C284-A
ELV-4

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Job No.: 0148

Lot: 2

Blk: 4

Sect:

WINDSOR ROAD
3103 OAKMONT BLVD
AUSTIN, TX 78703

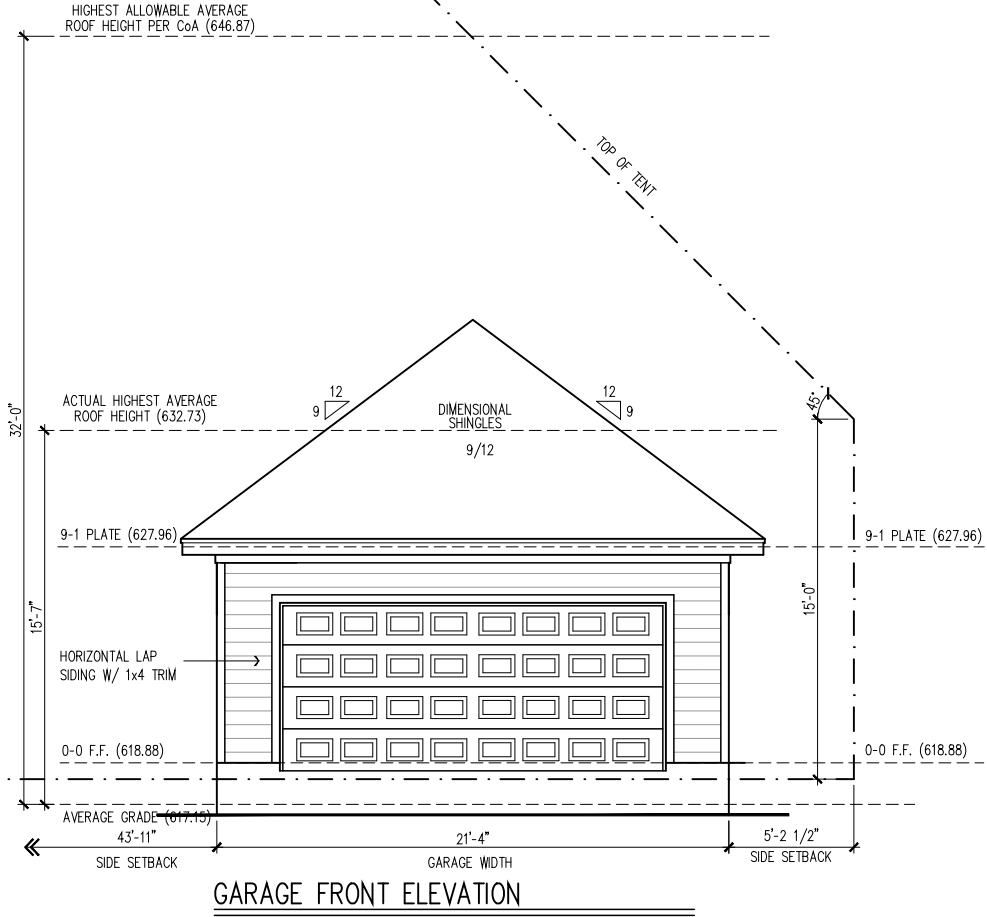
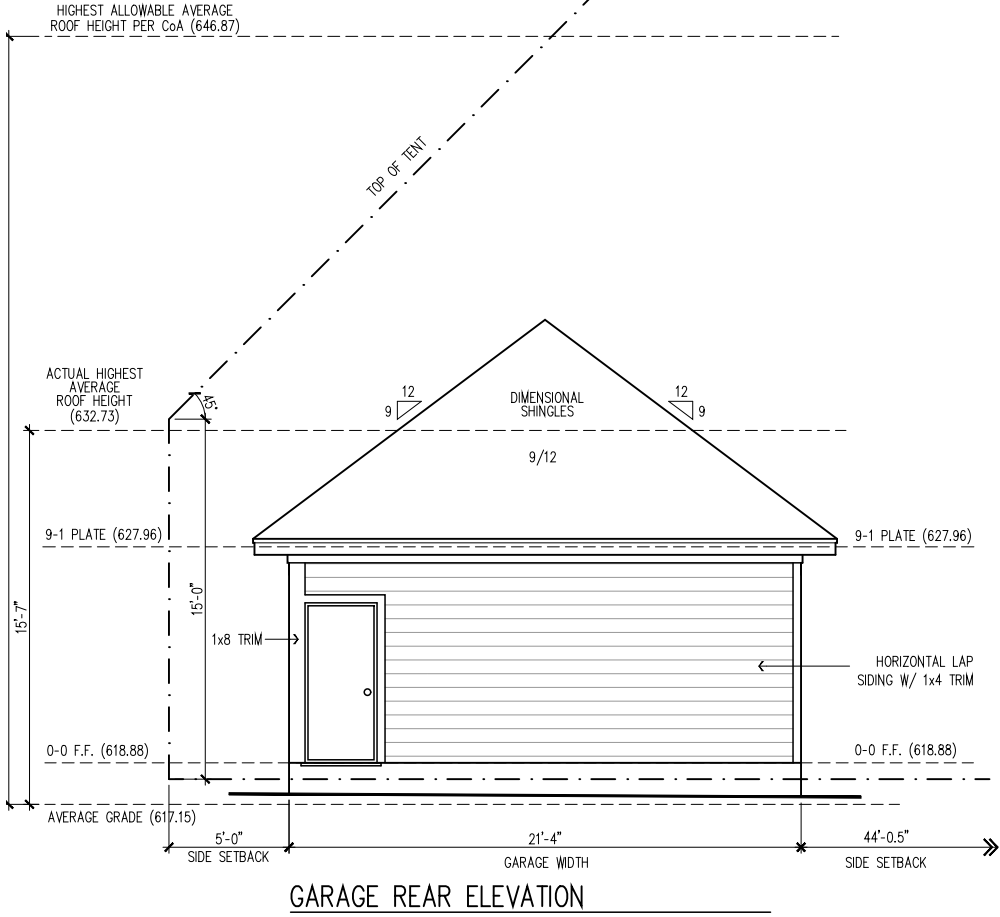
NORTH

C284-A

ELV-5

CENTRAL LIVING

Bellevue-Ewing



CENTRAL TEXAS ROOF PLAN

UNLESS OTHERWISE NOTED: ALL MEMBERS TO BE NO.2 GRADE 2x6's S.Y.P. @ 24" O.C.
UNBRACED SPAN FOR NO. 2 2x6 RAFTERS NOT TO EXCEED 10'-7" FOR 24" SPACING,
12'-11" FOR 16" SPACING, AND 14'-9" FOR 12" SPACING.

PURLINS TO BE SUPPORTED BY STRUTS (no smaller than 2x4). STRUTS INSTALLED TO
BEARING WALLS OR BEAM AT A SLOPE NOT LESS THAN 45°. STRUTS SHALL BE SPACED
NOT MORE THAN 4'-0" O.C. AND THE UNBRACED LENGTH SHALL NOT EXCEED 8'-0".

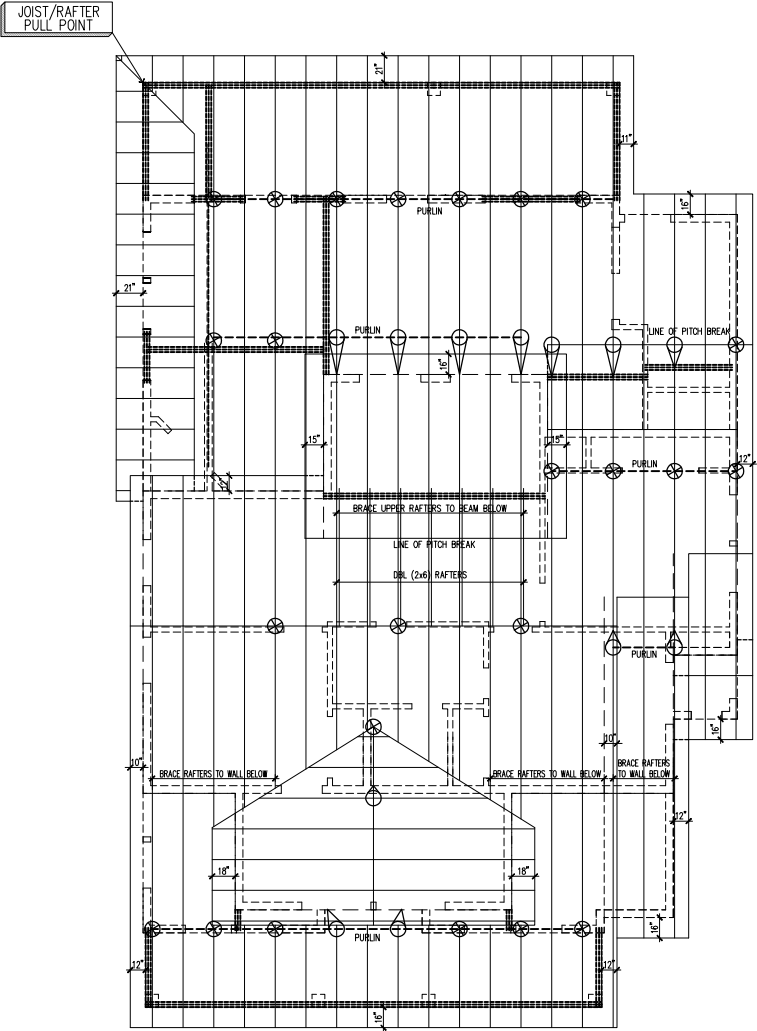
PURLIN SHALL NEVER BE SMALLER THAN SUPPORTED RAFTER.

OVERHANGS @ 6/12 PITCH TO BE 21" FROM OUTSIDE FACE OF FRAME, OTHERS TO
MATCH.

OVERHANGS @ GABLE ENDS TO BE 12" FROM OUTSIDE FACE OF FRAME.

NOTE: REFER TO SLOPE CEILING SECTION ON TYPICAL DETAIL SHEET.

CRIPPLES ARE TO BE PROVIDED FOR ALL JOISTS FASTENED TO RAFTERS.



ROOF PLAN

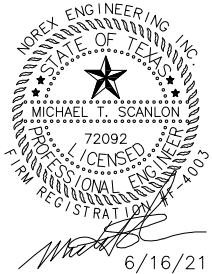
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David Weekley Homes
DWC
Scale: 1/8" = 1'-0"
Date: 5/19/21 Rev: 06/04/21

WINDSOR ROAD
3103 OAKMONT BLVD
AUSTIN, TX 78703
Proj. No.: 2045
Job No.: 0148
Lot: 2
Blk: 4
Sect:

NORTH
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Norex Engineering
TEL: (281) 474-2640 FAX: (281) 474-2748
1220 E. MAIN ST. LEAGUE CITY, TX 77573