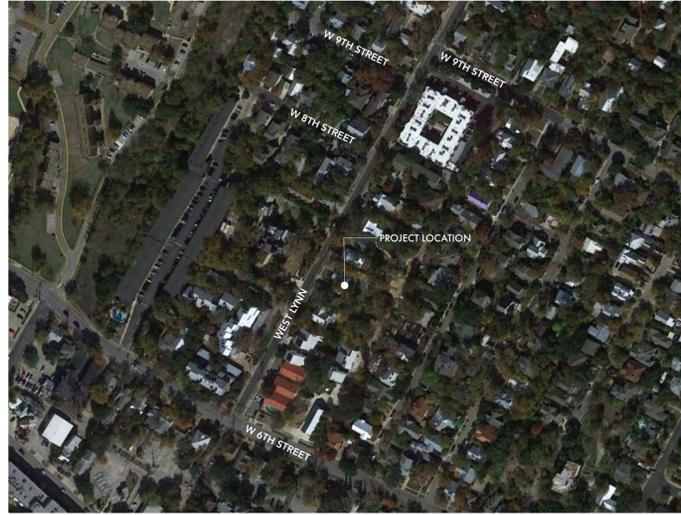


PROJECT LOCATION | PROXIMITY MAP



GENERAL NOTES

- THE CONTRACTOR SHALL THOROUGHLY REVIEW ALL CONSTRUCTION DOCUMENTS INCLUDING, BUT NOT LIMITED TO, DRAWINGS, NOTES, DIMENSIONS AND SCHEDULES. THE CONTRACTOR SHALL MAKE A DETAILED SITE VISIT, AND SHALL IMMEDIATELY BRING ANY INCONSISTENCY, SITE LAYOUT PROBLEM, OR ANY OTHER REQUEST FOR CLARIFICATION TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID OR INITIATION OF WORK. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS.
- THESE DRAWINGS ARE, IN GENERAL, DIAGNOSTIC. EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR FROM FIELD MEASUREMENTS TAKEN BY CONTRACTOR'S PERSONNEL. ACTUAL ARRANGEMENT OF THE WORK SHALL FOLLOW LOCATIONS SHOWN ON THE DRAWINGS WITHIN THE CONSTRAINTS OF EXISTING EQUIPMENT AND CONSTRUCTION. DRAWING AND NOTES TO DRAWINGS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THERE BE DISCREPANCIES IN THEMSELVES OR BETWEEN THEM, CONTRACTOR SHALL BASE BID PRICING ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND/OR QUANTITY OF THE WORK INDICATED. IN THE EVENT OF DISCREPANCIES, OBTAIN CLARIFICATION FROM ARCHITECT BEFORE CONTINUING WORK.
- DO NOT SCALE THESE DRAWINGS. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR ANY OTHER REQUEST FOR CLARIFICATION.
- VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIAL AND PROCEEDING WITH THE WORK.
- MINIMUM CLEARANCE DIMENSIONS INDICATED SHALL BE MAINTAINED PARTICULARLY AT STAIRS, CORRIDORS AND RESTROOMS.
- CONTRACTOR TO ACQUIRE ALL NECESSARY PERMITS PRIOR TO WORK.
- CONTRACTOR IS RESPONSIBLE FOR THE SAFETY, ACTIONS AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTORS' EMPLOYEES WHILE IN THE PROJECT AREA, ADJACENT AREAS AND IN THE BUILDING AND ITS VICINITY. UPON COMPLETION OF WORK, CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE.
- CONTRACTOR SHALL SUBMIT REPRODUCIBLE SHOP DRAWINGS TO ARCHITECT FOR OWNER'S, ARCHITECT'S, AND ENGINEER'S APPROVAL.
- ALL MATERIALS, FINISHES, MANUFACTURED ITEMS, AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MORE STRINGENT. NOTIFY THE ARCHITECT OF ANY VARIATION REQUIRED IN THE DIMENSION NOTED FOR VERIFICATION FOR INSTALLATION OF EQUIPMENT BEFORE CONTINUING THE WORK.
- EVERY EFFORT HAS BEEN MADE ON THE PART OF THE ARCHITECT TO ENSURE LOCAL CODE COMPLIANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE WORK CONFORMS WITH ALL APPLICABLE CODES, AND IF DISCREPANCIES ARE NOTED, TO NOTIFY THE ARCHITECT PRIOR TO WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.
- PROVIDE BLOCKING AS REQUIRED FOR PROPER SUPPORT OF WALL AND CEILING MOUNTED EQUIPMENT.
- INSTALL PEX PIPE SYSTEM PLUMBING; INSULATE AS REQUIRED.
- FOR ALL "MATCH EXISTING" NOTES, ARCHITECT'S INTENT IS FOR CONTRACTOR TO MATCH EXISTING PROFILE AND FINISH AS CLOSE AS POSSIBLE USING AVAILABLE STOCK MATERIALS. IF UNABLE TO MATCH EXISTING, PROVIDE SAMPLES FOR ALTERNATE MATERIALS OR METHODS FOR ARCHITECT'S APPROVAL.
- DISSIMILAR METALS TO REMAIN SEPARATED TO AVOID GALVANIC CORROSION.
- ALL EXTERIOR WALLS AND ROOFS TO HAVE CLOSED CELL SPRAY FOAM INSULATION.
- ALL EXTERIOR WALLS TO BE STUD GRADE 2 X 6 NO. 2 SYP WITH STUDS AT 24" OC UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALLS TO BE STUD GRADE 2 X 4 OR NO. 2 SYP WITH STUDS AT 16" OC WITH 1/2" GYPSUM BOARD SHEATHING ON BOTH SIDES UNLESS OTHERWISE NOTED. ALL CAVITIES IN WALL ASSEMBLY TO BE FILLED WITH R-11 SOUND BATT INSULATION.
- ALL CEILINGS TO BE SHEATHED WITH 5/8" GYPSUM BOARD UNLESS OTHERWISE NOTED.
- ALL INTERIOR PAINTS, STAINS AND SEALANTS TO BE NON-TOXIC.
- FIRE SUPPRESSION SYSTEM MUST BE INSTALLED BY A CONTRACTOR LICENSED PER STATE FIRE MARSHAL'S REQUIREMENTS. SHOP DRAWINGS OF SYSTEM MUST BE SUBMITTED TO FIRE MARSHAL FOR REVIEW AND APPROVAL.
- ALL WORK MUST BE IN COMPLIANCE WITH THE APPLICABLE NFPA STANDARDS AND THE INTERNATIONAL FIRE CODE AS AMENDED BY THE CITY OF AUSTIN.
- MINIMUM OF 15 DAYS MUST BE ALLOWED FOR NEW SYSTEM PLAN REVIEWS

613 West Lynn Spec

613 West Lynn
Austin, TX 78703

PROJECT DESCRIPTION

REMODEL OF EXISTING HOME WITH AN ADDITION OF AN ADU.

PROJECT TEAM

CLIENT

CONTACT: MICHAEL LAHR
10808 PELICAN POINT,
AUSTIN, TX 78778730
e: LAHRHOME91@GMAIL.COM

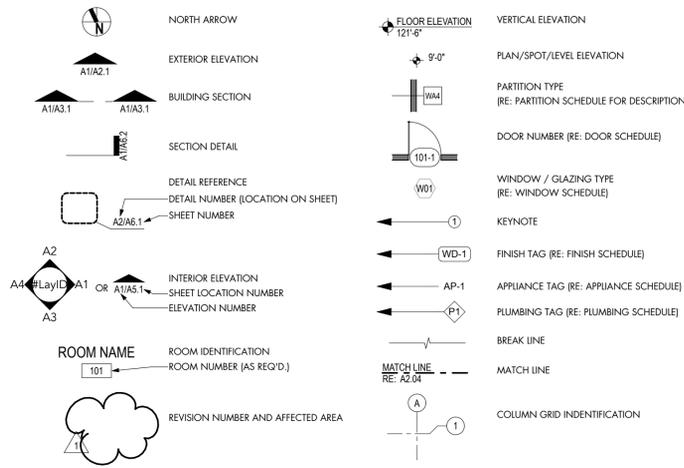
ARCHITECT

DESIGNTRAIT ARCHITECTS
CONTACT: BECKY JEANES
2525 SOUTH LAMAR #6
AUSTIN, TX 78704
PH: 512-542-0073
EMAIL: BECKY@DESIGNTRAIT.COM

PROJECT CODE ANALYSIS

ZONING:	MF-4 NP
PARCEL ID:	106602
CONSTRUCTION TYPE:	V-B
LOT SIZE:	10,130 SQFT (.233 ACRES)
FLOOR AREA RATIO:	PROVIDED: 39% (3,934 SQFT) ALLOWED: MAX 40% (4,052 SQFT)
IMPERVIOUS COVERAGE:	PROVIDED: 44% (4473.5) ALLOWED: 45% (4558.5)
AIR CONDITIONED AREA:	4,854 SQFT
MAIN HOUSE	
BASEMENT FLOOR:	1,187 SQFT
LEVEL 01:	1,868 SQFT
LEVEL 02:	701 SQFT
TOTAL:	3,756 SQFT
ADU	
LEVEL 01:	549 SQFT
LEVEL 02:	549 SQFT
TOTAL:	1,098 SQFT
CARPOR:	267 SQFT
GARAGE:	445 SQFT

ARCHITECTURAL SYMBOLS



SHEET INDEX

ARCHITECTURAL	
A0.0	COVER SHEET
A0.1	SURVEY
A0.2	SITE PLAN
A0.3	BUILDING TENT EXHIBIT
A0.4	BASEMENT EXEMPTION EXHIBIT
D1.1	DEMO PLAN
A1.1	MAIN HOUSE - FLOOR PLAN BASEMENT LEVEL
A1.2	MAIN HOUSE - FLOOR PLAN LEVEL 1
A1.3	MAIN HOUSE - FLOOR PLAN LEVEL 2
A1.4	MAIN HOUSE - ROOF PLAN
A1.5	ADU - FLOOR PLANS LEVEL 1 & 2
A2.1	BUILDING ELEVATIONS
A2.2	BUILDING ELEVATIONS
A2.3	BUILDING ELEVATIONS
A2.4	BUILDING ELEVATIONS
A3.1	BUILDING SECTIONS



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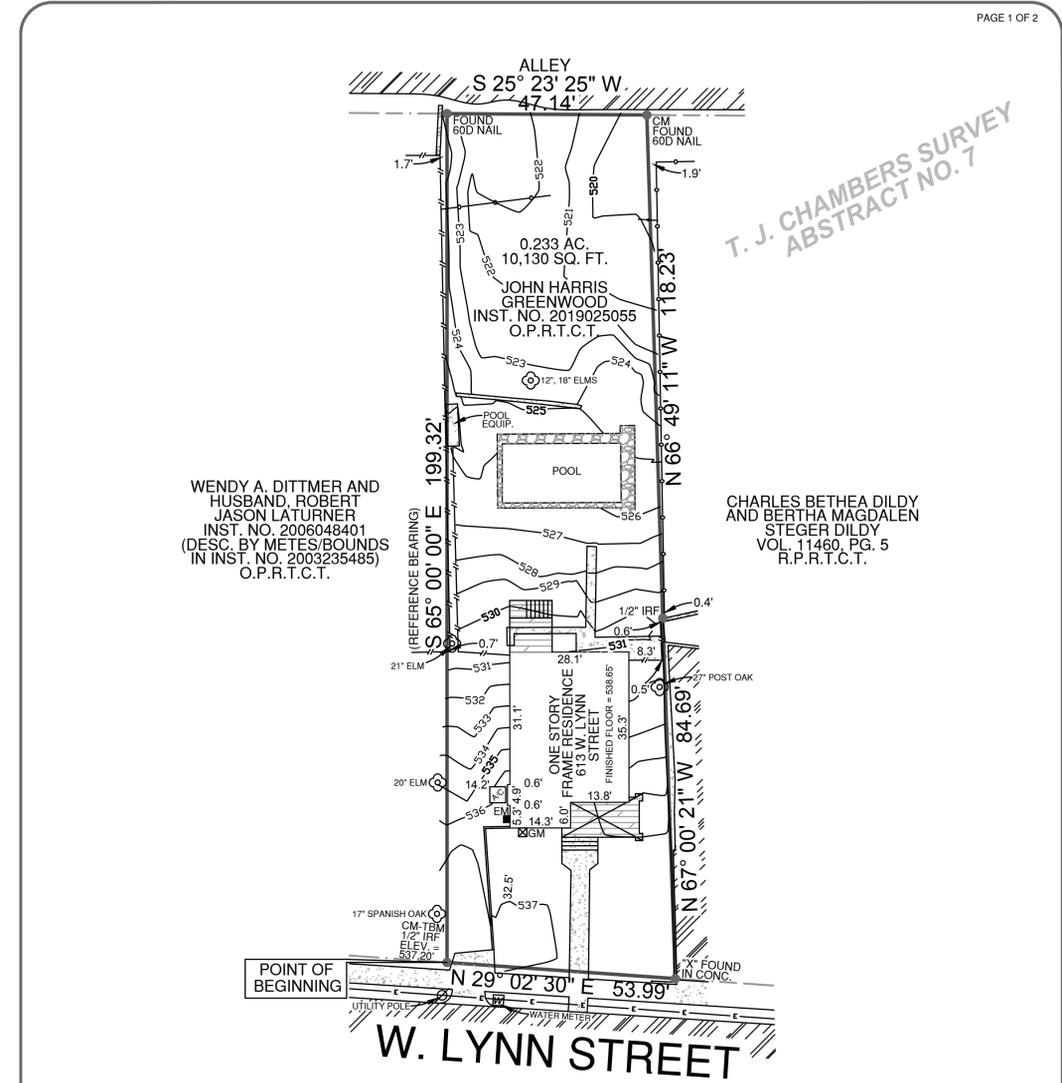
PROJECT
613 West Lynn Spec
613 West Lynn
Austin, TX 78703

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7/1/21 | 1 SD Progress Set

SHEET TITLE
COVER SHEET

SHEET
A0.0

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T. J. CHAMBERS SURVEY
ABSTRACT NO. 7

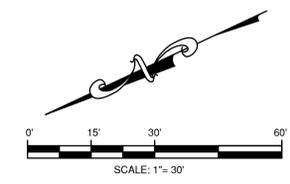
WENDY A. DITTMER AND
HUSBAND, ROBERT
JASON LATURNER
INST. NO. 2006048401
(DESC. BY METES/BOUNDS
IN INST. NO. 2003235485)
O.P.R.T.C.T.

CHARLES BETHEA DILDY
AND BERTHA MAGDALEN
STEGER DILDY
VOL. 11460, PG. 5
R.P.R.T.C.T.

LEGEND:

→ → → → →	BARB WIRE FENCE	▨	ASPHALT
— — — — —	CHAINLINK FENCE	▩	CONCRETE
○ ○ ○ ○ ○	WROUGHT IRON FENCE	▧	GRAVEL
— — — — —	WOOD FENCE	▤	TILE
— — — — —	VINYL FENCE	▥	WOOD
— — — — —	ELECTRIC LINE	▦	BRICK
GM	GAS METER	▧	STONE
EM	ELECTRIC METER	▨	
IRP	IRON PIPE FOUND		
IRS	IRON ROD SET WITH "PREMIER" CAP		
IRF	IRON ROD FOUND		
CM	CONTROLLING MONUMENT (WOOD) RAILROAD TIE		

NOTES:
TBM = TEMPORARY BENCHMARK.
CONTOUR INTERVAL EQUALS ONE FOOT.
ELEVATIONS ARE BASED ON BENCHMARK
"H-23-3001" WITH AN ELEV. OF 530.56' (NAVD 1988).
BEARINGS ARE BASED ON THE RECORDED DEED.
THIS PROPERTY IS NOT AFFECTED BY THE FOLLOWING:
(10a)-EASEMENT, VOL. 658, PG. 469, D.R.T.C.T.
(10b)-EASEMENT, VOL. 7029, PG. 977, D.R.T.C.T.
THIS PROPERTY MAY BE SUBJECT TO THE FOLLOWING:
(10b)-EASEMENT, VOL. 3310, PG. 1738, D.R.T.C.T.
(10c)-EASEMENT, VOL. 3758, PG. 1769, D.R.T.C.T.
(10e)-EASEMENT, VOL. 8209, PG. 94, D.R.T.C.T.



LEGAL DESCRIPTION:
BEING A 0.233 ACRE TRACT OF LAND SITUATED IN THE T. J. CHAMBERS SURVEY, ABSTRACT NO. 7, TRAVIS COUNTY, TEXAS, BEING ALL THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO JOHN HARRIS GREENWOOD, AS RECORDED IN INSTRUMENT NO. 2019025055, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS DESCRIPTION ATTACHED HERETO AND MADE A PART THEREOF ON PAGE 2.

SURVEYOR'S CERTIFICATION:
THIS IS TO CERTIFY THAT ON THIS DATE A SURVEY WAS MADE ON THE GROUND, UNDER MY SUPERVISION AND REFLECTS A TRUE AND CORRECT REPRESENTATION OF THE DIMENSIONS AND CALLS OF PROPERTY LINES AND LOCATION AND TYPE OF IMPROVEMENTS. THERE ARE NO VISIBLE AND APPARENT EASEMENTS, CONFLICTS, INTRUSIONS OR PROTRUSIONS, EXCEPT AS SHOWN. THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND IS FOR THE EXCLUSIVE USE OF THE HEREON NAMED PURCHASER, MORTGAGE COMPANY, AND TITLE COMPANY ONLY AND THIS SURVEY IS MADE PURSUANT TO THAT CERTAIN TITLE COMMITMENT UNDER THE GF NUMBER SHOWN HEREON, PROVIDED BY THE TITLE COMPANY NAMED HEREON AND THAT THIS DATE, THE EASEMENTS, RIGHTS-OF-WAY, OR OTHER LOCATABLE MATTERS OF RECORD THAT THE UNDERSIGNED HAS KNOWLEDGE OR HAS BEEN ADVISED ARE AS SHOWN OR NOTED HEREON. THIS SURVEY IS SUBJECT TO ANY AND ALL COVENANTS AND RESTRICTIONS PERTAINING TO THE RECORDED DEED REFERENCED HEREON.

GF. NO.	42664
TITLE CO.	TRINITY TITLE
TECH	MSP
FIELD	TM

FLOOD INFORMATION:
THE SUBJECT PROPERTY DOES NOT APPEAR TO LIE WITHIN THE LIMITS OF A 100-YEAR FLOOD HAZARD ZONE ACCORDING TO THE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND HAS A ZONE "X" RATING AS SHOWN BY MAP NO. 48453C0445 K, DATED JANUARY 22, 2020.

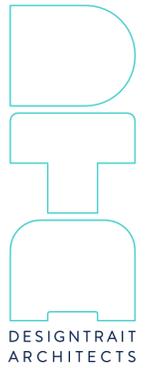
DATE: 04/01/21 JOB NO.: 21-02226TOPOTS
FIELD: 03/31/21 REV.: 04/21/21

613 W. LYNN STREET, AUSTIN, TX 78703
0.233 AC., T. J. CHAMBERS SURVEY, ABSTRACT NO. 7



Premier
Surveying LLC
5700 W. Plano Parkway
Suite 1200
Plano, Texas 75093
Office: 972-612-3901
Fax: 855-892-0468
Firm Registration No. 10146200

DATE: _____
ACCEPTED BY: _____



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7/1/21
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Registration #21509
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PROJECT
613 West Lynn Spec
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Austin, TX 78703

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SHEET TITLE
SURVEY

SHEET
A0.1

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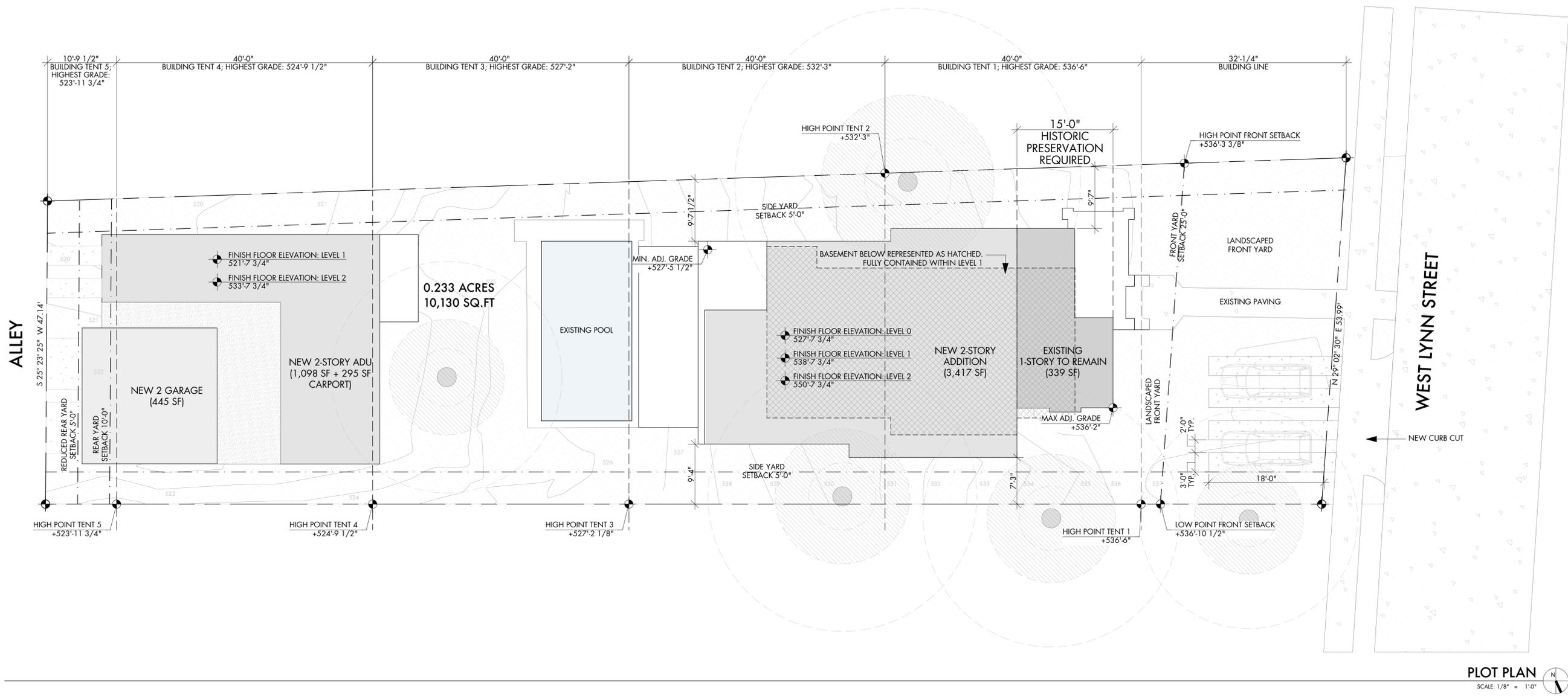
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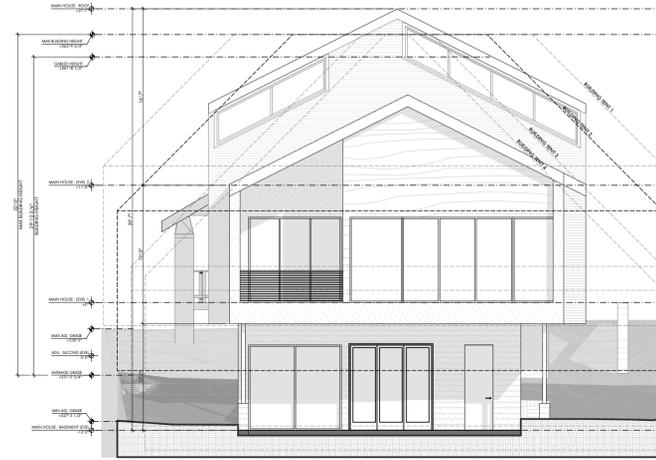
SHEET TITLE
SITE PLAN

SHEET
A0.2

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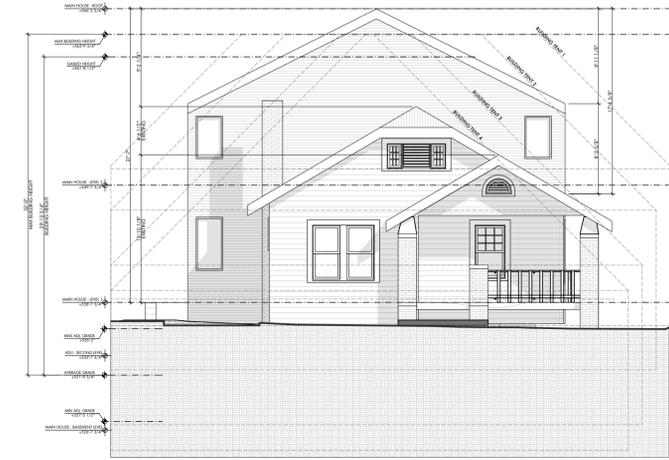


PLOT PLAN
SCALE: 1/8" = 1'-0"



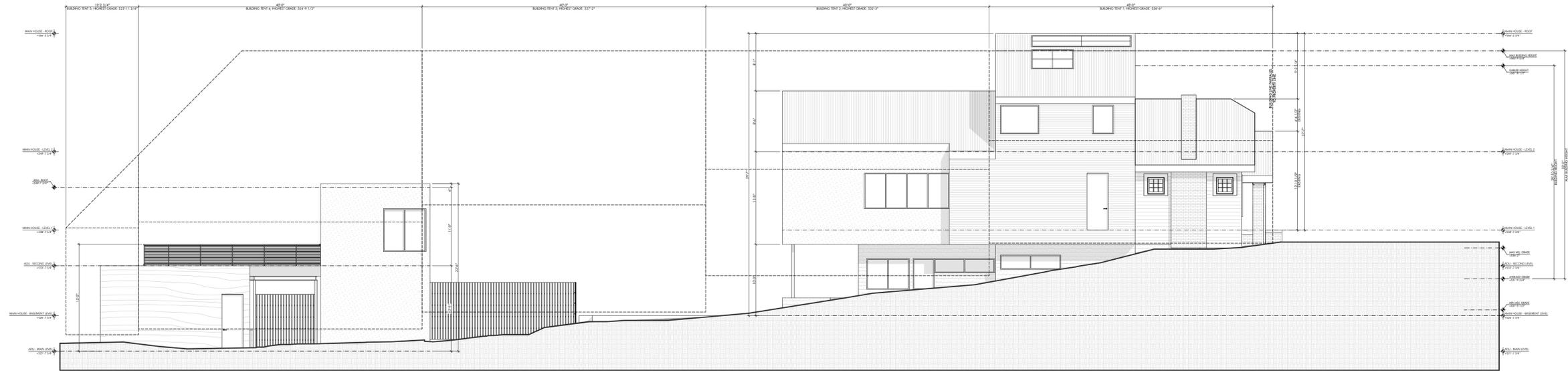
EXTERIOR ELEVATION @ EAST

SCALE: 1/8" = 1'-0"



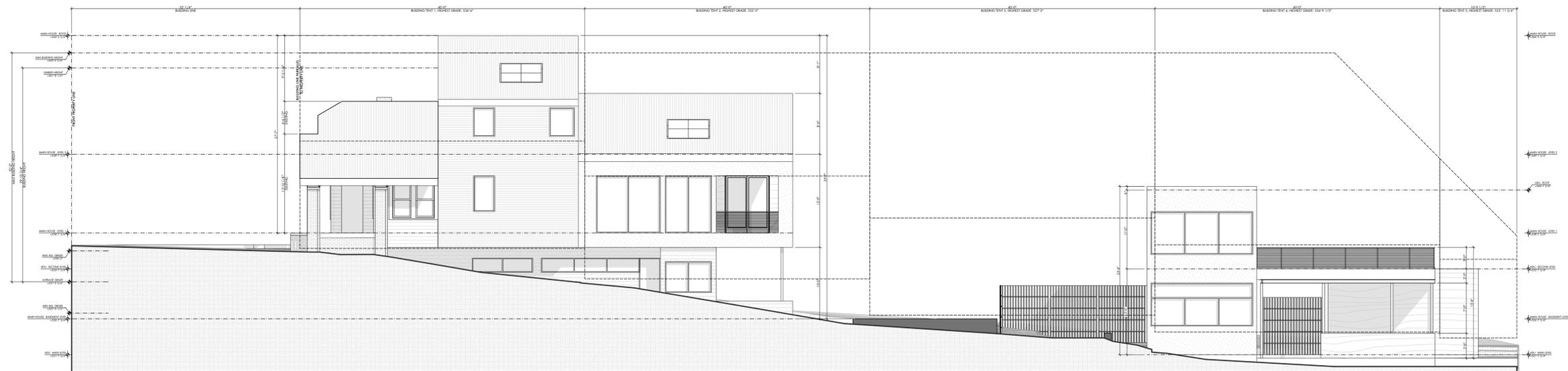
EXTERIOR ELEVATION @ WEST

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATION @ NORTH

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATION @ SOUTH

SCALE: 1/8" = 1'-0"



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PROJECT
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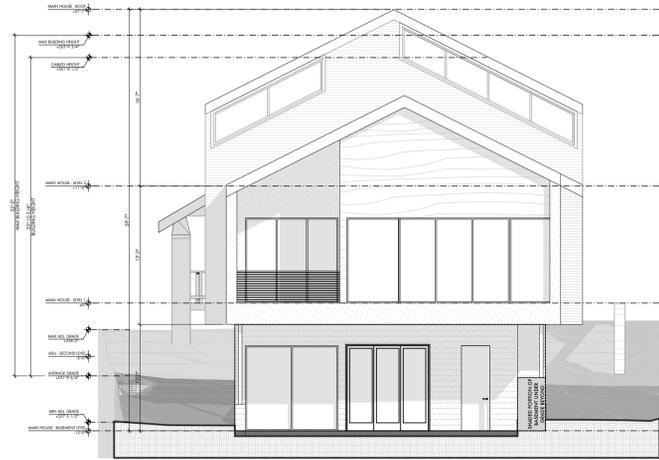
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SHEET TITLE
BUILDING TENT EXHIBIT

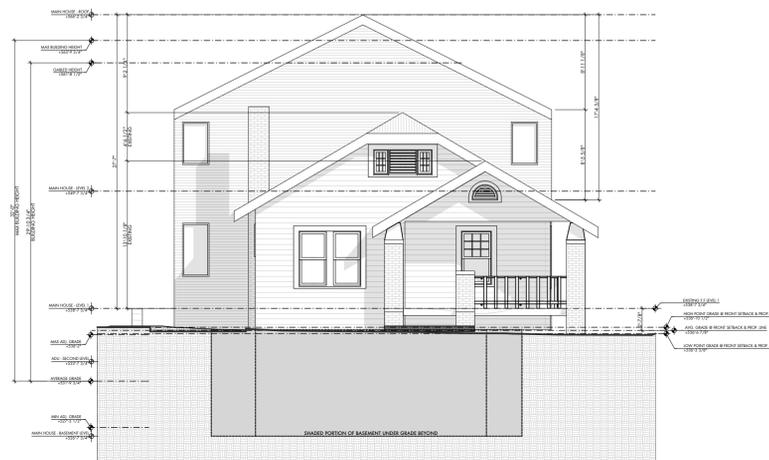
SHEET
A0.3

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EXTERIOR ELEVATION @ EAST

SCALE: 1/8" = 1'-0"

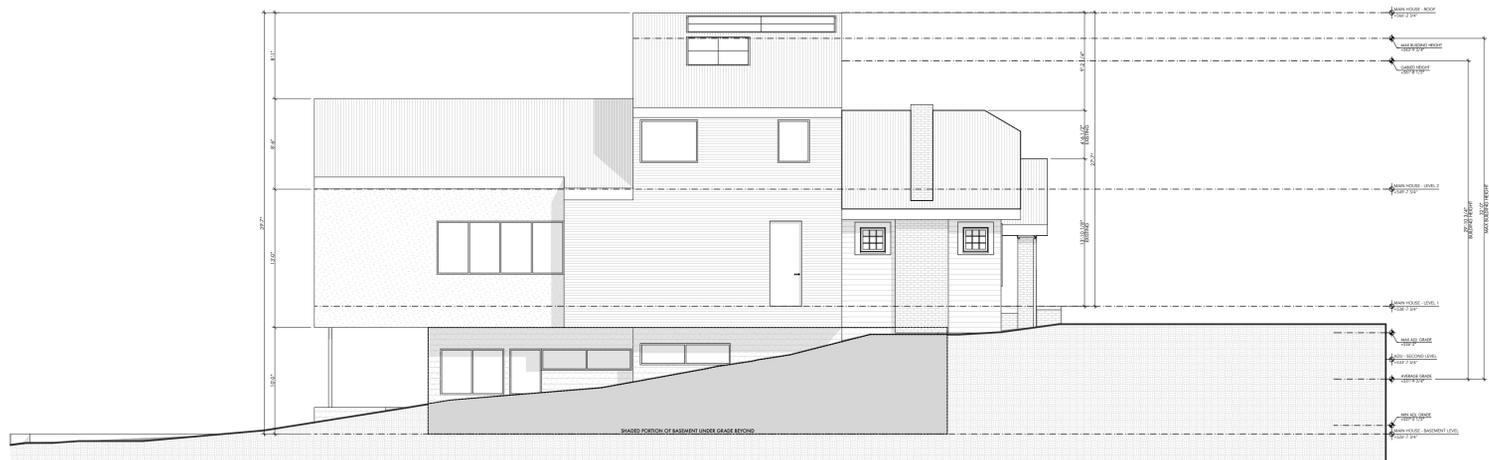


EXTERIOR ELEVATION @ WEST

SCALE: 1/8" = 1'-0"

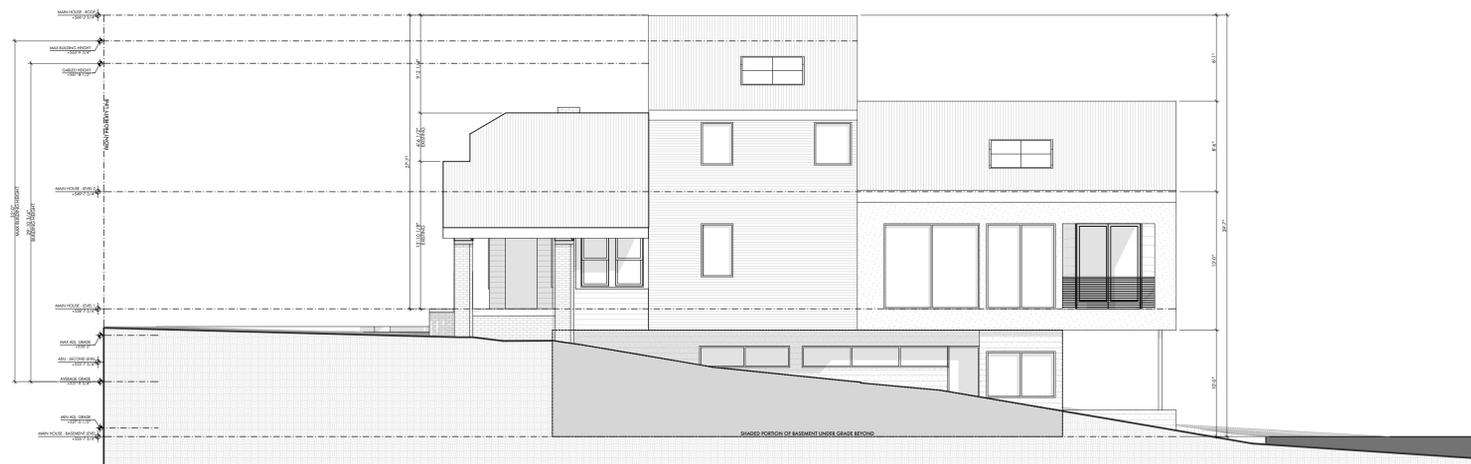
BASEMENT EXEMPTION LEGEND	
	WALL AREA BELOW GRADE
	PERIMETER OF BASEMENT WALL

WALL AREA CALCULATIONS			
	TOTAL WALL AREA	WALL AREA BELOW GRADE	% BELOW GRADE
TOTAL	1,566 SF	869 SF	55.49 %
NORTH	490 SF	296 SF	60.4%
SOUTH	490 SF	272 SF	55.5%
EAST	293 SF	13 SF	4.4%
WEST	293 SF	288 SF	98.3%



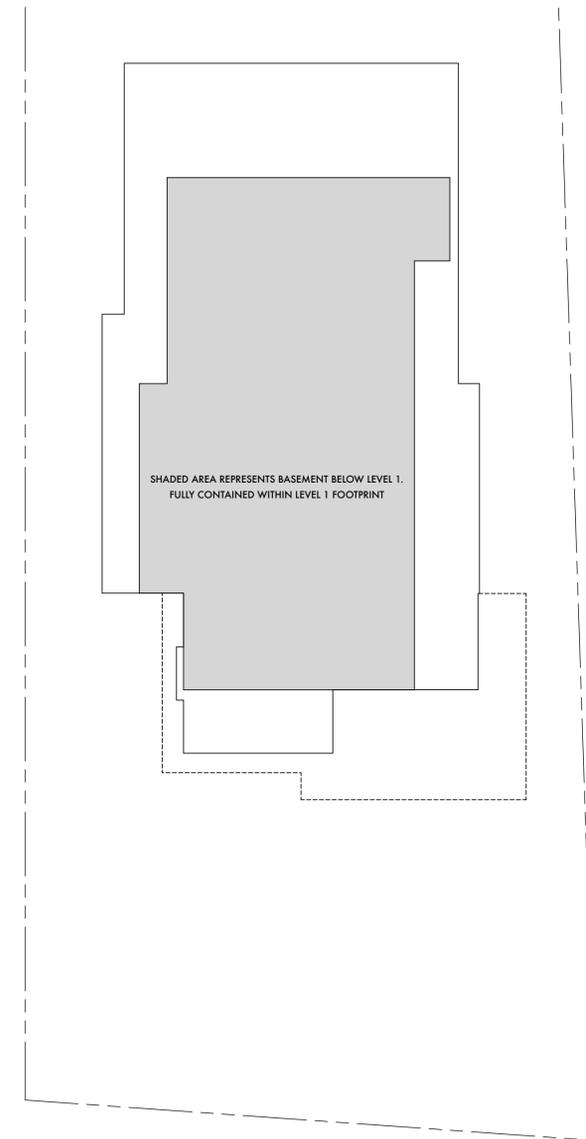
EXTERIOR ELEVATION @ NORTH

SCALE: 1/8" = 1'-0"



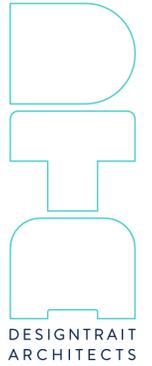
EXTERIOR ELEVATION @ SOUTH

SCALE: 1/8" = 1'-0"



BASEMENT BUILDING FOOTPRINT DIAGRAM

SCALE: 1/8" = 1'-0"



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PROJECT
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 613 West Lynn
 Austin, TX 78703

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SHEET TITLE
 BASEMENT EXEMPTION EXHIBIT

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 A0.4

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GENERAL NOTES | DEMO PLAN

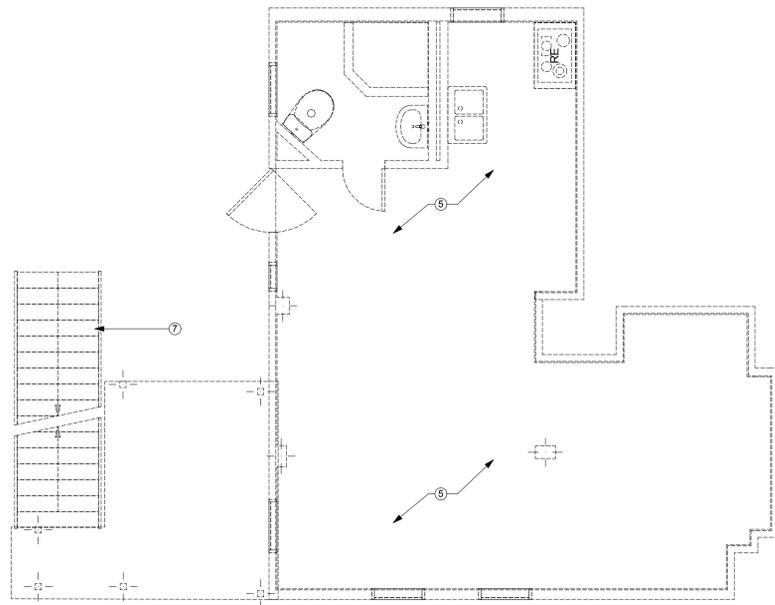
1. Do not scale the drawings. If a specific dimension is not given, contact Designtrait for clarification.
2. Dimensions are to face of frame or centerline of frame as noted.
3. Keynotes located on this sheet are for this sheet only.
4. Contractor shall exercise reasonable precaution in the protection of all existing finishes to remain and/or all existing substrates to receive new finish. Contractor shall provide protective coverings and impact protection for all floor, partition, ceiling, window, glass, and all other existing finishes in the project area and for all finishes which may be subject to traffic or construction activity in adjacent areas; extend protection from building entry(ies) to project area(s).
5. Patch and repair all finishes and materials that occur from the removal or demolition procedure.
6. The Contractor shall remove from demolished walls or portions of walls all power circuits and switch legs back to first junction box. Remove any millwork or wall-mounted fixtures from walls indicated to be demolished and not otherwise shown. Any building fixtures removed from the Project and not disposed of shall be salvaged as directed by the Owner Representative. The Contractor shall take care not to unreasonable cause damage to the building fixtures.
7. Contractor to remove at least one side of gyp at all existing walls for the installation new sound batt insulation.
8. Contractor to remove ALL wall panelling from project. Replace with 5/8" Gyp Bd.
9. Existing walls might carry or transfer roof and/or ceiling loads. Consult with a qualified structural engineer to verify load bearing status for all existing walls prior to any demolition work. Provide transfer beams or alternate structure if necessary. Provide temporary shoring where required.
10. Contractor shall walk project site with Architect and Owner to review extent of demolition and identify any additional components that need to be removed in order to provide proposed new construction or that the Owner wishes to be removed as part of the scope of project.

KEYNOTES - DEMO PLAN

- | | |
|---|--|
| 1 | Shaded area shown as extent of first 15'-0" of the structure to remain. Patch and repair all exterior walls, roofs and slabs to remain within area, U.N.C. |
| 2 | Existing glazing to remain. Repair/replace as needed. |
| 3 | Existing front porch to remain. |
| 4 | Interior partitions to be demo'd. |
| 5 | Demo all exterior & interior walls, slabs, roof, plumbing fixtures & appliances outside of first 15'-0" of existing structure. |
| 6 | Demo existing wood rear patio. |
| 7 | Demo existing wood patio stairs. |

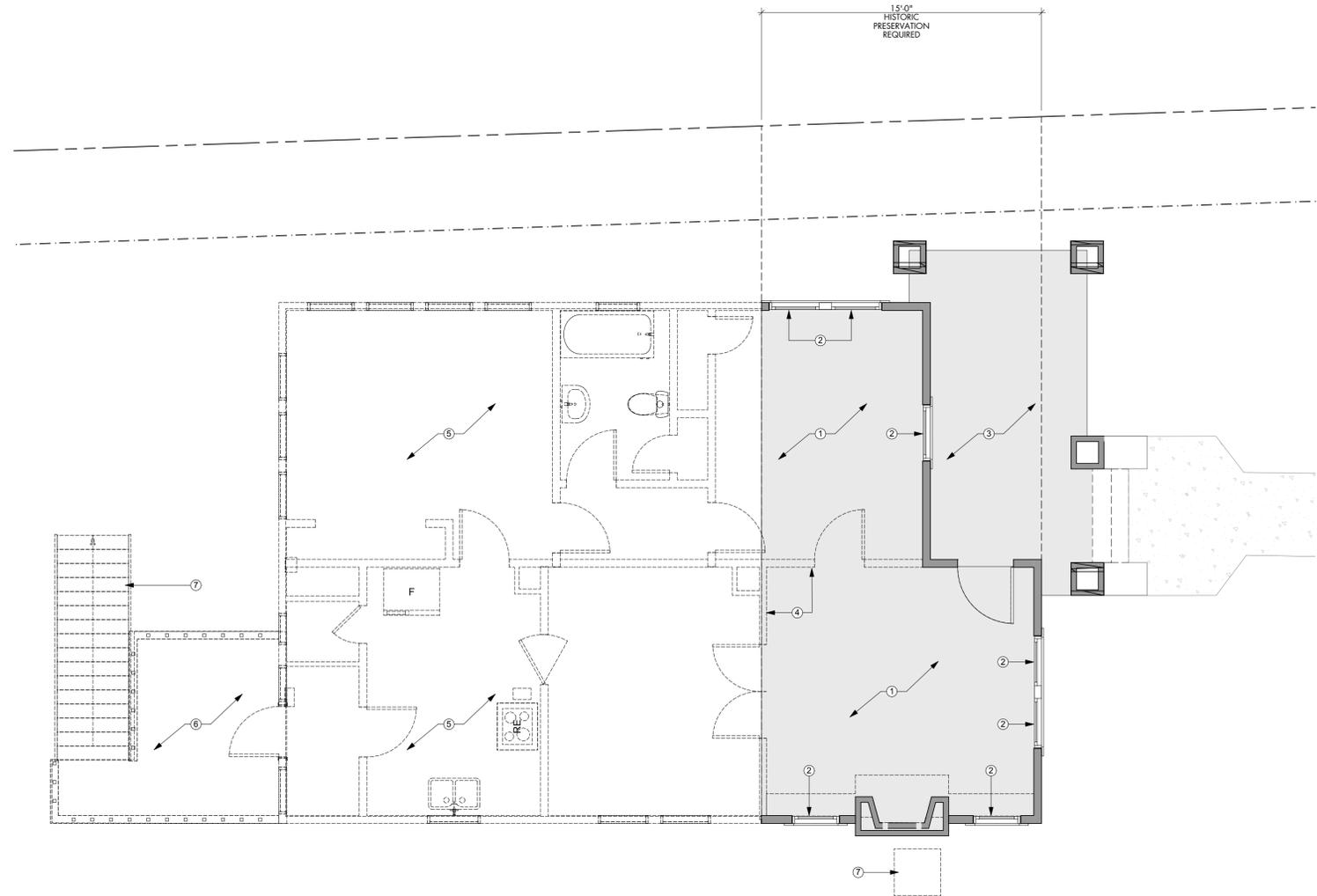
WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- DEMO EXISTING WALL



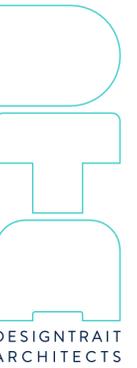
DEMO PLAN - MAIN HOUSE - BASEMENT LEVEL

SCALE: 1/4" = 1'-0"



DEMO PLAN - MAIN HOUSE - LEVEL 1

SCALE: 1/4" = 1'-0"



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PROJECT
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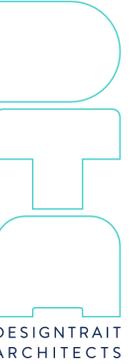
SHEET TITLE
DEMO PLAN

SHEET
D1.1

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GENERAL NOTES | FLOOR PLAN

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2. Dimensions are to face of frame or centerline of frame as noted.
3. Keynotes located on this sheet are for this sheet only.
4. Provide tempered glazing as required by local codes.
5. Provide submittals and shop drawings showing number of windows, locations of tempered glazing, finishes, etc.
6. Window and door types indicate rough sizes only. GC shall field verify the appropriate glazing and leaf sizes in the field prior to ordering. For any questions, contact Designtrait for clarification.
7. Patch and repair all finishes and materials that occur from the removal or demolition procedure.
8. Contractor to remove at least one side of gyp at all existing walls for the installation new sound batt insulation.
9. Existing walls might carry or transfer roof and/or ceiling loads. Consult with a qualified structural engineer to verify load bearing status for all existing walls prior to any demolition work. Provide transfer beams or alternate structure if necessary. Provide temporary shoring where required.
10. Contractor shall walk project site with Architect and Owner to review extent of demolition and identify any additional components that need to be removed in order to provide proposed new construction or that the Owner wishes to be removed as part of the scope of project.



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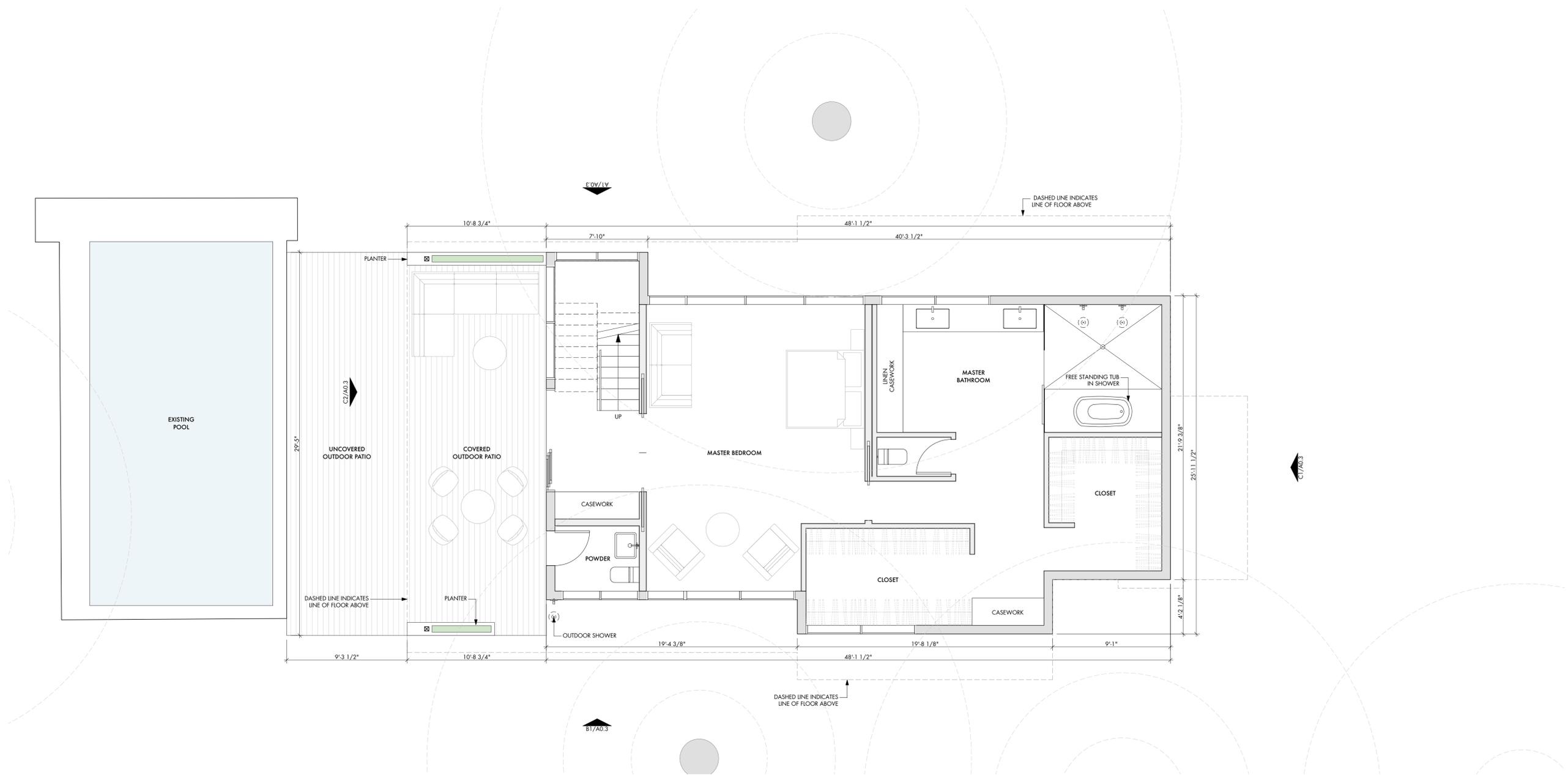
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SHEET TITLE
**MAIN HOUSE -
FLOOR PLAN
BASEMENT
LEVEL**

SHEET
A1.1

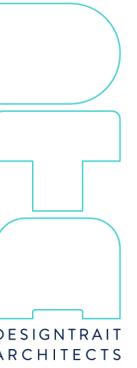
FLOOR PLAN - BASEMENT LEVEL
SCALE: 1/4" = 1'-0"

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GENERAL NOTES | FLOOR PLAN

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6. Window and door types indicate rough sizes only. GC shall field verify the appropriate glazing and leaf sizes in the field prior to ordering. For any questions, contact Designtrait for clarification.
7. Patch and repair all finishes and materials that occur from the removal or demolition procedure.
8. Contractor to remove at least one side of gyp at all existing walls for the installation new sound batt insulation.
9. Existing walls might carry or transfer roof and/or ceiling loads. Consult with a qualified structural engineer to verify load bearing status for all existing walls prior to any demolition work. Provide transfer beams or alternate structure if necessary. Provide temporary shoring where required.
10. Contractor shall walk project site with Architect and Owner to review extent of demolition and identify any additional components that need to be removed in order to provide proposed new construction or that the Owner wishes to be removed as part of the scope of project.



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613 West Lynn Spec
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SHEET TITLE
MAIN HOUSE - FLOOR PLAN LEVEL 1

SHEET
A1.2

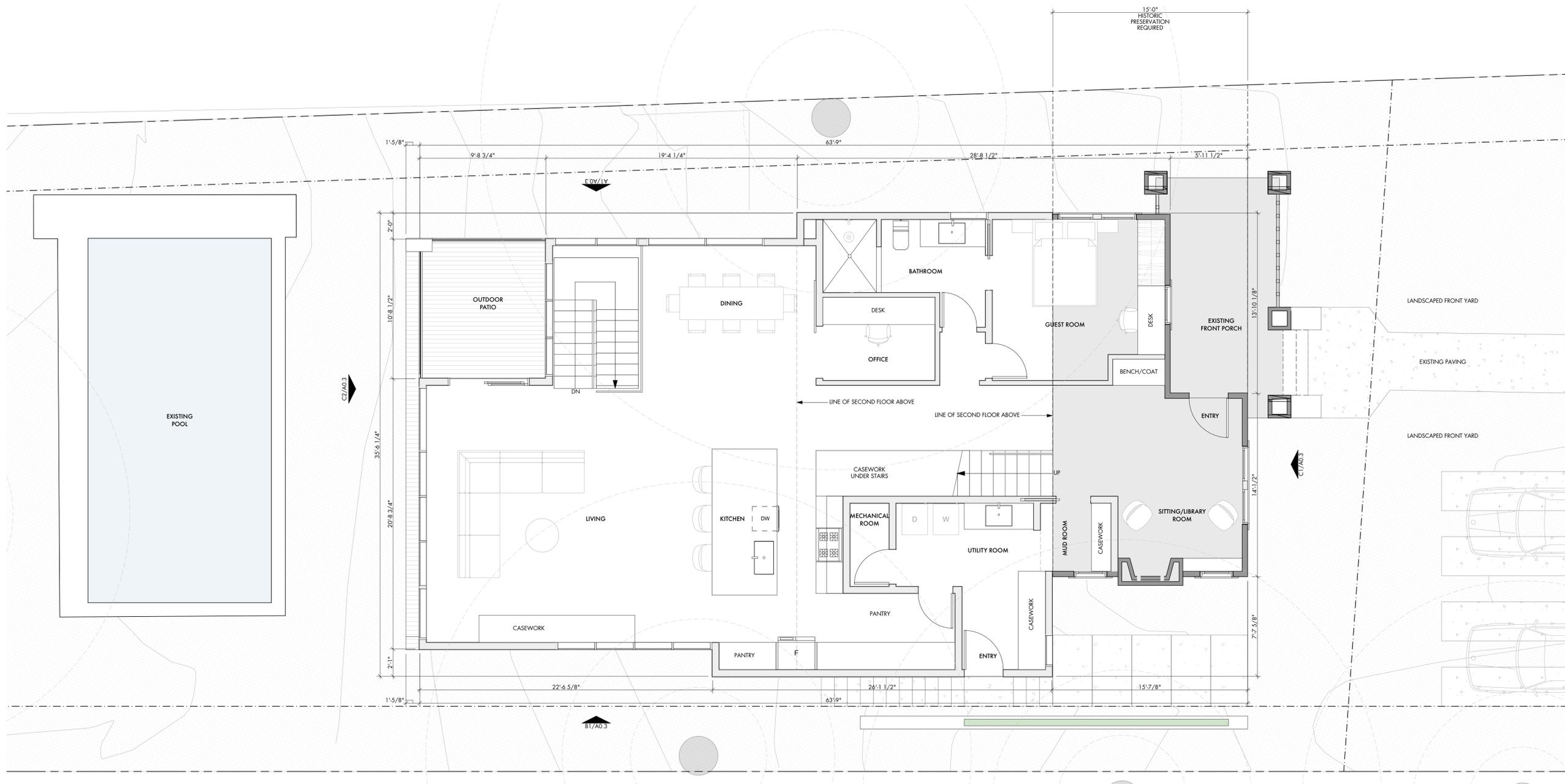
SHEET
A1.2

FLOOR PLAN - LEVEL 1

SCALE: 1/4" = 1'-0"

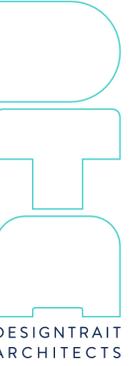


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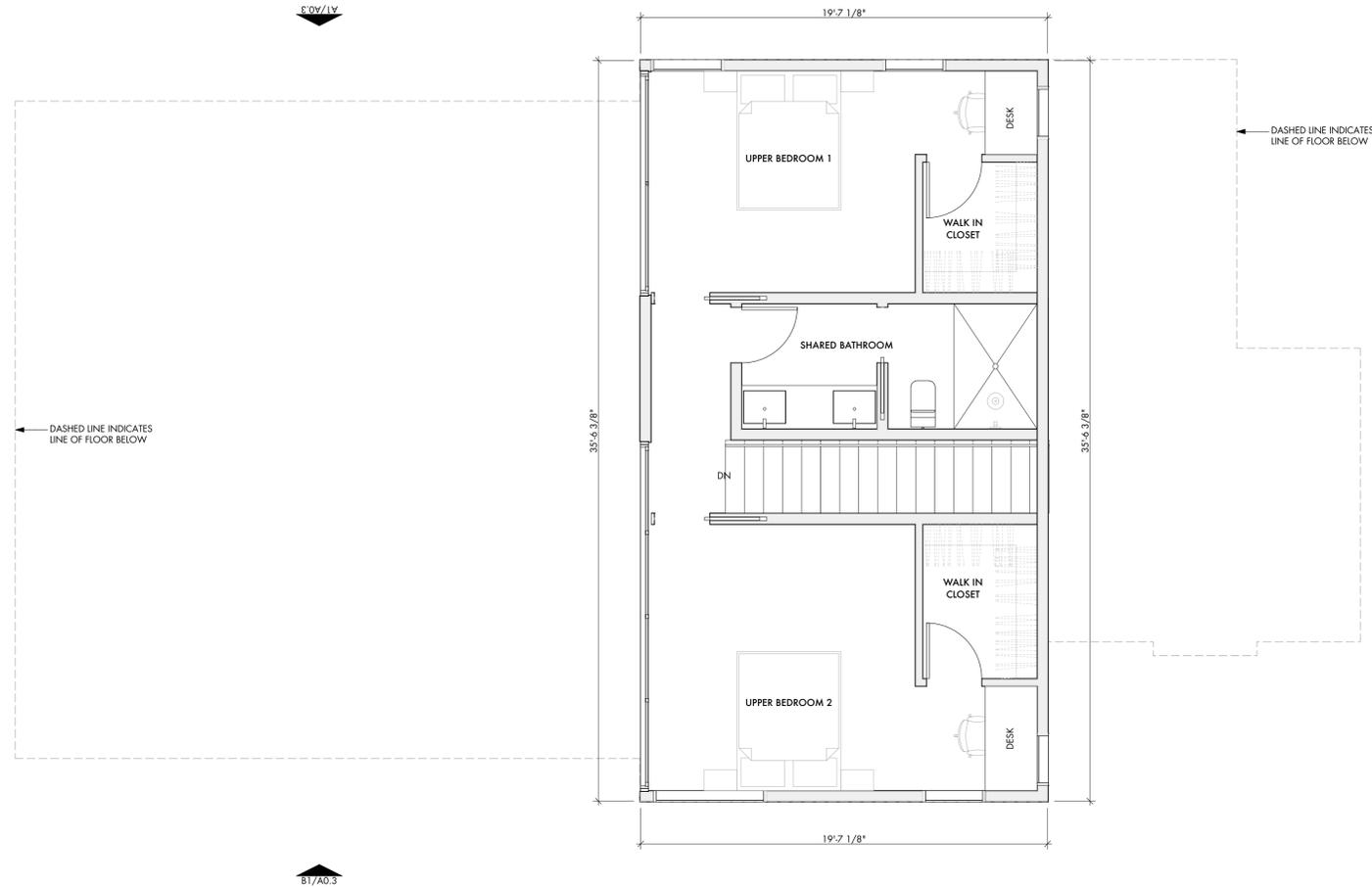
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SHEET TITLE
**MAIN HOUSE -
FLOOR PLAN
LEVEL 2**

SHEET
A1.3



FLOOR PLAN - LEVEL 2

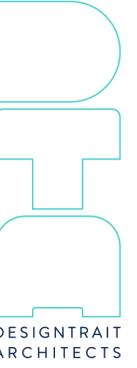
SCALE: 1/4" = 1'-0"



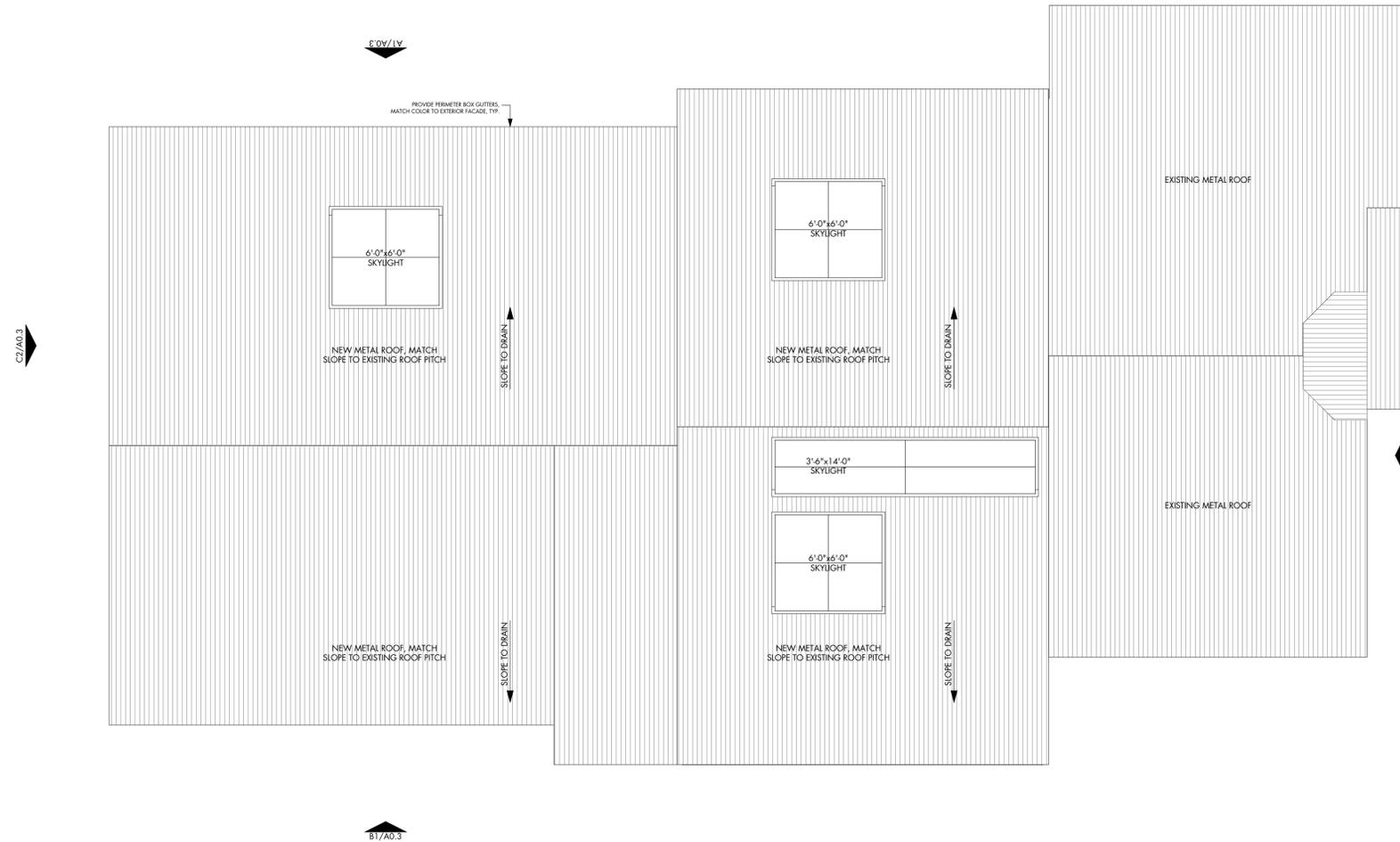
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GENERAL NOTES | ROOF PLAN

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SHEET TITLE
MAIN HOUSE -
ROOF PLAN

SHEET
A1.4

ROOF PLAN

SCALE: 1/4" = 1'-0"



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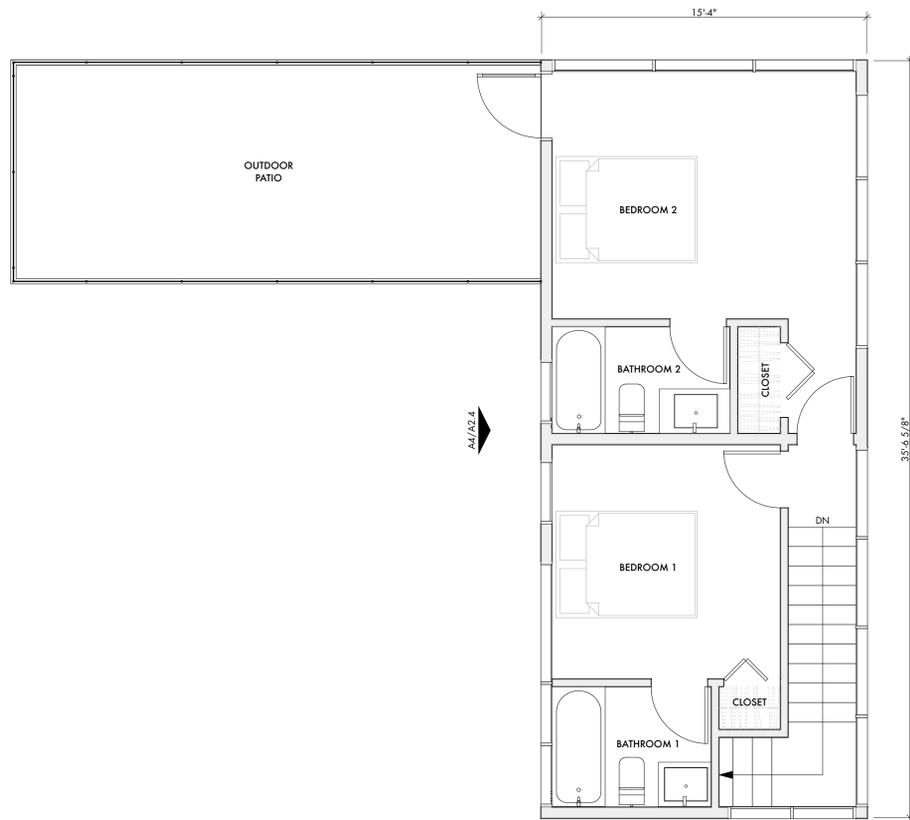
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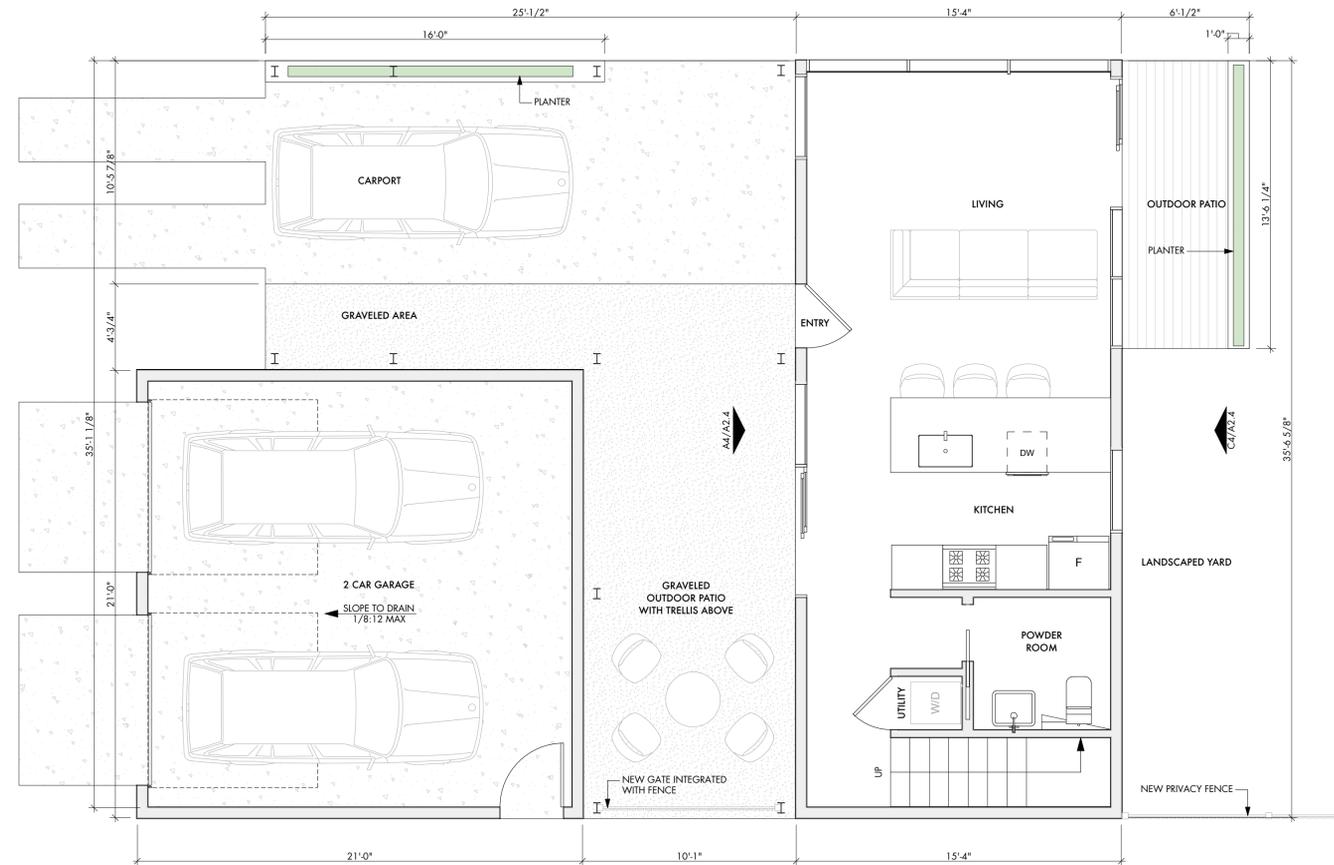
SHEET TITLE
**ADU - FLOOR
PLANS LEVEL 1 &
2**

SHEET
A1.5

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ADU FLOOR PLAN - LEVEL 2
SCALE: 1/4" = 1'-0"

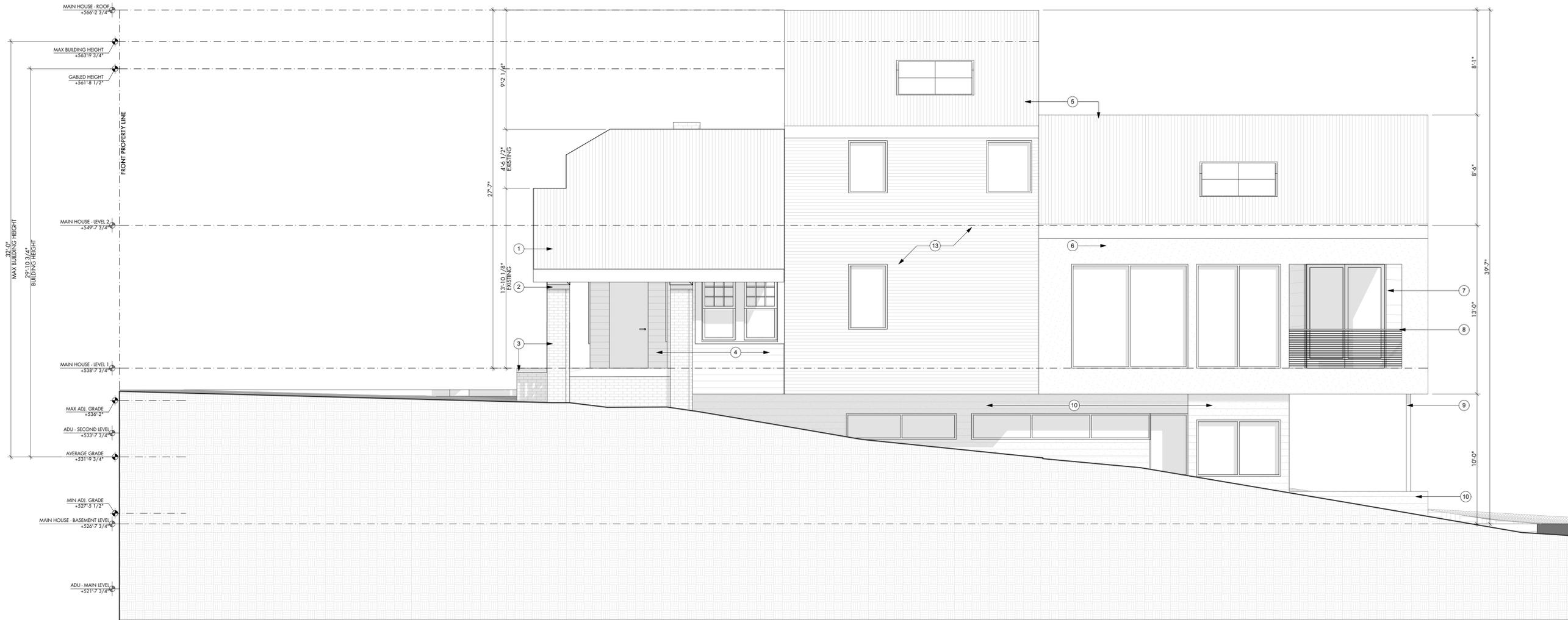


ADU FLOOR PLAN - LEVEL 1
SCALE: 1/4" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS	
1	First 15'-0" of existing metal roof @ existing structure to remain, clean/repair as needed.
2	First 15'-0" of existing fascia @ existing structure to remain, clean/repair as needed.
3	First 15'-0" of existing masonry columns, chimney & stairs @ existing structure to remain, patch/repair as needed.
4	First 15'-0" of existing siding @ existing structure to remain, patch/repair as needed. Finish as directed, coordinate & verify with DesignTrait.
5	New standing seam metal roof, match slope to existing roof.
6	Smooth stucco finish, paint and finish as directed by DesignTrait.
7	Exterior wood clad.
8	Painted metal railing.
9	Painted structural column.
10	Board formed concrete walls, finish as directed.
11	Wood privacy fence.
12	Painted structural beam with wood joist infill.
13	Exterior ship lap siding.



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SHEET TITLE
BUILDING
ELEVATIONS

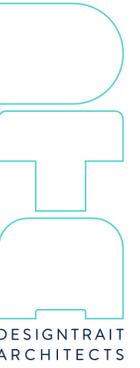
SHEET
A2.1

MAIN HOUSE - SOUTH EXTERIOR ELEVATION A1

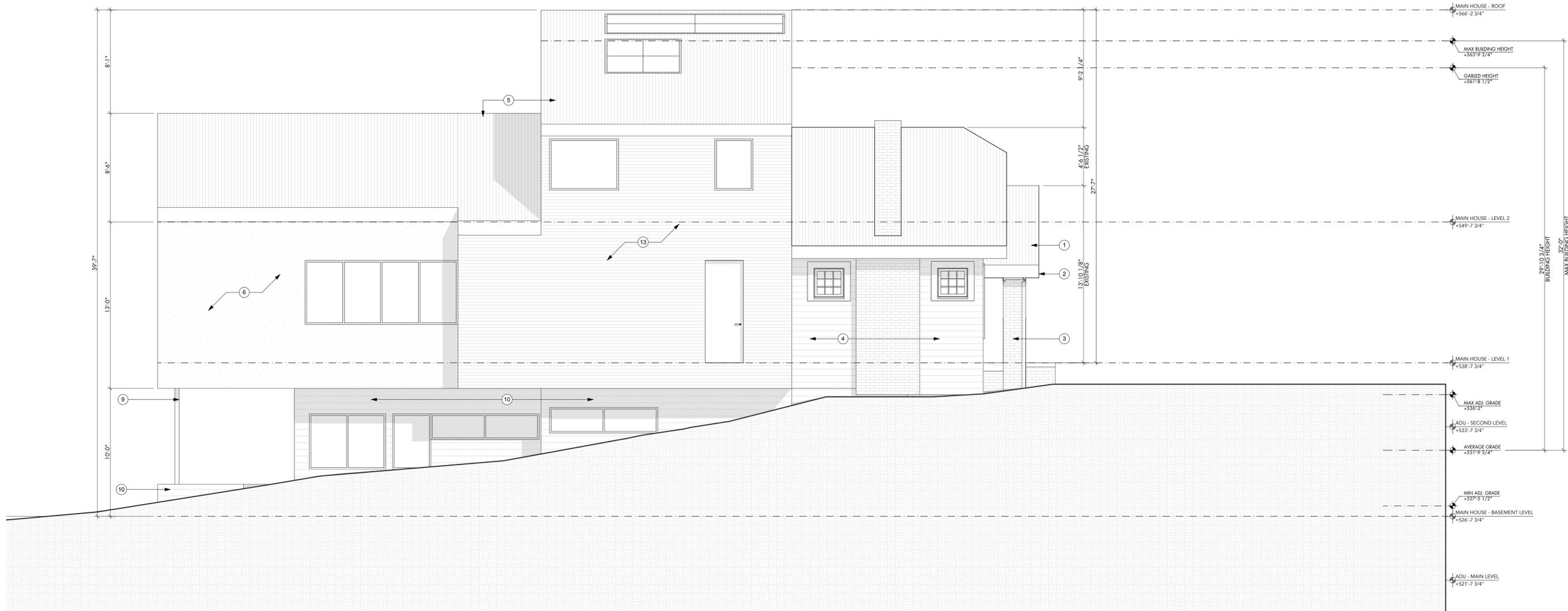
SCALE: 1/4" = 1'-0"

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9	Painted structural column.
10	Board formed concrete walls, finish as directed.
11	Wood privacy fence.
12	Painted structural beam with wood joist infill.
13	Exterior ship lap siding.



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SHEET TITLE
BUILDING ELEVATIONS

SHEET
A2.2

MAIN HOUSE - NORTH EXTERIOR ELEVATION A1

SCALE: 1/4" = 1'-0"

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13	Exterior ship lap siding.



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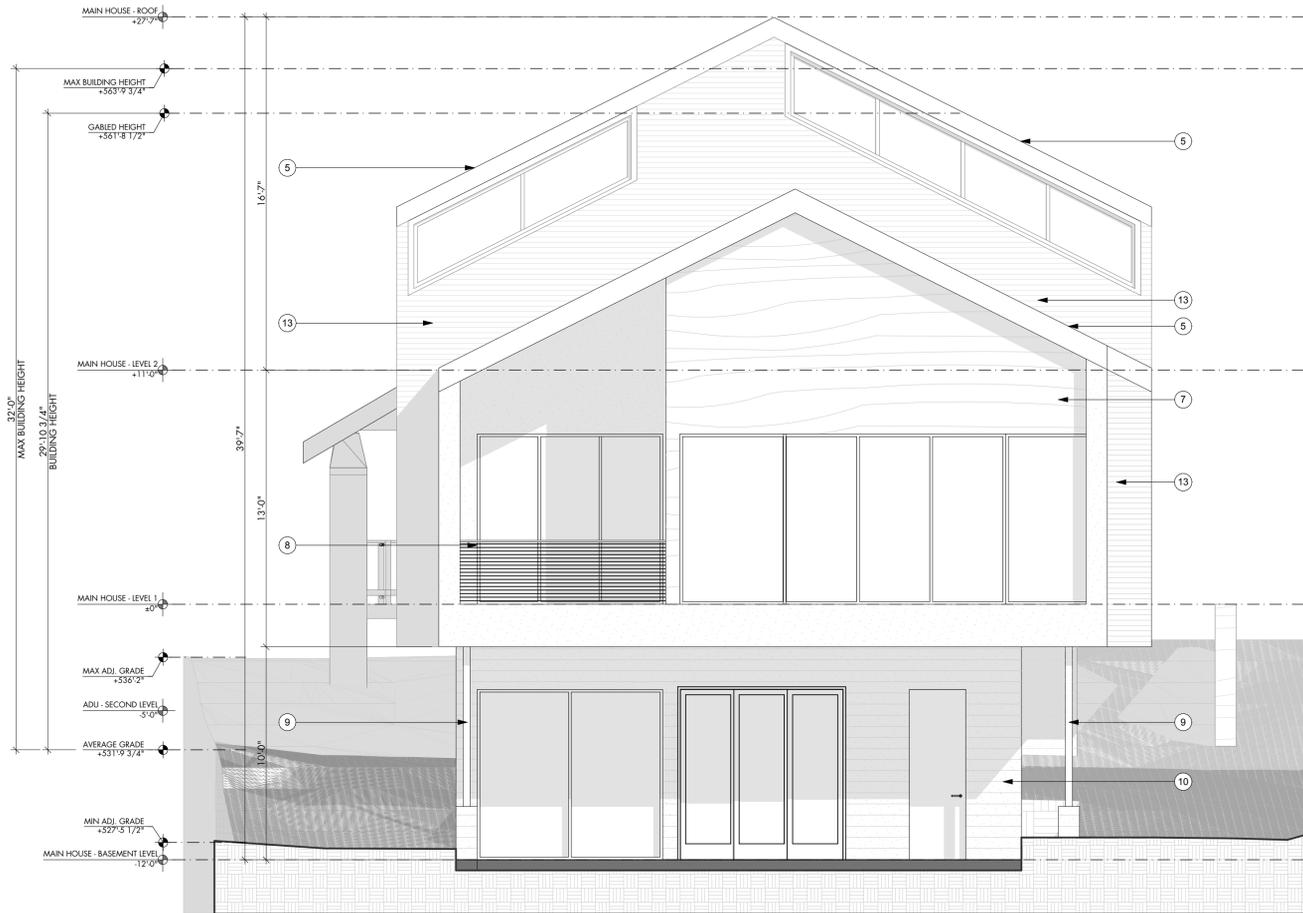
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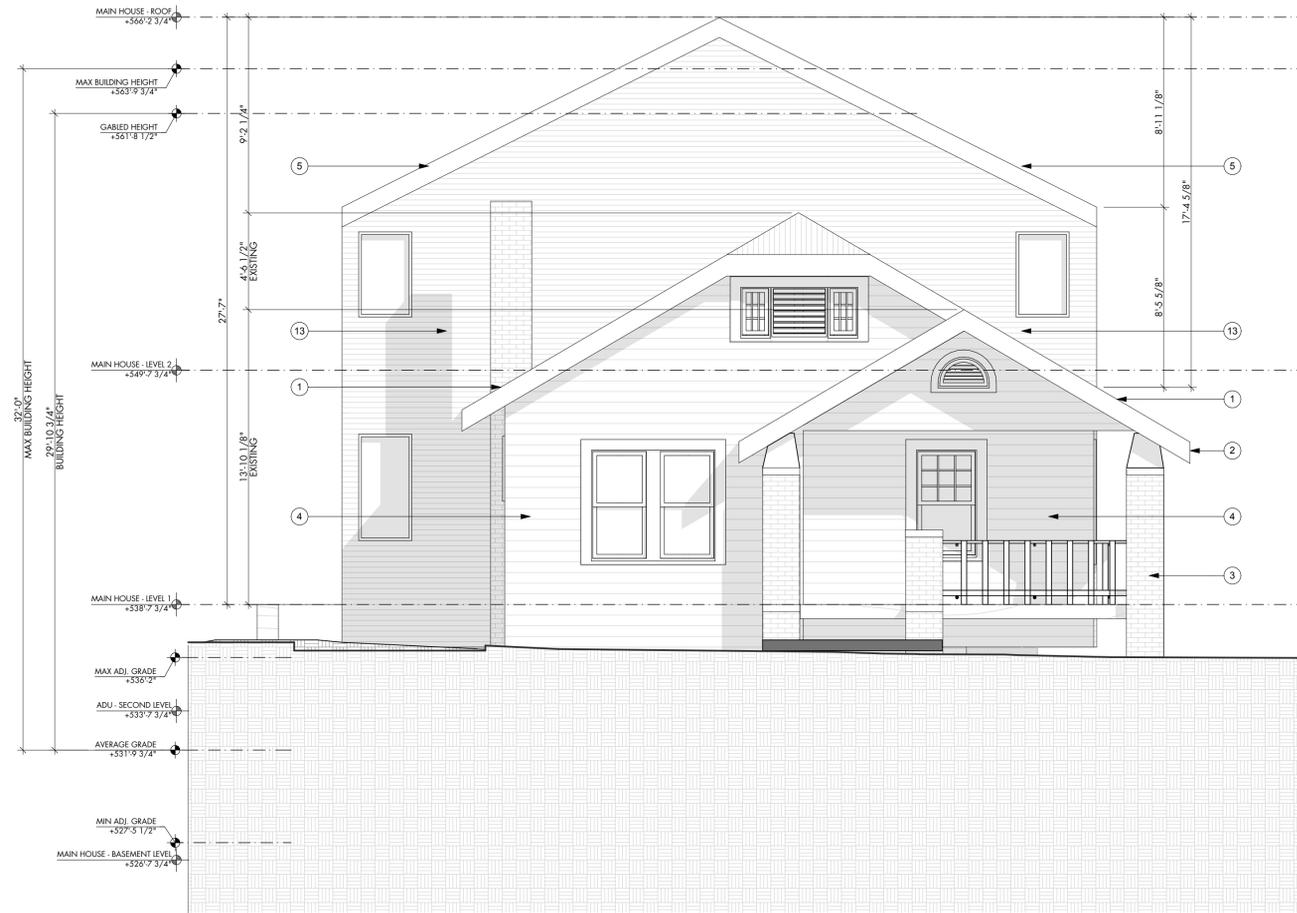
SHEET TITLE
BUILDING
ELEVATIONS

SHEET
A2.3

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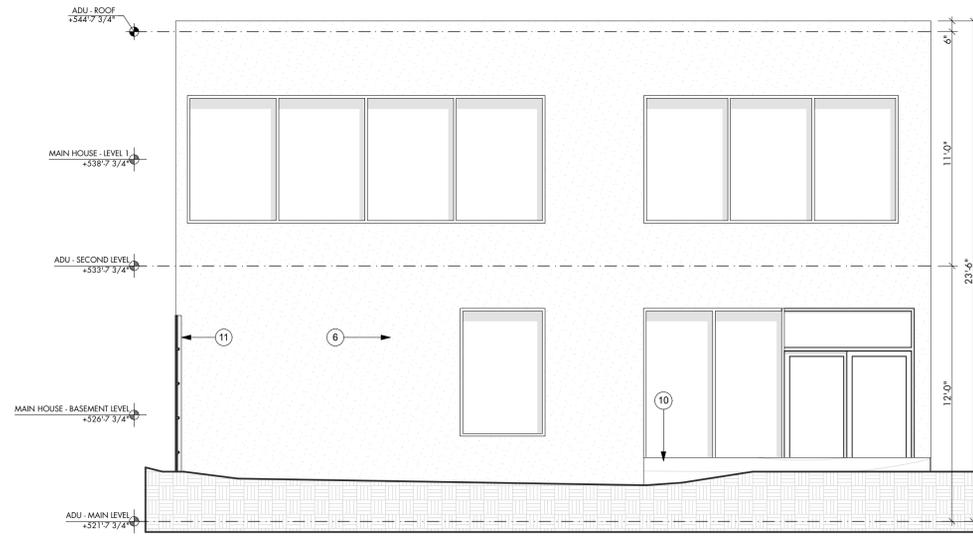


MAIN HOUSE - EAST EXTERIOR ELEVATION A3
SCALE: 1/4" = 1'-0"



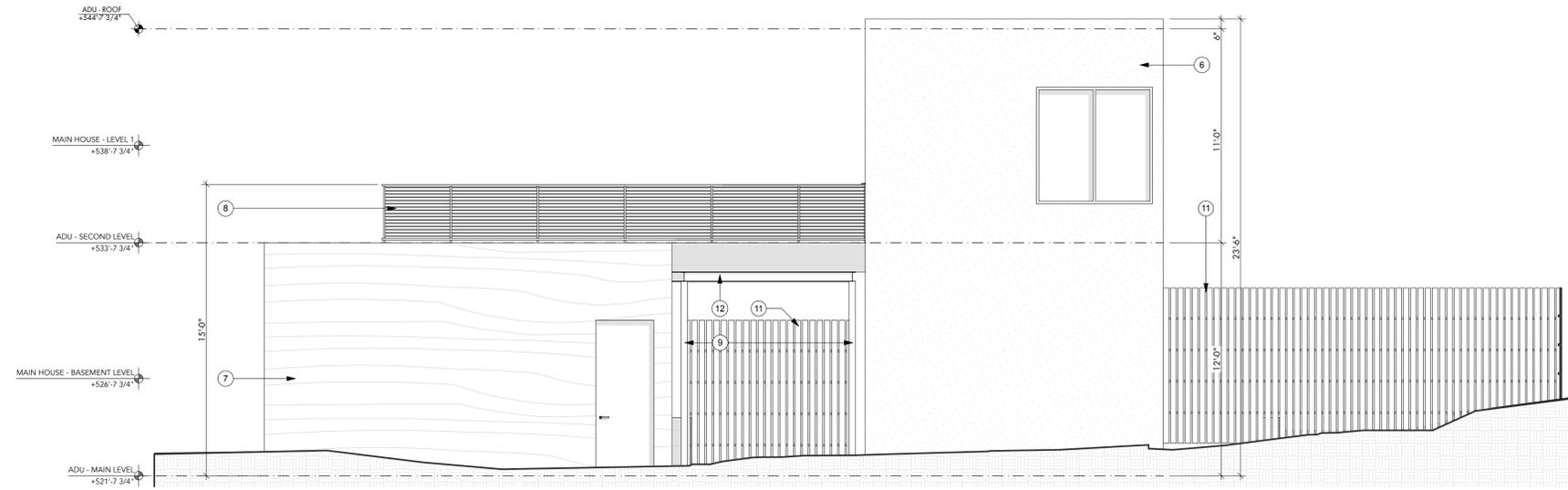
MAIN HOUSE - WEST EXTERIOR ELEVATION A1
SCALE: 1/4" = 1'-0"

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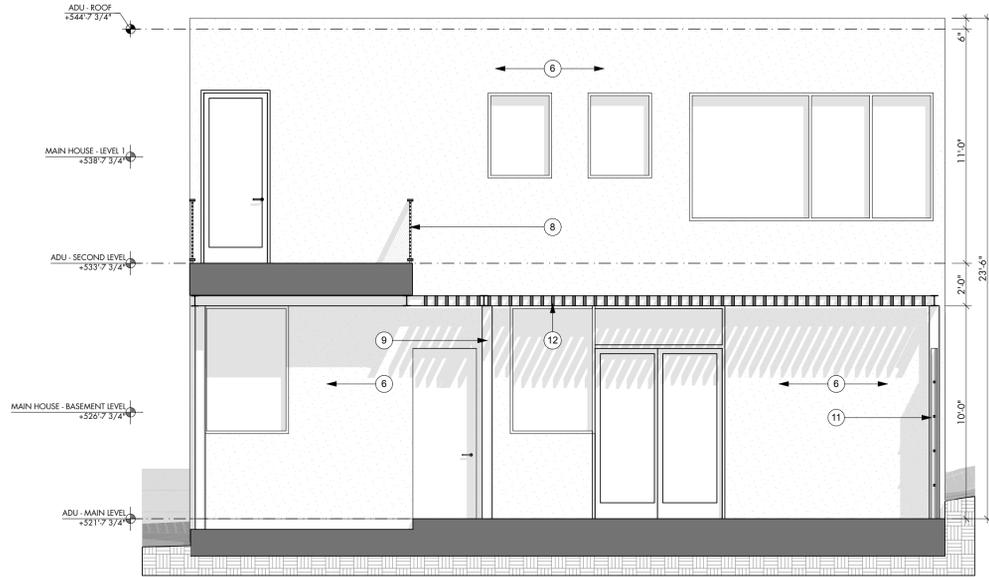
ADU - WEST ELEVATION

SCALE: 1/4" = 1'-0"



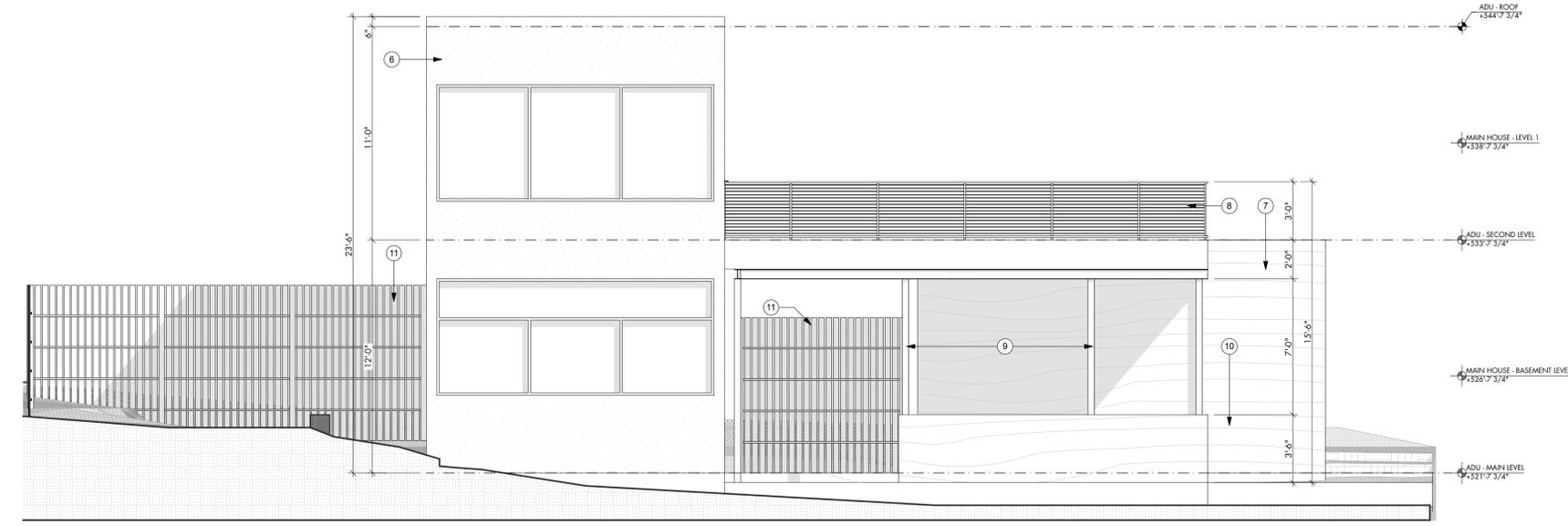
ADU - NORTH ELEVATION

SCALE: 1/4" = 1'-0"



ADU - EAST ELEVATION

SCALE: 1/4" = 1'-0"



ADU - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



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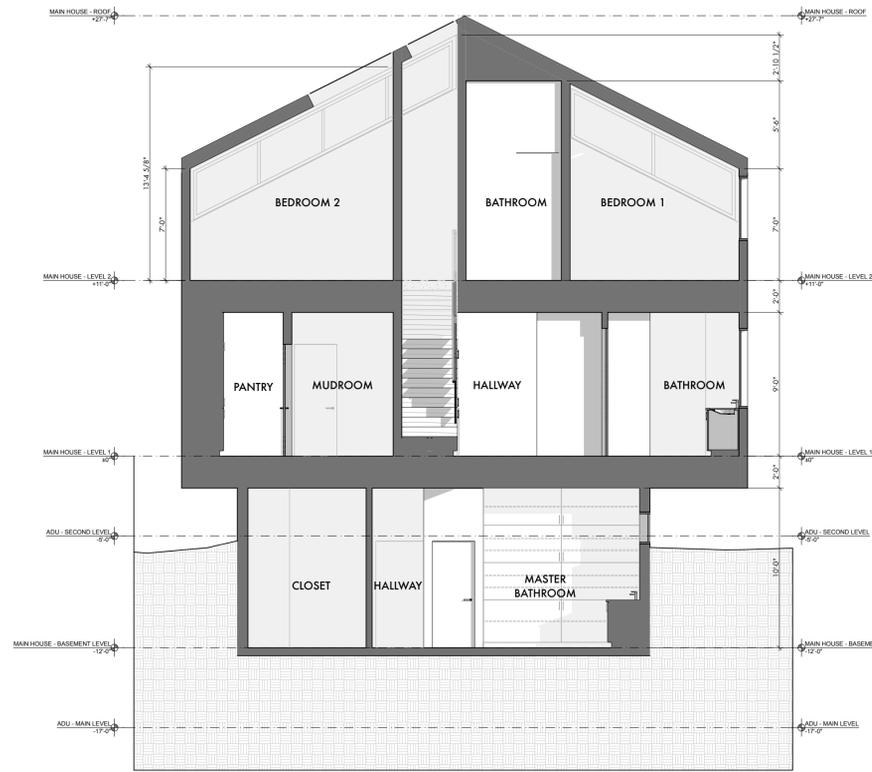
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SHEET TITLE
BUILDING
ELEVATIONS

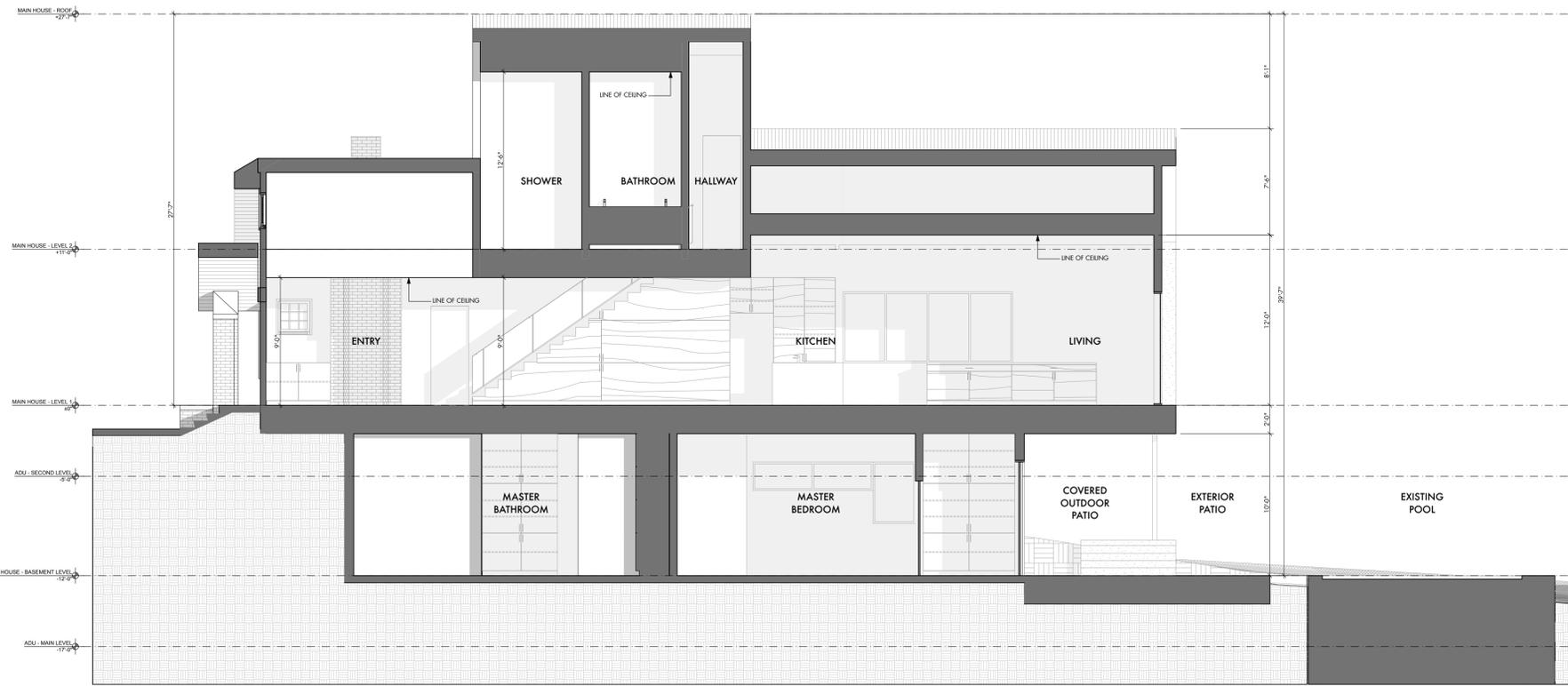
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A2.4

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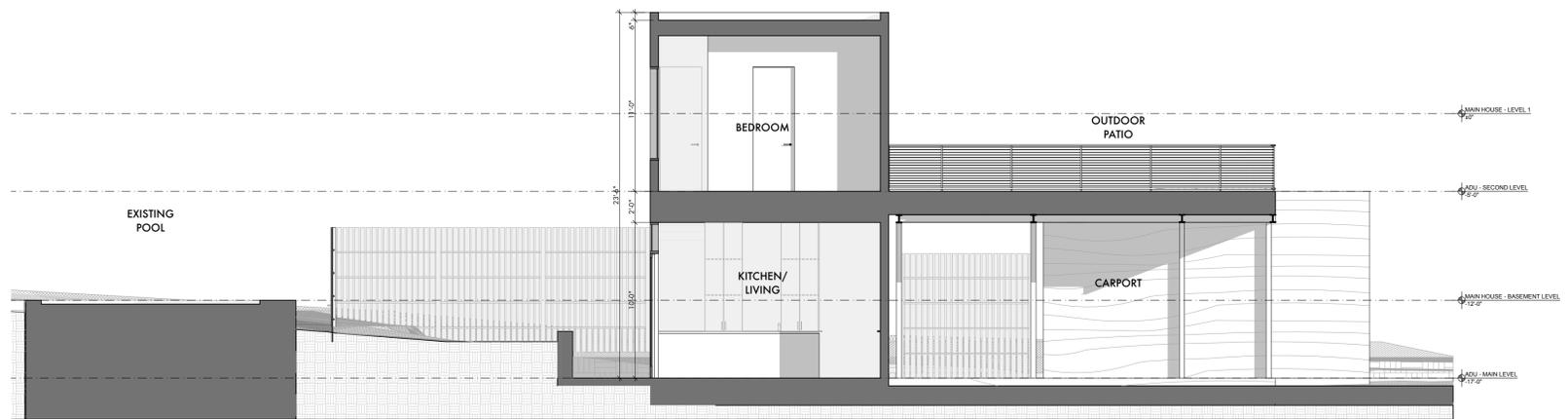
CROSS SECTION THROUGH MAIN HOUSE

SCALE: 3/16" = 1'-0"



LONGITUDINAL SECTION THROUGH MAIN HOUSE

SCALE: 3/16" = 1'-0"



CROSS SECTION THROUGH 3RD ADU

SCALE: 3/16" = 1'-0"



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SHEET TITLE
BUILDING SECTIONS

SHEET
A3.1