

SUBDIVISION REVIEW SHEET**CASE NO.:** C8-2020-0033**COMMISSION DATE:** August 3, 2021**SUBDIVISION NAME:** Saddle Ridge at Wildhorse Ranch Preliminary Plan**ADDRESS:** 10621 Blue Bluff Road**APPLICANT:** Heart of Manor LP**AGENT:** Kimley-Horn and Associates (Kevin Burks)**ZONING:** Wildhorse Ranch PUD**NEIGHBORHOOD PLAN:** Wildhorse Ranch PUD**AREA:** 82.24 acres**LOTS:** 248**COUNTY:** Travis**DISTRICT:** 1**WATERSHED:** Gilleland Creek**JURISDICTION:** Full Purpose**SIDEWALKS:** Sidewalks will be constructed along all internal streets and the subdivision side of Blue Bluff Road.**VARIANCES:** Variances from LDC § 25-8-341, to allow cut over four feet, and LDC § 25-8-342, to allow fill over four feet.**DEPARTMENT COMMENTS:**

The request is for the approval of Saddle Ridge at Wildhorse Ranch Preliminary Plan, consisting of 248 lots on 82.24 acres. The variances from LDC § 25-8-341, to allow cut over four feet, and LDC § 25-8-342, to allow fill over four feet, were approved by the Planning Commission on June 22, 2021. However, the preliminary plan was disapproved at that time.

The recent update for this preliminary plan now complies with the criteria for approval in LDC 25-4-84(B) and staff recommends approval.

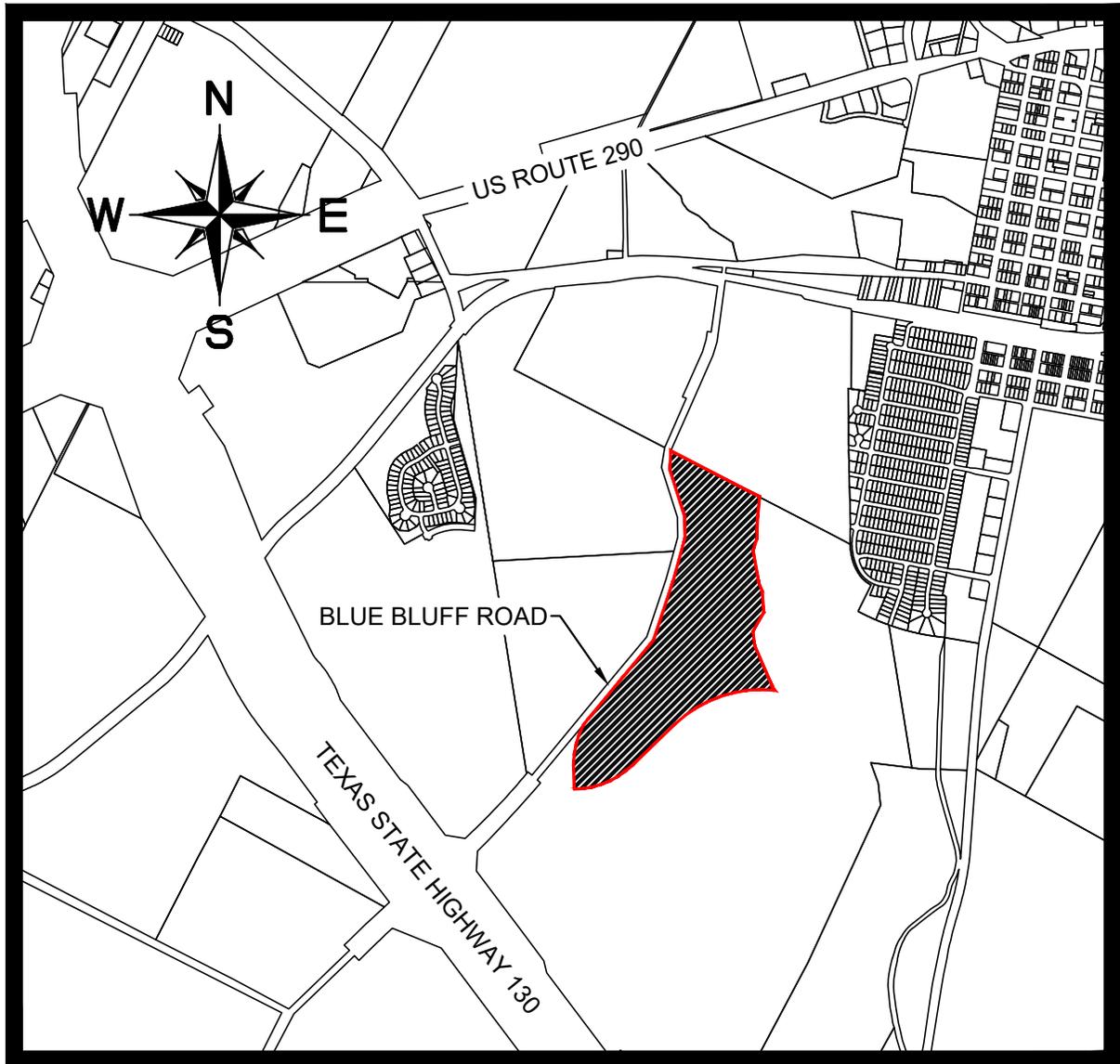
STAFF RECOMMENDATION:

The staff recommends approval of the plat. This plat meets all applicable State and City of Austin LDC requirements.

CASE MANAGER: Jennifer Bennett**PHONE:** 512-974-9002**EMAIL:** jennifer.bennett-reumuth@austintexas.gov**ATTACHMENTS**

Exhibit A: Vicinity map

Exhibit B: Proposed preliminary plan



LOCATION MAP

SCALE: 1" = 2,000'

C:\A. TRAVIS 10/28/2018 9:50 AM
K:\AUS.CIVIL\08244619-WILDHORSE BLUE BLUFF\PRELIMINARY\CAD\EXHIBITS\PLANSHEETS\LOCATION MAP.DWG
10/25/2018 10:23 AM

PLOTTED BY
DNG NAME
LAST SAVED

BLUE BLUFF AT WILDHORSE RANCH

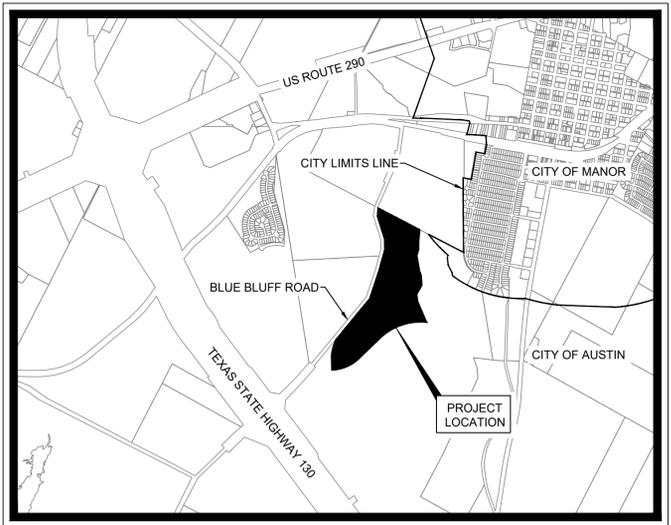
AUSTIN, TEXAS
OCTOBER 2019

Kimley»Horn

10814 Jollyville Road
Campus IV, Suite 300
Austin, Texas 78759
737-471-0157
State of Texas Registration No. F-928

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED WITHOUT THE BENEFIT OF A SURVEY. TOPOGRAPHY, UTILITIES, CONTACT WITH THE CITY, ETC.

PRELIMINARY PLAN FOR SADDLE RIDGE AT WILDHORSE RANCH CITY OF AUSTIN, TRAVIS COUNTY, TEXAS



VICINITY MAP
SCALE: 1" = 2,000'
MAPSCO GRID #559A, #559B, #559E & #559F
DRAINAGE BASIN: WILDHORSE TP

FEBRUARY 2020

LEGAL DESCRIPTION

82.25 ACRES OF LAND SITUATED IN THE JAMES MANOR SURVEY NO. 39, ABSTRACT NO. 528, TRAVIS COUNTY, TEXAS; AND BEING A PORTION OF A CALLED 652.489 ACRE TRACT OF LAND DESCRIBED IN INSTRUMENT TO HEART OF MANOR, LP RECORDED IN DOCUMENT NO. 2007037703 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS

SADDLE RIDGE AT WILDHORSE RANCH - STREET TABLE						
STREET	RIGHT OF WAY	PAVEMENT (FOC-FOC)	CLASSIFICATION	TCM STREET STANDARD No.	CROSS SECTION	LINEAR FEET
SILVER CLOUD COVE	50'	30'	LOCAL ROAD	10005-10	BACK OF CURB	182'
RING EYE COVE	50'	30'	LOCAL ROAD	10005-10	BACK OF CURB	128'
THUNDER COB COVE	50'	30'	LOCAL ROAD	10005-10	BACK OF CURB	91'
CHAMP TRAIL	50'	30'	LOCAL ROAD	10005-10	BACK OF CURB	294'
GOLD ZEPHYR WAY	50'	30'	LOCAL ROAD	10005-10	BACK OF CURB	291'
GOODEYE TRAIL	50'	30'	LOCAL ROAD	10005-10	BACK OF CURB	447'
KOKO CAYUSE TRAIL	50'	30'	LOCAL ROAD	10005-10	BACK OF CURB	819'
CRAZY ALICE RUN	50'	30'	LOCAL ROAD	10005-10	BACK OF CURB	779'
GOLDEN CLOUD BEND	50'	30'	LOCAL ROAD	10005-10	BACK OF CURB	968'
ZIP COCHISE WAY	50'	30'	LOCAL ROAD	10005-10	BACK OF CURB	836'
THUNDERBOLT LANE	50'	30'	LOCAL ROAD	10005-10	BACK OF CURB	636'
TRIGGER JUNIOR PASS	50'	30'	LOCAL ROAD	10005-10	BACK OF CURB	701'
OLLIE MOKE TRAIL	50'	30'	LOCAL ROAD	10005-10	BACK OF CURB	688'
TOTAL						6860'

SADDLE RIDGE AT WILDHORSE RANCH - LAND USE SUMMARY			
USE	ACREAGE	# OF LOTS	% OF PROJECT
Single Family Residential	34.84	AC.	234
Water Quality, Drainage	35.77	AC.	6
Greenbelt, Landscape, and P.U.E	3.15	AC.	13
Right-of-Way	8.49	AC.	-
TOTAL	82.25	AC.	100.00%

BLUE BLUFF AT WILDHORSE RANCH APPENDIX Q-1	
TOTAL GROSS SITE AREA=	82.25 ACRES
SITE DEDUCTIONS	
CRITICAL WATER QUALITY ZONE (CWQZ) =	0.00 ACRES
WATER QUALITY TRANSITION ZONE (WQ TZ) =	0.86 ACRES
WASTEWATER IRRIGATION AREAS =	0 ACRES
DEDUCTION SUBTOTAL =	0.86 ACRES
<i>(NOTE: PER APPENDIX F OF THE WILDHORSE RANCH PUD ORDINANCE #020214-28, CWQZ/WQ TZ DELINEATED FROM 64-320 ACRE DRAINAGE BASINS ARE NOT INCLUDED IN NET SITE AREA DEDUCTIONS.)</i>	
UPLAND AREA (GROSS SITE AREA MINUS TOTAL DEDUCTIONS) =	81.39 ACRES
NET SITE AREA CALCULATION	
AREA OF UPLANDS WITH SLOPES 0 - 15% =	74.28 X 100% = 74.28 ACRES
AREA OF UPLANDS WITH SLOPES 15 - 25% =	5.98 X 40% = 2.39 ACRES
AREA OF UPLANDS WITH SLOPES 25 - 35% =	0.89 X 20% = 0.18 ACRES
AREA OF UPLANDS WITH SLOPES > 35% =	0.23 X 0% = 0 ACRES
NET SITE AREA TOTAL =	76.85 ACRES

BLUE BLUFF AT WILDHORSE RANCH APPENDIX Q-2 IMPERVIOUS COVER			
ALLOWABLE IMPERVIOUS COVER			
Single Family	IMPERVIOUS COVER ALLOWED AT	60 % X	45.12 ACRES 27.07 ACRES
Drainage, Water Quality, P.U.E, Landscape, and Greenbelt			
		45 % X	37.13 ACRES 16.71 ACRES
		85 % X	6.83 ACRES 7.33 ACRES
Right of Way			
TOTAL IMPERVIOUS COVER ALLOWED = 51.11 ACRES			
ALLOWABLE IMPERVIOUS COVER BREAKDOWN BY SLOPE CATEGORY			
TOTAL ACREAGE 15 - 25% = 5.98 X 10% = 0.60 ACRES			
PROPOSED TOTAL IMPERVIOUS COVER			
TOTAL PROPOSED IMPERVIOUS COVER = 21.66 ACRES 26.3 %			
PROPOSED IMPERVIOUS COVER ON SLOPES			
SLOPE CATEGORIES	ACRES	BUILDING AND OTHER	IMPERVIOUS COVER
		ACRES	DRIVEWAYS /
		% OF CATEGORY	ACRES
0 - 15%	75.92	12.76	16.8%
15 - 25%	5.20	0.27	5.2%
25 - 35%	0.91	0.00	0.0%
OVER 35%	0.22	0.00	0.0%
TOTAL SITE AREA 82.25 ACRES			

LOT SIZE	NUMBER OF LOTS	ASSUMED IC PER LOT (SF)	PROPOSED IC (SF)
GREATER THAN 3 AC.	1	10,000	10,000
GREATER THAN 1 AC. AND NO MORE THAN 3 AC.	2	7,000	14,000
GREATER THAN 15,000 SF AND NO MORE THAN 1 AC.	7	5,000	35,000
GREATER THAN 10,000 SF AND NO MORE THAN 15,000 SF	11	3,500	38,500
10,000 SF OR LESS IN SIZE	232	2,500	580,000
TOTAL LOTS AND PROPOSED IC	253		677500
ROW IMPERVIOUS COVER			369824
OTHER IMPERVIOUS COVER, SUCH AS STORMWATER POND ACCESS DRIVES			70263
TOTAL			1117587

SHEET INDEX

Sheet Number	Sheet Title
1	COVER SHEET
2	PRELIMINARY PLAN (1 OF 2)
3	PRELIMINARY PLAN (2 OF 2)

PRELIMINARY SUBDIVISION APPROVAL SHEET 1 OF 3
FILE NUMBER C8-2020-0033 APPLICATION DATE 02.25.2021
APPROVED BY THE LAND USE COMMISSION ON _____, 2021.
EXPIRATION DATE (LDC 25-4-62) _____
CASE MANAGER:

Denise Lucas, Director, Development Services Department
Final plats must be recorded by the Expiration Date. Subsequent Site Plans which do not comply with the Code current at the time of filing, and require Building Permits or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

I, KEVIN J. BURKS, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING AND HEREBY CERTIFY THAT THIS PLAN IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF TITLE 25 OF THE AUSTIN LAND DEVELOPMENT CODE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.



REGISTERED PROFESSIONAL ENGINEER 07/28/2021 DATE



Know what's below.
Call before you dig.
BENCHMARKS

BM #27 1/2" SET ON SOUTHEAST CORNER OF TRANSMISSION TOWER LEG BASE 182' SOUTH OF THE END OF CURB ON THE SOUTH SIDE OF WILDHORSE TRAIL. ELEV.=640.40'

GENERAL NOTES:

- THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF AUSTIN. FULL PURPOSE ANNEXATION, AND IS DESIGNATED AS A PLANNED UNIT DEVELOPMENT (PUD) IN ACCORDANCE WITH ORDINANCE NO. 020214-28.
- THIS PRELIMINARY PLAN IS GOVERNED BY THE (i) WILDHORSE RANCH PUD ORDINANCE NO.02021428, APPROVING THE PUD ZONING BASE DISTRICT FOR THE PROPERTY, (ii) THE PUD LAND USE PLAN, AND (iii) EXCEPT AS OTHERWISE PROVIDED IN THE ZONING ORDINANCE AND THE PUD LAND USE PLAN TO THE CONTRARY, THE RULES AND REGULATIONS SET FORTH IN EFFECT UPON APPROVAL OF THE PUD.
- WATER AND WASTEWATER SERVICE FOR THE WILDHORSE RANCH PUD WILL BE PROVIDED BY THE CITY OF AUSTIN.
- THE WATER AND WASTEWATER UTILITY SYSTEM SERVING THIS SUBDIVISION MUST BE IN ACCORDANCE WITH THE CITY OF AUSTIN DESIGN CRITERIA. THE WATER AND WASTEWATER UTILITY PLAN MUST BE REVIEWED AND APPROVED BY THE AUSTIN WATER UTILITY. ALL WATER AND WASTEWATER CONSTRUCTION MUST BE INSPECTED BY THE CITY OF AUSTIN. THE LANDOWNER MUST PAY THE CITY INSPECTION FEE WITH THE UTILITY CONSTRUCTION.
- ANY REQUIRED EASEMENTS WILL BE PROVIDED AT THE TIME OF FINAL PLAT(S) OR SITE PLANS APPROVAL AND WILL BE DEDICATED BY SEPARATE INSTRUMENT OR FINAL PLAT.
- PRIOR TO CONSTRUCTION, DRAINAGE PLANS WILL BE SUBMITTED TO THE CITY OF AUSTIN'S DEVELOPMENT SERVICES DEPARTMENT.
- ALL SITE DEVELOPMENT REGULATIONS, INCLUDING BUT NOT LIMITED TO IMPERVIOUS COVER, BUILDING SQUARE FOOTAGE, BUILDING HEIGHT, FLOOR TO AREA RATIOS AND SETBACKS, ARE ESTABLISHED AND GOVERNED BY THE SITE DEVELOPMENT CRITERIA TABLE APPEARING ON THE WILDHORSE RANCH PUD LAND USE PLAN, OTHER THAN THOSE SPECIFICALLY ADDRESSED BY VARIANCES.
- ALL STREETS, DRIVEWAYS, SIDEWALKS, WATER, WASTEWATER, AND STORM SEWER LINES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE CITY OF AUSTIN STANDARDS.
- LANDSCAPING FOR ANY DEVELOPMENT WITHIN THE WILDHORSE RANCH PUD WILL MEET OR EXCEED THE LANDSCAPE REQUIREMENTS SET FORTH IN THE LDC, AS SUCH REQUIREMENTS EXIST AT THE TIME OF APPROVAL OF THIS PRELIMINARY. XERISCAPING IS ENCOURAGED WHENEVER REASONABLY PRACTICAL.
- ALL DEVELOPMENT WITHIN THE WILDHORSE RANCH PUD WILL COMPLY WITH THE MOST CURRENT CITY OF AUSTIN GREEN BUILDER STANDARDS AT A MINIMUM RATING OF ONE STAR.
- A TRAIL NETWORK WILL BE DESIGNED AND CONSTRUCTED FOR SUBDIVISIONS WITHIN THE WILDHORSE RANCH PUD, INCLUDING CONVENTIONAL SIDEWALKS AND ALTERNATIVES, SUCH AS HIKE AND BIKE TRAILS. MAINTENANCE OF THE NETWORK WILL BE THE RESPONSIBILITY OF AN OWNER'S ASSOCIATION. THE NETWORK WILL BE DESIGNED TO PROMOTE PEDESTRIAN AND BICYCLE ACCESSIBILITY WITHIN NEIGHBORHOODS, TO AREA PARKS, AND OTHER COMMUNITY FACILITIES AND NATURAL AREAS. WHERE APPROPRIATE, BOX CULVERTS MAY BE UTILIZED FOR PEDESTRIAN AND BICYCLE CROSSINGS AT A MINIMUM OF 10 FEET IN HEIGHT.
- PARKLAND REQUIREMENTS FOR THIS DEVELOPMENT WILL BE SATISFIED AT FINAL PLAT.
- BUILDING SETBACK LINES SHALL BE IN CONFORMANCE WITH THE WILDHORSE RANCH PUD ORDINANCE NO.020214-28.
- ELECTRIC SERVICE WILL BE PROVIDED BY BLUEBONNET ELECTRIC COOPERATIVE.
- FOR LOTS WITH A 15' FRONT BUILDING LINE, GARAGES MUST BE AT LEAST FIVE FEET BEHIND THE FRONT FACADE OF THE PRINCIPLE STRUCTURE. FOR A GARAGE WITHIN 20 FEET OF THE FRONT FACADE, THE WIDTH OF THE GARAGE MAY NOT EXCEED 50 PERCENT OF THE WIDTH OF THE FRONT FACADE.
- NO BUILDINGS, FENCES, LANDSCAPING OR OTHER OBSTRUCTIONS ARE PERMITTED IN DRAINAGE EASEMENTS EXCEPT AS APPROVED BY THE CITY OF AUSTIN.
- ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS ASSIGNS UNLESS OTHERWISE DESCRIBED.
- PROPERTY OWNER SHALL PROVIDE FOR ACCESS TO DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY GOVERNMENTAL AUTHORITIES.
- PUBLIC SIDEWALKS, BUILT TO CITY OF AUSTIN STANDARDS, ARE REQUIRED ALONG THE FOLLOWING STREETS: SILVER CLOUD COVE, RING EYE COVE, THUNDER COB COVE, CHAMP TRAIL, GOLD ZEPHYR WAY, GOODEYE TRAIL, KOKO CAYUSE TRAIL, CRAZY ALICE RUN, GOLDEN CLOUD BEND, ZIP COCHISE WAY, THUNDERBOLT LANE, TRIGGER JUNIOR PASS, AND OLLIE MOKE TRAIL. THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE LOT BEING OCCUPIED. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
- PRIOR TO THE RECORDING OF ANY FINAL PLAT OF ALL OR A PORTION OF THIS PRELIMINARY PLAN, FISCAL SECURITY SHALL BE PROVIDED IN ACCORDANCE WITH LDC 25-1-112 OF THE LAND DEVELOPMENT CODE FOR THE FOLLOWING SUBDIVISION IMPROVEMENTS:
 - STREET CONSTRUCTION AND RELATED INFRASTRUCTURE, INCLUDING PAVING, DRAINAGE, SIDEWALKS, WATER SUPPLY AND WASTEWATER COLLECTION, FOR THE FOLLOWING STREETS:
SILVER CLOUD COVE, RING EYE COVE, THUNDER COB COVE, CHAMP TRAIL, GOLD ZEPHYR WAY, GOODEYE TRAIL, KOKO CAYUSE TRAIL, CRAZY ALICE RUN, GOLDEN CLOUD BEND, ZIP COCHISE WAY, THUNDERBOLT LANE, TRIGGER JUNIOR PASS, AND OLLIE MOKE TRAIL.
FISCAL SECURITY IS NOT REQUIRED FOR STREETS NOT LISTED IN SUBSECTION (A).
 - ENVIRONMENTAL AND SAFETY CONTROLS, AND OTHER RELATED ITEMS (e.g., EROSION AND SEDIMENTATION CONTROLS, RESTORATION, CHANNEL WORK, PIPE IN EASEMENTS, DETENTION, WATER QUALITY PONDS, ETC.) AS DETERMINED PRIOR TO FINAL PLAT APPROVAL. THE RESTORATION COST ESTIMATE WILL BE BASED ON DISTURBED AREAS INCLUDING THE FOLLOWING STREETS:
SILVER CLOUD COVE, RING EYE COVE, THUNDER COB COVE, CHAMP TRAIL, GOLD ZEPHYR WAY, GOODEYE TRAIL, KOKO CAYUSE TRAIL, CRAZY ALICE RUN, GOLDEN CLOUD BEND, ZIP COCHISE WAY, THUNDERBOLT LANE, TRIGGER JUNIOR PASS, AND OLLIE MOKE TRAIL.
- THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF AUSTIN. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR REPLATTING MAY BE REQUIRED, AT THE OWNER'S EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- STANDARD STREET SIGNS WILL BE INSTALLED AT ALL STREET INTERSECTIONS.
- STREETS WILL BE CONSTRUCTED TO CITY OF AUSTIN STANDARDS AND DEDICATED AS PUBLIC RIGHT-OF-WAY WITH THE FINAL PLAT IN ACCORDANCE WITH LDC 25-6-171(a).
- GILLELAND CREEK - PRIOR TO CONSTRUCTION ON LOTS IN THIS SUBDIVISION, DRAINAGE PLANS WILL BE SUBMITTED TO THE CITY OF AUSTIN FOR REVIEW. RAINFALL RUNOFF SHALL BE HELD TO THE AMOUNT EXISTING AT UNDEVELOPED STATUS BY PONDING OR OTHER APPROVED METHODS.
- EACH LOT SUBDIVISION SHALL HAVE SEPARATE SEWER TAPS, SEPARATE WATER METERS, AND THEIR RESPECTIVE PRIVATE WATER AND SEWER SERVICE LINES SHALL BE POSITIONED OR LOCATED IN A MANNER THAT WILL NOT CROSS LOT LINES.
- TOPOGRAPHY SOURCE: KIMLEY-HORN AND ASSOCIATES, INC. 601 NW LOOP 410, SUITE 350, SAN ANTONIO, TEXAS 78216.
- EROSION / SEDIMENTATION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION OF EACH LOT, INCLUDING SINGLE-FAMILY AND DUPLEX CONSTRUCTION, PURSUANT TO LDC AND THE ENVIRONMENTAL CRITERIA MANUAL.
- WATER QUALITY CONTROLS ARE REQUIRED FOR ALL DEVELOPMENT WITH IMPERVIOUS COVER IN EXCESS OF 20% OF THE NET SITE AREA OF EACH LOT, PURSUANT TO LDC.
- A LAND USE COMMISSION ENVIRONMENTAL VARIANCE TO SECTION 25-8-341 & 25-8-342 FOR CUT & FILL TO EXCEED NOT MORE THAN 14.9 FEET OF DEPTH, HAS BEEN APPROVED FOR THIS SITE BY THE LAND USE COMMISSION ON JUNE 22, 2021.
- NO SINGLE FAMILY LOTS ARE ALLOWED DIRECT ACCESS TO BLUE BLUFF ROAD OR THE FUTURE WILDHORSE CONNECTOR.
- THE CITY WILL BE RESPONSIBLE FOR WATER QUALITY AND DETENTION FACILITIES MAINTENANCE.
- IN ACCORDANCE WITH SECTION 25-8-303, THE FOLLOWING SINGLE-FAMILY LOTS HAVE SLOPES 15-25%: BLK. A, LOTS 57-59, 61-68; BLK. B, LOTS 8-10; BLK. D, LOTS 1, 2, 7-10, 16, 17, 33; BLK. F, LOTS 1, 5, 6, 11-15, 17-19, 26, 27; BLK. G, LOTS 3-5, 7-9, 12, 13; BLK. H, LOTS 1, 4-6; BLK. I, LOTS 1-3, 5-15; BLK. J, LOTS 1-10; BLK. K, LOTS 5, 6; BLK. L, LOTS 8, 12, 13; BLK. M, LOTS 2-4, 6, 8, 9, 13, 15, 17-24.
- BLK. A, LOTS 1, 10; BLK. B, LOT 11; BLK. C, LOTS 1, 2; BLK. E, LOTS 1, 2; BLK. H, LOT 7; BLK. I, LOT 16; BLK. L, LOT 14; BLK. M, LOTS 1, 7, 14, 25; WILL BE MAINTAINED BY THE OWNER OR HIS/HER ASSIGNS. NO RESIDENTIAL DEVELOPMENT SHALL BE ALLOWED ON THESE LOTS.
- NO LOT SHALL BE OCCUPIED UNTIL THE STRUCTURE IS CONNECTED TO THE CITY OF AUSTIN WATER AND WASTEWATER UTILITY SYSTEM.
- WITHIN A SIGHT LINE EASEMENT ANY OBSTRUCTION OF SIGHT DISTANCE BY VEGETATION, FENCING, EARTHWORK, BUILDINGS, SIGNS, PARKED CARS, OR ANY OTHER OBJECT WHICH IS DETERMINED TO CAUSE A TRAFFIC HAZARD IS PROHIBITED AND MAY BE REMOVED BY THE CITY OF AUSTIN AT THE OWNERS EXPENSE. THE PROPERTY OWNER IS TO MAINTAIN AN UNOBSTRUCTED VIEW CORRIDOR WITH THE BOUNDS OF SUCH EASEMENT AT ALL TIMES.
- THIS PROJECT IS LOCATED IN THE GILLELAND CREEK WATERSHED, WHICH IS CLASSIFIED AS A SUBURBAN WATERSHED.
- THE DISTURBED AREAS WITHIN THIS PROJECT SHALL BE REVEGETATED AND ALL PERMANENT EROSION/SEDIMENTATION CONTROLS COMPLETED PRIOR TO THE RELEASE OF FISCAL SURETY FOR THAT PHASE. TEMPORARY EROSION/SEDIMENTATION CONTROLS SHALL BE ADJUSTED AS NEEDED PRIOR TO THIS RELEASE TO ENSURE THAT SUBSEQUENT PHASE DISTURBED AREAS ARE ADEQUATELY COVERED. ANY AREA WITHIN THE LIMIT OF DISTURBANCE OF THE PROJECT WHICH IS NOT ADEQUATELY REVEGETATED SHALL BE BROUGHT INTO COMPLIANCE PRIOR TO THE RELEASE OF THE FINAL PHASE.
- INSPECTION FEES REQUIRED FOR CONSTRUCTION OF THIS SITE PLAN SHALL BE PAID TO THE APPROPRIATE AGENCY OR DEPARTMENT PRIOR TO THE PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF AUSTIN.
- IF AT ANY TIME DURING CONSTRUCTION OF THIS PROJECT AN UNDERGROUND STORAGE TANK (UST) IS FOUND, CONSTRUCTION IN THAT AREA MUST STOP UNTIL A CITY OF AUSTIN UST CONSTRUCTION PERMIT IS APPLIED FOR AND APPROVED. ANY UST REMOVAL WORK MUST BE CONDUCTED BY A UST CONTRACTOR THAT IS REGISTERED WITH THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ).
- A PORTION OF THIS SITE IS LOCATED IN THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S 100-YEAR FLOODPLAIN ACCORDING TO FLOOD INSURANCE RATE MAP #48453C0480J DATED AUGUST 18, 2014.

OWNER/DEVELOPER

HEART OF MANOR, LP
9900 US HIGHWAY 290 E
MANOR, TX 78653
TEL: (215) 283-1121
CONTACT: WILLIAM A. PERUZZI

ENGINEER



10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300
AUSTIN, TEXAS 78759
CERTIFICATE OF REGISTRATION #928
CONTACT: KEVIN J. BURKS, P.E.

Tel No. (512) 418-1771
Fax No. (512) 418-1791

Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300, AUSTIN, TX 78759
PHONE: 512-418-1771 FAX: 512-418-1791
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM F-928

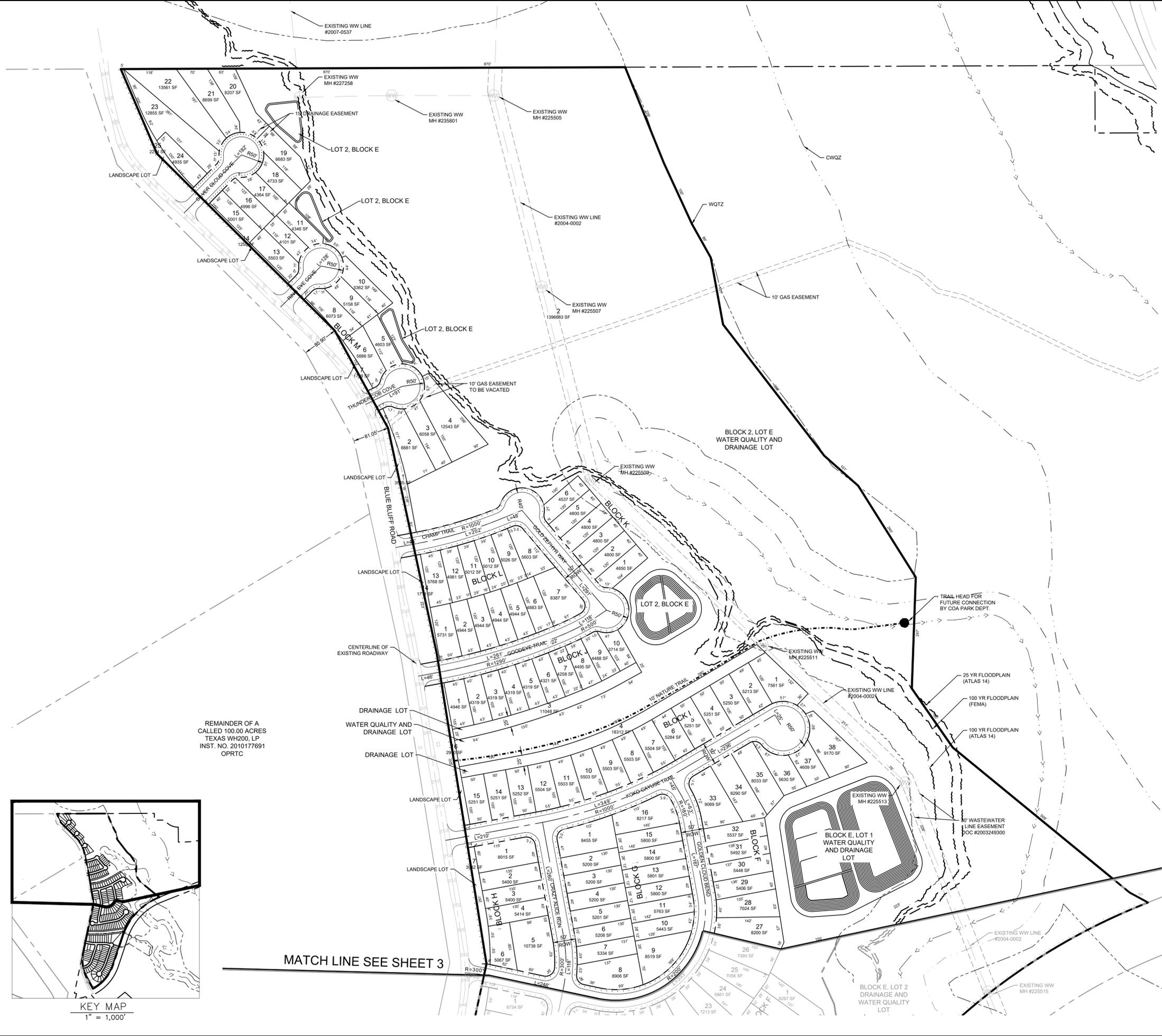
KHA PROJECT	069244519
DATE	JULY 2021
SCALE	AS SHOWN
DESIGNED BY	KJB
DRAWN BY	AUF
CHECKED BY	KJB

COVER SHEET

SADDLE RIDGE AT WILDHORSE RANCH
CITY OF AUSTIN
TRAVIS COUNTY, TEXAS

SHEET NUMBER
1 OF 3

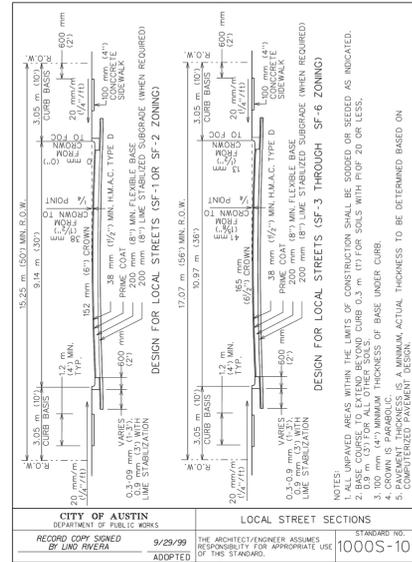
Plotted By: Costey, Mesrop Date: July 27, 2021 03:30:57pm File Path: K:\Users\costey\OneDrive\Documents\Drawings\2021\07\27\20210727_033057pm_Preliminary Plan.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



GRAPHIC SCALE 100'

LEGEND

- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- PROPOSED SIDEWALK
- EXISTING CEF TO REMAIN
- EXISTING CEF BUFFER
- CRITICAL WATER QUALITY ZONE
- WATER QUALITY TREATMENT ZONE
- CREEK CENTERLINE
- EXISTING CONTOUR
- ATLAS 14 25 YEAR FLOODPLAIN
- ATLAS 14 100 YEAR FLOODPLAIN
- FEMA 100 YEAR FLOODPLAIN
- CRITICAL WATER QUALITY ZONE
- WATER QUALITY TRANSITION ZONE
- TRAIL
- SIDEWALK

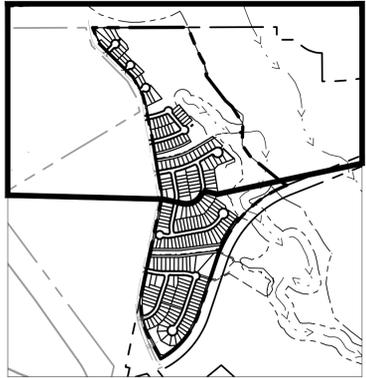


PRELIMINARY SUBDIVISION APPROVAL SHEET 2 OF 3
FILE NUMBER C8-2020-0033 APPLICATION DATE 02-25-2021
APPROVED BY THE LAND USE COMMISSION ON _____, 2021.
EXPIRATION DATE (LDC 25-4-62) _____
CASE MANAGER:
Denise Lucas, Director, Development Services Department
Final plats must be recorded by the Expiration Date. Subsequent Site Plans which do not comply with the Code current at the time of filing, and require Building Permits or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



Know what's below. Call before you dig. BENCHMARKS

BM #27 10' SET ON SOUTHEAST CORNER OF TRANSMISSION TOWER LEG BASE 182' SOUTH OF THE END OF CURB ON THE SOUTH SITE OF WILDHORSE TRAIL. ELEV = 640.40'



1" = 1,000'

MATCH LINE SEE SHEET 3

REMAINDER OF A CALLED 100.00 ACRES TEXAS WH200, LP INST. NO. 2010177691 OPRTC

NO.	REVISIONS	DATE	BY

Kimley-Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
10814 JOLLYVILLE ROAD, AVALON IV, SUITE 200, AUSTIN, TX 78759
PHONE: 512-418-1771 FAX: 512-418-1791
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM F-928



KHA PROJECT	069244519
DATE	JULY 2021
SCALE	AS SHOWN
DESIGNED BY	KJB
DRAWN BY	AUF
CHECKED BY	KJB

PRELIMINARY PLAN
(1 OF 2)

SADDLE RIDGE AT WILDHORSE RANCH
CITY OF AUSTIN
TRAVIS COUNTY, TEXAS

SHEET NUMBER 2 OF 3

Plotted By: Costley, Messian Date: July 27, 2021 03:31:10pm File Path: K:\Users\cval\069244519-wildhorse-blue-bluff\preliminary\Cad\plan\streets\C- Preliminary Plan.dwg
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



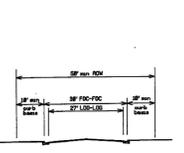
GRAPHIC SCALE 100'

LEGEND

- PROPERTY LINE
- LOT LINE
- - - EASEMENT LINE
- · · · · PROPOSED SIDEWALK
- - - EXISTING CEF TO REMAIN
- - - EXISTING CEF BUFFER
- - - CEFB
- - - CRITICAL WATER QUALITY ZONE
- - - WATER QUALITY TREATMENT ZONE
- - - CREEK CENTERLINE
- - - EXISTING CONTOUR
- - - ATLAS 14 25 YEAR FLOODPLAIN
- - - ATLAS 14 100 YEAR FLOODPLAIN
- - - FEMA 100 YEAR FLOODPLAIN
- - - CRITICAL WATER QUALITY ZONE
- - - WATER QUALITY TRANSITION ZONE
- - - TRAIL
- - - SIDEWALK

Typical ADT Range: Less than 1000
 Design Speed: 25-30 mph
 General Length: Less than 1500'
 Minimum Centerline Radius: See Page L-1
 Minimum Tangent Length: Between Horizontal Curves: 50'
 Minimum Curve Width: 30'
 Spacing: 50' or 100' (as comparable land used)

TYPICAL CROSS-SECTION



* NOTE: See Figure 1-23 for design criteria for local streets where SF-3 thru SF-6 spacing is proposed.
 Source: City of Austin Transportation and Public Services Department

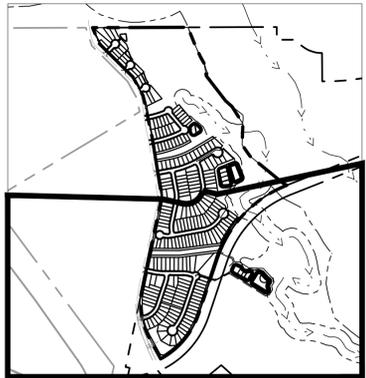
TCM FIG. 1-22

PRELIMINARY SUBDIVISION APPROVAL SHEET 3 OF 3
 FILE NUMBER C8-2020-0033 APPLICATION DATE 02.25.2021
 APPROVED BY THE LAND USE COMMISSION ON _____, 2021.
 EXPIRATION DATE (LDC 25-4-62)
 CASE MANAGER:
 Denise Lucas, Director, Development Services Department
 Final plats must be recorded by the Expiration Date. Subsequent Site Plans which do not comply with the Code current at the time of filing, and require Building Permits or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



Know what's below.
 Call before you dig.
 BENCHMARKS

BM #27 10' SET ON SOUTHEAST CORNER OF TRANSMISSION TOWER LEG BASE 182' SOUTH OF THE END OF CURB ON THE SOUTH SIDE OF WILDHORSE TRAIL. ELEV = 640.40'



KEY MAP
1" = 1,000'

Kimley-Horn
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 TEXAS REGISTERED ENGINEERING FIRM F-928



07/27/2021
 KHA PROJECT 069244519
 DATE JULY 2021
 SCALE AS SHOWN
 DESIGNED BY: KJB
 DRAWN BY: AJF
 CHECKED BY: KJB

PRELIMINARY PLAN
 (2 OF 2)

SADDLE RIDGE AT
 WILDHORSE RANCH
 CITY OF AUSTIN
 TRAVIS COUNTY, TEXAS

SHEET NUMBER
 3 OF 3