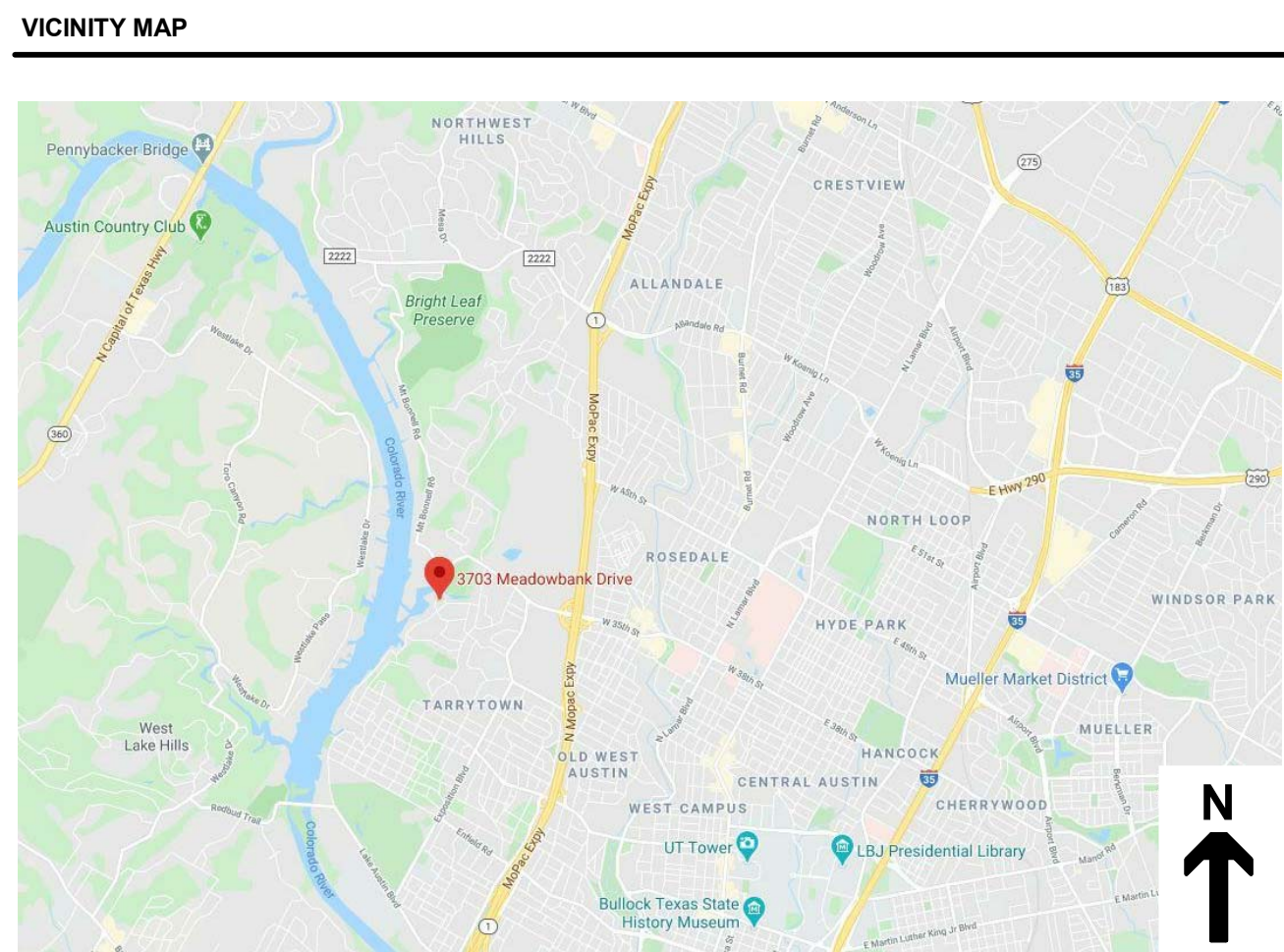


Meadowbank Remodel

Austin, Texas



ABBREVIATIONS

AD	AREA DRAIN	MFCTR	MANUFACTURER
ADJ	ADJUSTABLE	MIN	MINIMUM
AFF	ABOVE FINISH FLOOR	MIR	MIRROR
APPROX	APPROXIMATE	MISC	MISCELLANEOUS
		MTD	MOUNTED
		MTL	METAL
		MUL	MULLION
BLDG	BUILDING	N	NORTH
BOB	BOTTOM OF BEAM	NIC	NOT IN CONTRACT
		NTS	NOT TO SCALE
		NOM	NOMINAL
CB	CATCH BASIN	O	OVEN
CJ	CEILING JOIST	OC	ON CENTER
CL	CENTERLINE	OD	OUTSIDE DIAMETER
CAB	CABINET	OM	OVEN & MICROWAVE
CLG	CEILING	OSB	OSBURE
CLAG	CEILING	OPNG	OPENING
CLO	CLOSET		
CONTR	COUNTER	P TILE	PORCELAIN TILE
COL	COLUMN	PL	PLATE
CONC	CONCRETE	PLAM	PLASTIC LAMINATE
CONSTR	CONSTRUCTION	PW	PLYWOOD
CONT	CONTINUOUS	PLAS	PLASTER
CRPT	CARPET	PW	PLYWOOD
CTR	CENTER OR COUNTER	PRE-CAST	PRE-CAST
CTSK	COUNTERSUNK		
		QB	QUARRY BLOCK
D	DIAMETER		
DF	DOUGLAS FIR	R	RISER OR RADIUS
DO	DOOR OPENING	RD	ROOF DRAIN
DEPT	DOWNSPOUT	RO	ROUGH OPENING
DET	DETAIL	RF	REFRIGERATOR - FREEZER
DIA	DIAMETER	RR	ROOF RAFTER
DIM	DIMENSION	RAD	RADIUS
DN	DOWN	REC	RECOMMENDATION
DR	DOOR	REF	REFERENCE OR REFRIGERATOR
DTL	DETAIL	REINF	REINFORCED
DW	DISHWASHER	REQD	REQUIRED
DWG	DRAWING	REV	REVISION
DWR	DRAWER	RGR	REGISTER
		RM	ROOM
EG	EXISTING GRADE		
EXS	EXISTING	S	SOUTH
EJ	EXPANSION	SC	STONE TILE
ELEV	ELEVATION	SD	SOLID CORE
EQ	EQUAL	SS	STAINLESS STEEL
EQUIP	EQUIPMENT	S.SK	SERVICE SINK
EXP	EXPOSED	SCH	SCHEDULE
EXT	EXTERIOR	SEC	SECTION
		SH	SHIELD
FA	FIRE ALARM	SHWR	SHOWER
FD	FLOOR DRAIN	SIM	SIMILAR
FE	FINISH FACE	SPEC	SPECIFICATION
FF	FINISH FLOOR ELEVATION	STD	STANDARD
FOC	FACE OF CONCRETE	STL	STEEL
FOF	FACE OF FINISH	STOR	STORAGE
FOS	FACE OF STUCCO	STRUCT	STRUCTURAL
FON	FOUNDATION	SYM	SYMMETRICAL
FIN	FINISH		
FLR	FLOOR		
FRZ	FREEZER		
FT	FOOT OR FEET		
FTG	FOOTING		
FURR	FURRING		
		T&G	TONGUE AND GROOVE
GB	GRAB BAR	T	TREAD
GC	GENERAL CONTRACTOR	TB	TOWEL BAR
GA	GAUGE	TC	TOP OF CURB
GALV	GALVANIZED	TO	TOP OF
GL	GLASS OR GLAZING	TOB	TOP OF BEAM
GND	GROUND	TOC	TOP OF CONCRETE
GR	GRADE	TOF	TOP OF FLOOR
GWB	GYPSPUM WALL BOARD	TOW	TOP OF WALL
		TP	TOP OF PAVEMENT
HB	HOSE BIBB	TPD	TOILET PAPER DISPENSER
HC	HANDICAP	TRS	TRUSS
HM	HOLLOW METAL	TV	TELEVISION
HDW	HARDWARE	TOW	TOP OF WALL
HDWD	HARDWOOD	TEL	TELEPHONE
HDWR	HARDWARE	TEMP	TEMPERED
HNCP	HANDICAP	TER	TERRAZO
HORIZ	HORIZONTAL	THK	THICK OR THICKNESS
HR	HOUR	TYP	TYPICAL
HT	HEIGHT		
		UNO	UNLESS NOTES OTHERWISE
ID	INTERIOR DESIGNER	UNF	UNFINISHED
IN	INCHES	URNAL	URNAL
INSUL	INSULATION		
INT	INTERIOR	VERT	VERTICAL
		VEST	VESTIBULE
JST	JOIST	VIF	VERIFY IN FIELD
JT	JOINT	VWB	VERIFY WITH BUILDER
		VWBD	VERIFY WITH BUILDING DESIGNER
KIT	KITCHEN	VWE	VERIFY WITH ELECTRICAL ENGINEER
		VWLD	VERIFY WITH LANDSCAPE DESIGNER
LN	LINEN CLOSET	VWNE	VERIFY WITH MECHANICAL ENGINEER
LB	LEADER BOX	VWO	VERIFY WITH OWNER
LAV	LABORATORY		
LAB	LABORATORY	W	WEST OR WIDTH
LAV	LABORATORY	WC	WATER CLOSET
LKR	LOCKER	WI	WROUGHT IRON
LT	LIGHT	WP	WATERPROOF
LTWT	LIGHTWEIGHT	W or W	WITH
		W/O	WITHOUT
MC	MEDICINE CABINET	WD	WOOD
MO	MASONRY OPENING	WISCOT	WAINSCOT
MECH	MECHANICAL	WT	WEIGHT

PROJECT LEGEND

EXISTING FRAMING WALL	
NEW FRAMING WALL	
EXISTING 5.5" MASONRY	
NEW 5.5" MASONRY	

PROJECT SYMBOLS

ELEVATION	
SECTION	
INTERIOR ELEVATION	
REVISION NUMBER	

PROJECT DATA

PROJECT ADDRESS	3703 MEADOWBANK DR AUSTIN, TX 78703
COUNTY	TRAVIS
ZONING	SF-3
VISITABILITY	N/A - REMODEL
MANANSION (DIAGRAMS ON A-1.1)	YES
IMPERVIOUS COVER	45% - SEE A-2.1 FOR CALCULATIONS
BUILDING COVERAGE	40% - SEE A-2.1 FOR CALCULATIONS
FIRE SUPPRESSION	A FULL RESIDENTIAL SPRINKLER SYSTEM IS REQUIRED AND MUST BE DESIGNED, INSTALLED, AND TESTED IN ACCORDANCE WITH THE 2016 NFPA 1350 OR THE 2015 IRC 709.4 STANDARDS IS REQUIRED. THE PLANS FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THE MULTI-PURPOSE RESIDENTIAL FIRE PROTECTION SPRINKLER SPECIALIST (MRFPS) ENDORSEMENT. THE SPRINKLER PLANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED, AND INSPECTED BY AFD PRIOR TO COVERING THE WALLS AND CEILINGS. A FLOW TEST OF THE MOST DEMANDING AREA WILL BE REQUIRED.
AUDIO / VISUAL	T.B.D.

PROJECT DIRECTORY

OWNER	ANNA & WILL HARDEMAN 3703 MEADOWBANK DRIVE AUSTIN, TEXAS 78703
SURVEYOR	WATERLOO SURVEYORS INC. P.O. BOX 160176 AUSTIN, TX 78716 P: (512) 451-9602
GENERAL CONTRACTOR	FORD STREIB BUILDERS 8510 BUSINESS PARK DR #300 AUSTIN, TX 78759 P: (512) 433-6875
STRUCTURAL	WAY CONSULTING ENGINEERS INC 11615 ANGUS RD # 119 AUSTIN, TX 78701 P: (512) 345-0766
GEOTECHNICAL	T.B.D.
INTERIORS	MARK ASHBY DESIGN 1605 WEST AVE AUSTIN, TX 78701 P: (512) 524-1220
LIGHTING DESIGNER	FOUR POINTS LIGHTING DESIGN 13018 HUNTERS CHASE DRIVE AUSTIN, TX 78729 P: (512) 632-6446
AUDIO / VISUAL	T.B.D.

INDEX OF DRAWINGS

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A-1.2	GENERAL NOTES	
A-1.3	PRODUCT SPECS	
A-1.4	EXISTING FLOOR PLANS	
A-1.5	EXISTING ELEVATIONS	
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A-2.2	SECOND FLOOR PLAN	
A-2.3	ATTIC PLAN	
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A-7.2	SECOND FLOOR POWER PLAN	

1 McMANSON
1/16" = 1'-0"

2 PROTECTED TREES
1/16" = 1'-0"

3 SITE PLAN
1/16" = 1'-0"

LEGAL DESCRIPTION

LOTS 2, 4 & 5, BLOCK B, HERMAN BROWN
ADDITION NO. 2, SECTION 4, A SUBDIVISION
IN TRAVIS COUNTY, TEXAS, ACCORDING TO
THE MAP OR PLAT THEREOF RECORDED IN
VOLUME 19, PAGE 36 OF THE PLAT RECORDS
OF TRAVIS COUNTY, TEXAS.

GENERAL NOTES - PLOT PLAN

1. THE BUILDER IS REQUIRED TO VERIFY ALL EXISTING UTILITIES, METES AND BOUNDS, BUILDING LINES, AND EASEMENTS SHOWN ON THE SURVEY. THIS IS TO BE VERIFIED PRIOR TO MAKING ANY IMPROVEMENTS.
2. ALL STAGING AREAS, PORTA-POTTYS, DUMPSTERS, SILT-FENCING, AND OTHER CONSTRUCTION-RELATED OBJECTS ARE TO BE LOCATED PER TRAVIS COUNTY REQUIREMENTS AS DICTATED BY THE BUILDING PERMIT.
3. A TRAVIS COUNTY APPROVED PERMIT SET OF DRAWINGS IS TO BE ON SITE AT ALL TIMES.
4. CAREFULLY PROTECT ALL TREES AND EXISTING VEGETATION ON THE PROPERTY THAT ARE TO REMAIN PER THE BUILDING PERMIT. VERIFY WITH OWNER FOR ANY TREES THAT WILL REMAIN.
5. THE BUILDER IS RESPONSIBLE FOR MAINTAINING AND CLEAN BUILDING SITE DURING CONSTRUCTION.
6. THE BUILDER IS RESPONSIBLE FOR KEEPING CONSTRUCTION NOISE TO REASONABLE LEVELS. CONSTRUCTION IS ONLY ALLOWED DURING TRAVIS COUNTY APPROVED TIMES.
7. FINISH FLOOR ELEVATIONS (IF F.F.E.) ARE SHOWN ON THE PLOT PLAN. THE NEW FINISH FLOOR ELEVATION SHALL BE A MINIMUM OF 1" ABOVE EXISTING GRADE AT THE FRONT OF THE HOUSE.
8. IT IS ASSUMED THAT THE LOCATIONS OF ALL UTILITIES NOT SHOWN ON THE PLOT PLAN WILL REMAIN IN THE SAME LOCATION UNLESS IT IS NOT POSSIBLE. VERIFY WITH OWNER.
9. THE BUILDER IS RESPONSIBLE FOR MAINTAINING CONSISTENT DRAINAGE AWAY FROM THE NEW HOUSE TO CODE.
10. THE FINAL LOCATION OF THE ADDITIONS SHALL BE STAKED ON SITE BY A SURVEYOR PER THE SITE PLAN. ALL PORTIONS OF THE HOUSE MUST BE LOCATED WITHIN THE BUILDABLE AREA ON THE PROPERTY AND NOT IN ANY SETBACKS OR EASEMENTS.

SITE LEGEND

CONSTRUCTION DUMPSTER	D
CHEMICAL TOILET	T
MATERIALS STAGING AREA	S
TREE PROTECTION FENCE	○
SILT FENCE	SF
CONSTRUCTION FENCE	F
GAS	G
SEWER	SS
WATER	W
TELEPHONE	T
ELECTRICAL	E
WASTE WATER	WW
HVAC EQUIPMENT	H
POOL EQUIPMENT	P
EXISTING HOUSE TO BE DEMO	---
OVERHEAD POWER LINES	---
CONSTRUCTION ACCESS ROUTE	---
DEMO LINE	---

TREES

TREE LEGEND	LO	TREE LIST
LIVE OAK	MGN	527, MGN 14 10"
MAGNOLIA	BFP	531, MGN 11"
BROADLEAF PEAR	MAP	532, MGN 7 6 5"
MAPLE	RO	533, MGN 12 5"
RED OAK	HAC	535, MGN 15"
HACKBERRY	PCN	537, MGN 9 7"
PECAN	PCN	540, MGN 13 12 8"
		579, MGN 17 9"
		582, MGN 17 12 9"
		586, ELM 10"
		642, MGN 10"
		643, MGN 11"
		645, MGN 11 7"
		646, MGN 13"
		683, BFP 12 11"
		688, BFP 18"
		697, BFP 17"
		712, LO 4 11"
		713, LO 38"
		732, LO 18"
PROTECTED		734, LO 22"
PROTECTED		735, HAC 9"
		741, LO 19"
		742, ELM 8"
		745, LO 18"
		746, HAC 14"
		748, LO 27"
		753, RO 8"
		754, RO 12"
		755, RO 10"
PROTECTED		756, ELM 10"
PROTECTED		760, MAP 18"
PROTECTED		768, LO 21 21"
PROTECTED		769, PCN 17"
PROTECTED		802, ELM 21"

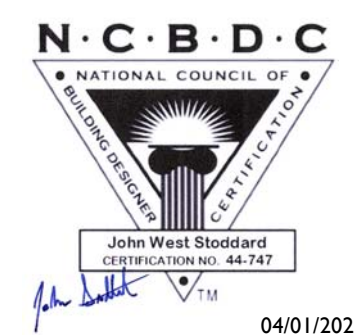
PROTECTED TREE GRAPHICS

	FULL CRZ
	1/2" CRZ
	1/4" CRZ

NOTE:
SEE LANDSCAPE ARCHITECT
FOR POOL, POOL TERRACE,
PLANTERS, STEPS,
OUTDOOR SHOWER, FENCING,
AND ALL SITE DRAINAGE.

NOTE:
REFER TO TREE PLAN
FOR ALL PROTECTED
TREES

NOTE:
LOTS 2 & 4 ARE TO BE
JOINED WITH A UNIFIED
DEVELOPMENT AGREEMENT.



04/01/2021

Meadowbank Remodel

Project Number : 2019.10

3703 Meadowbank Dr, Austin, TX 78703

Project Status : CD

Issue Date : T.B.D.

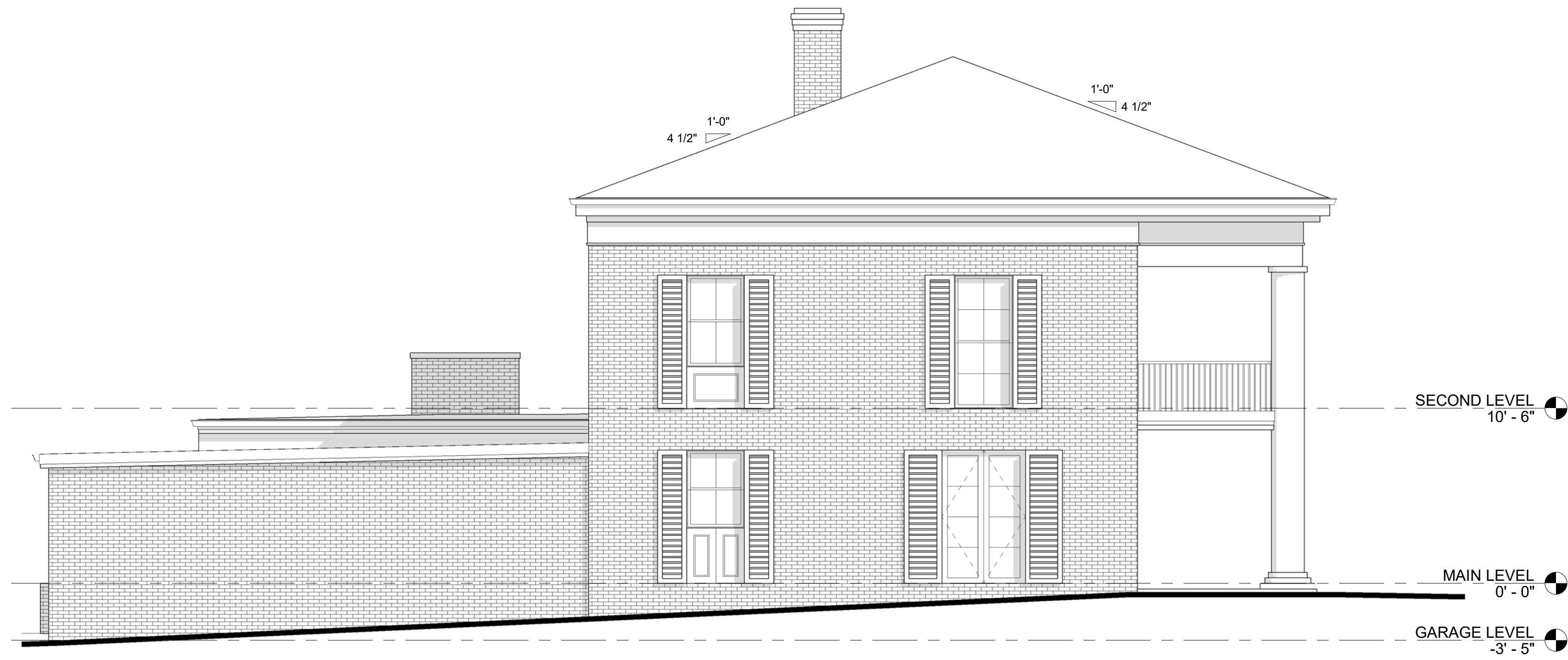
DRAWN BY: JWS
CHECKED BY: JWS
DATE: 04/01/2021
PERMIT:
REVISED:
REVISED:

SITE PLAN,
TREES, &
McMANSON

A-1.1



① EXISTING FRONT ELEVATION
3/16" = 1'-0"



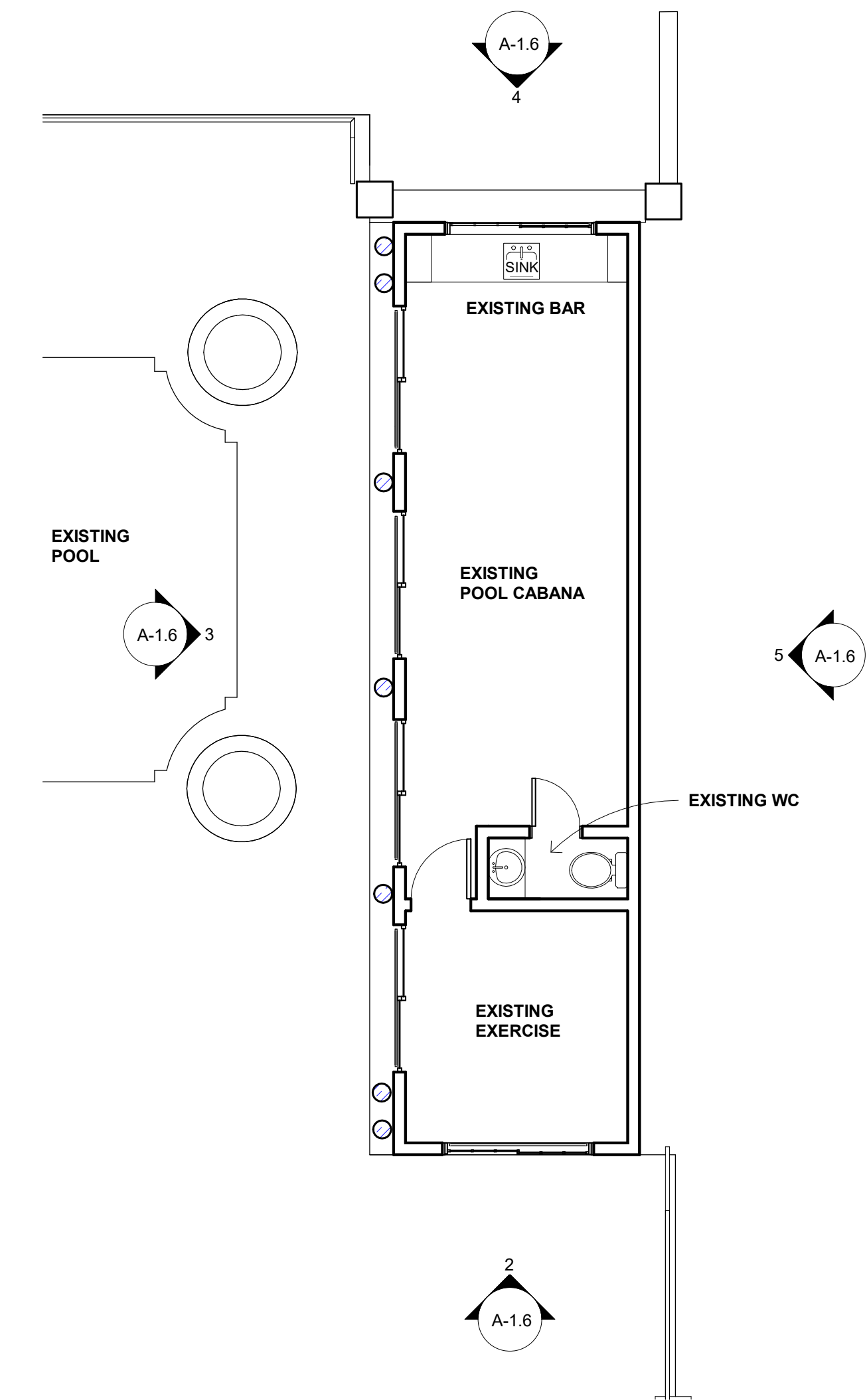
② EXISTING LEFT-SIDE ELEVATION
3/16" = 1'-0"



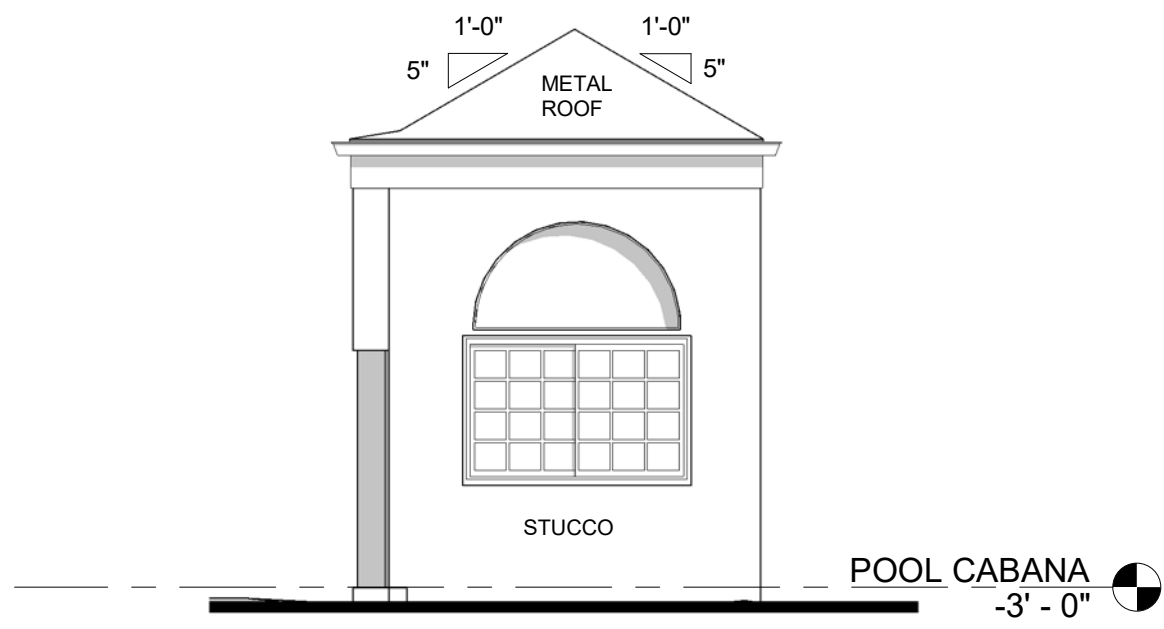
③ EXISTING REAR ELEVATION
3/16" = 1'-0"



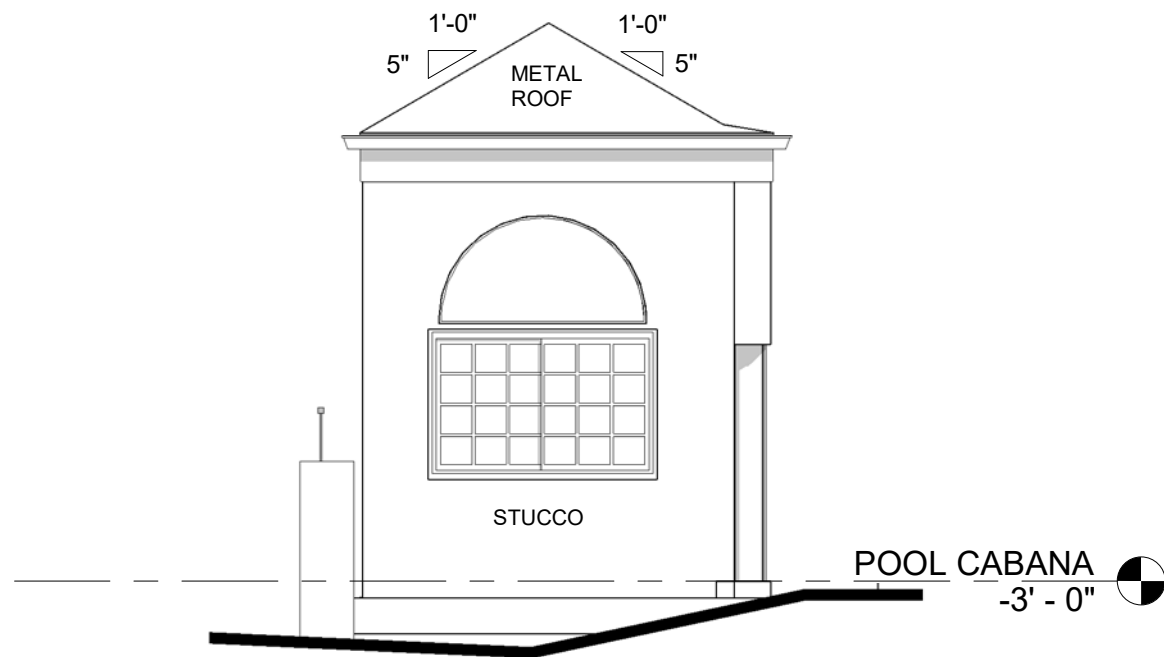
④ EXISTING RIGHT-SIDE ELEVATION
3/16" = 1'-0"



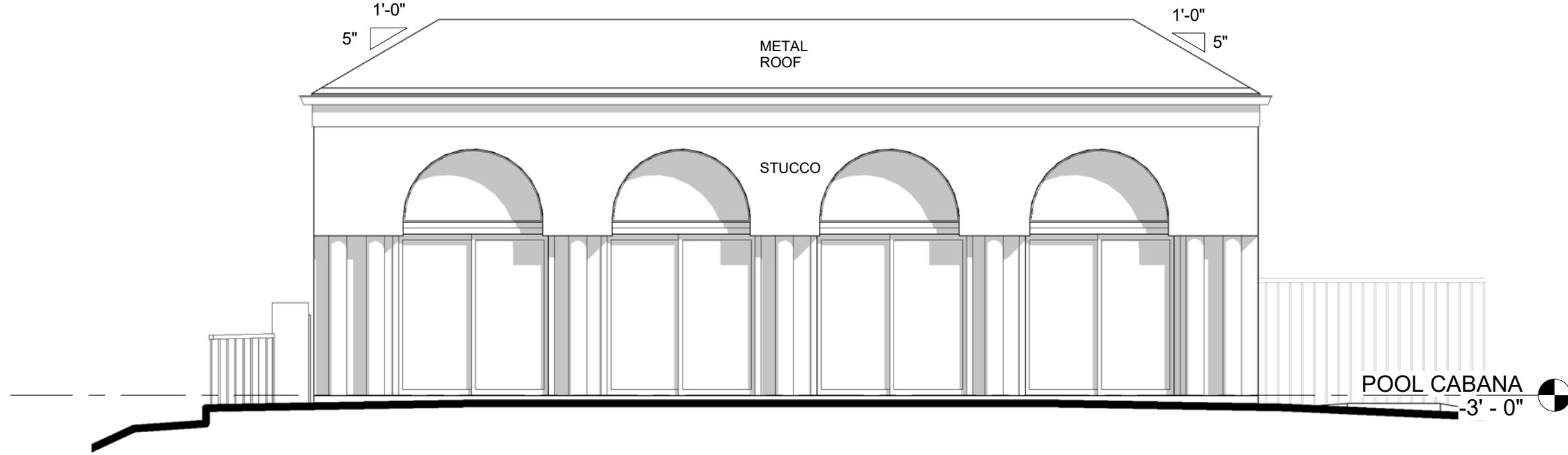
1 EXISTING POOL CABANA
3/16" = 1'-0"



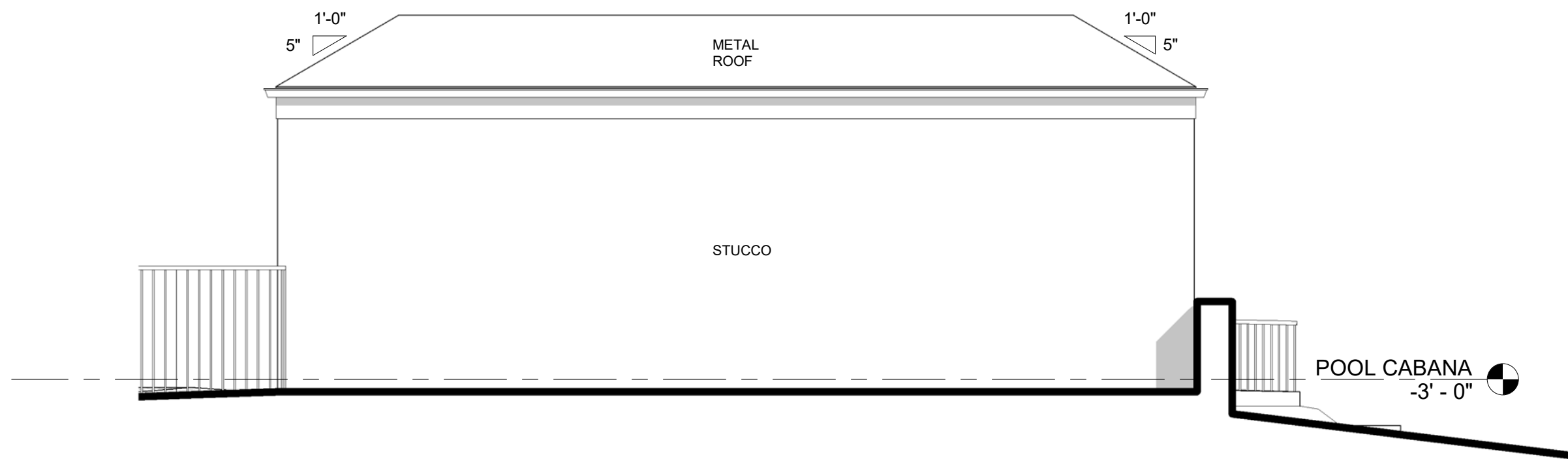
2 EXISTING POOL CABANA FRONT
3/16" = 1'-0"



4 EXISTING POOL CABANA REAR
3/16" = 1'-0"



3 EXISTING POOL CABANA LEFT-SIDE
3/16" = 1'-0"



5 EXISTING POOL CABANA RIGHT-SIDE
3/16" = 1'-0"



EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



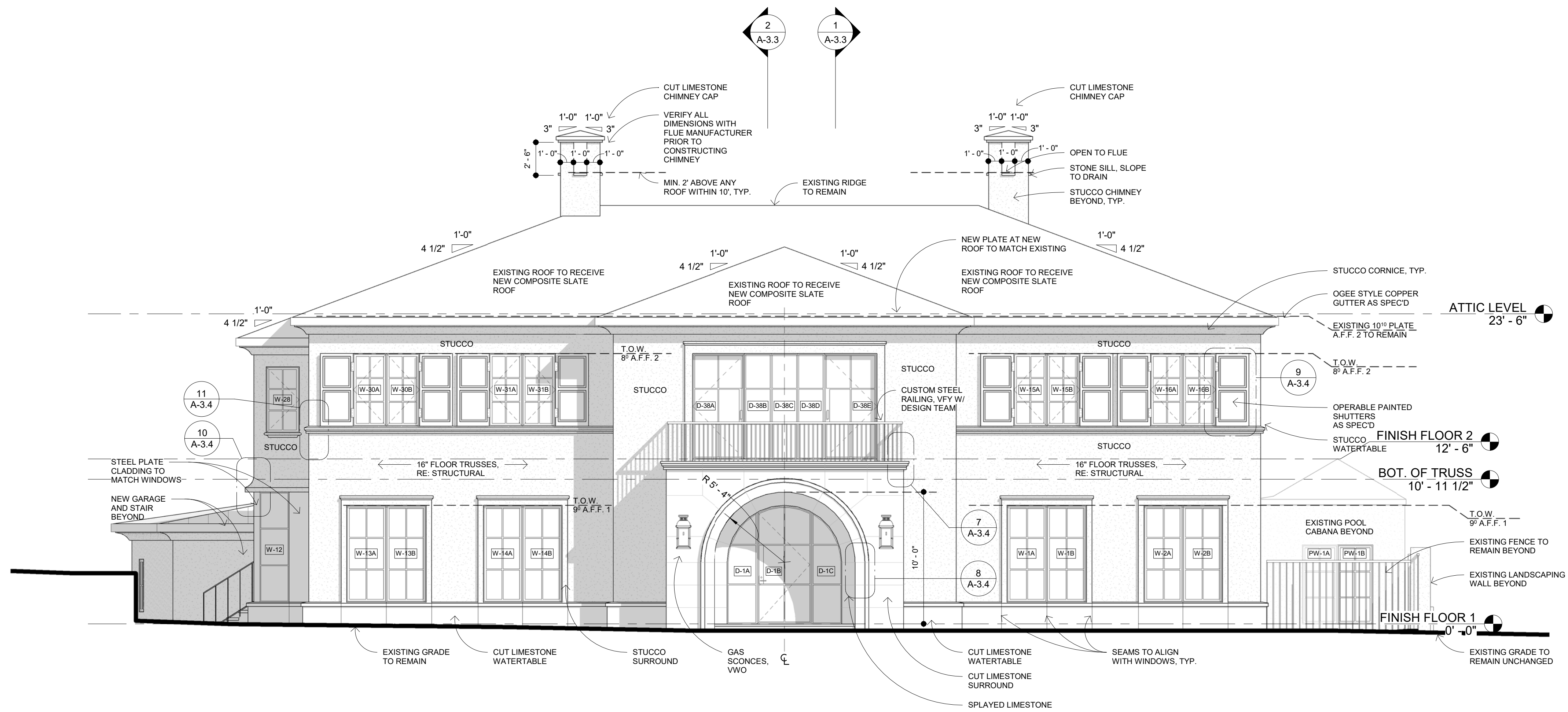
EXISTING POOL CABANA

6 EXISTING CONDITIONS PHOTOS
3/16" = 1'-0"

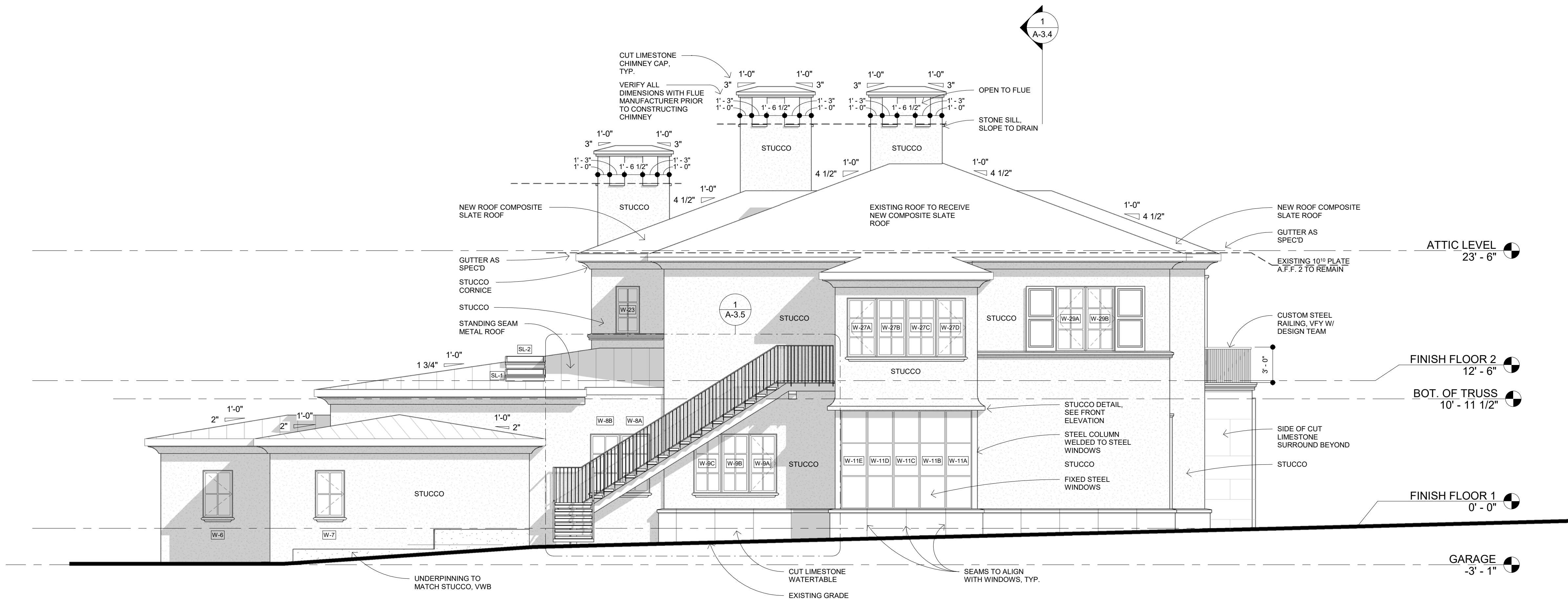
ROOF LEGEND

DOWNSPOUT / RAIN CHAIN	DS / RC
GUTTER	
4x6 RAFTER TAILS	
MASONRY WALL	
FRAMING WALL	
NEW ADDITION	

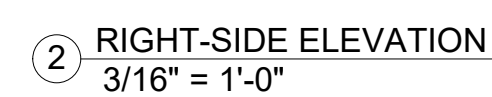
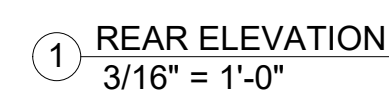
① ROOF PLAN
3/16" = 1'-0"

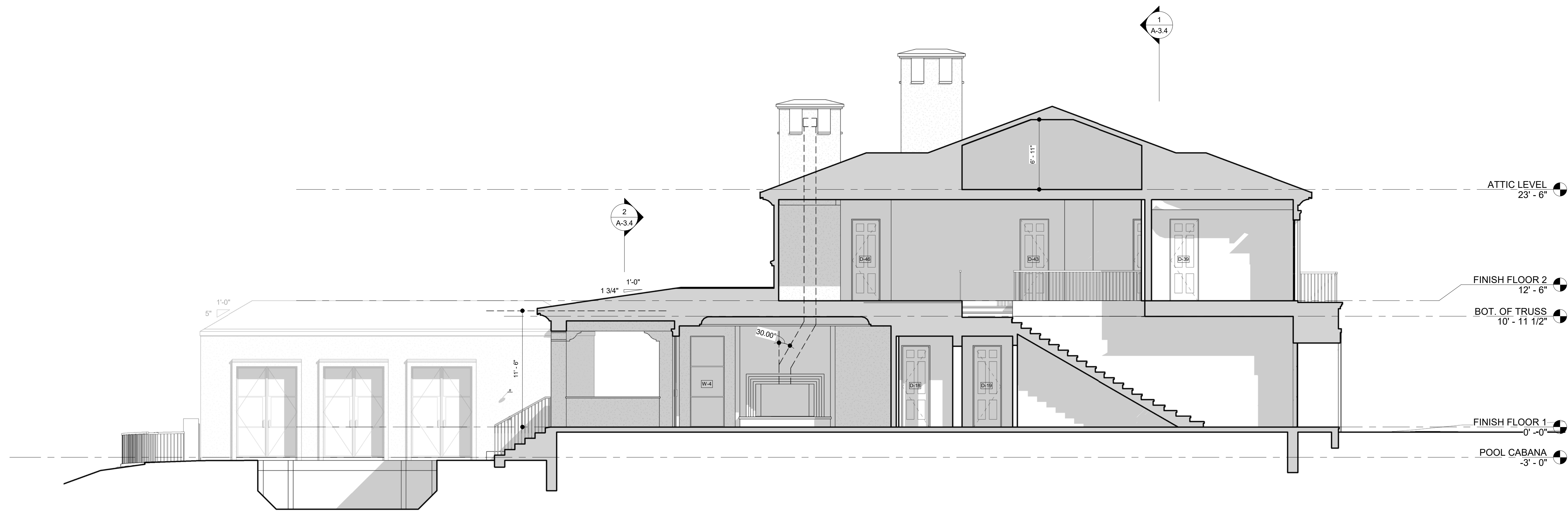


1 FRONT ELEVATION
3/16" = 1'-0"

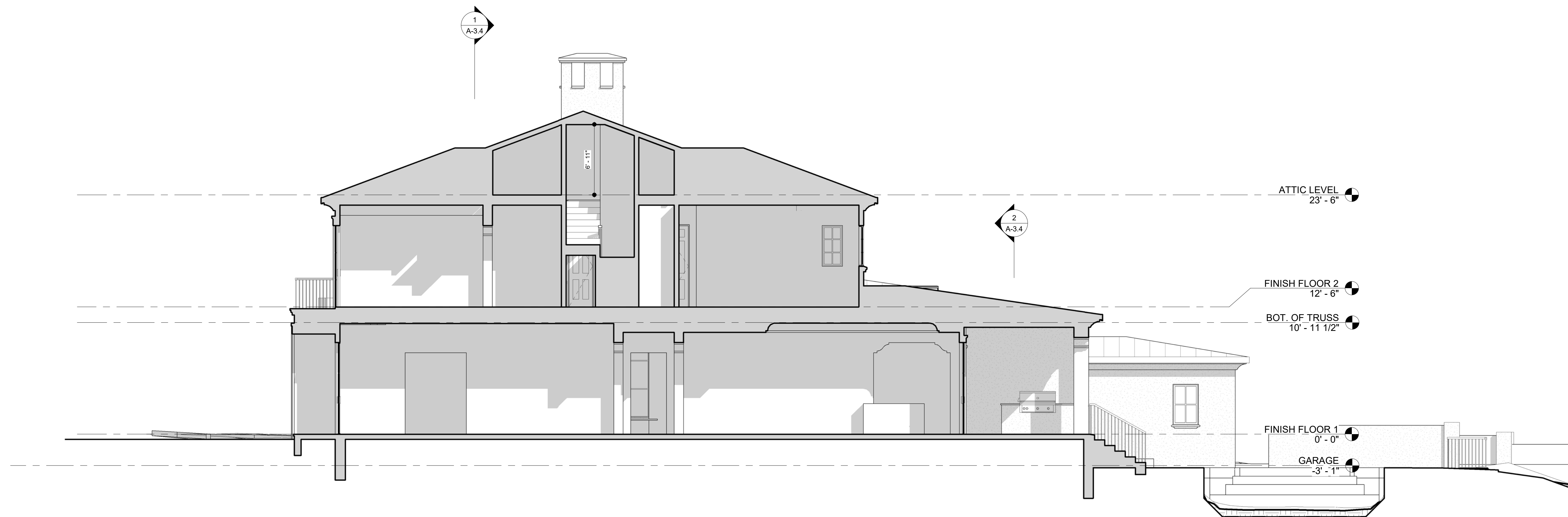


2 LEFT-SIDE ELEVATION
3/16" = 1'-0"





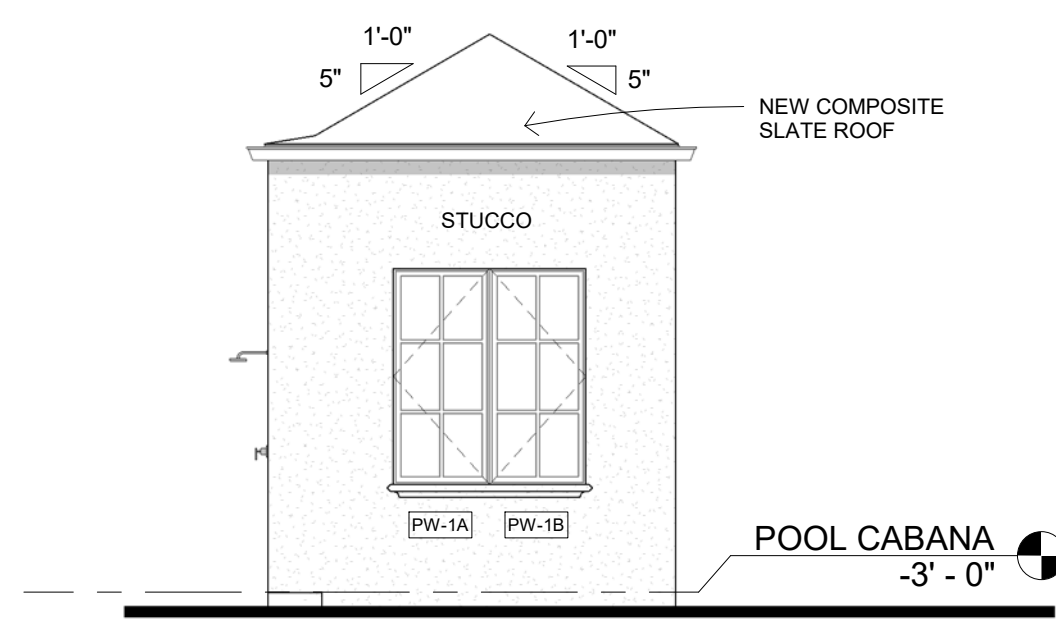
① SECTION A-A
3/16" = 1'-0"



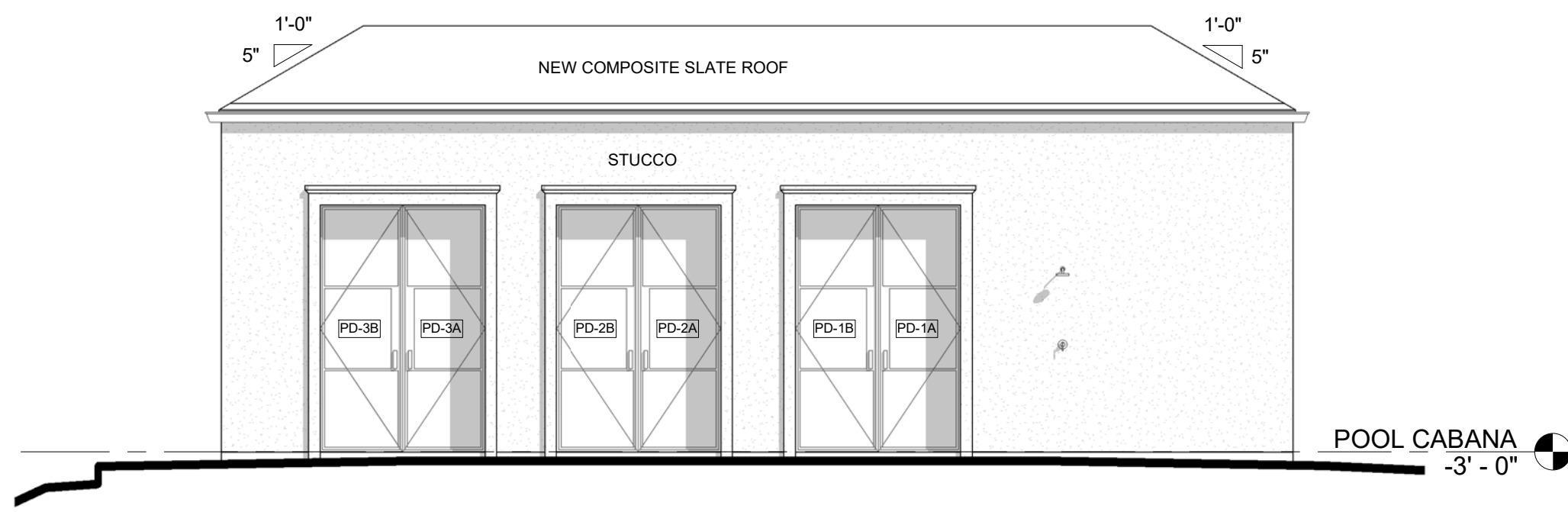
② SECTION B-B
3/16" = 1'-0"



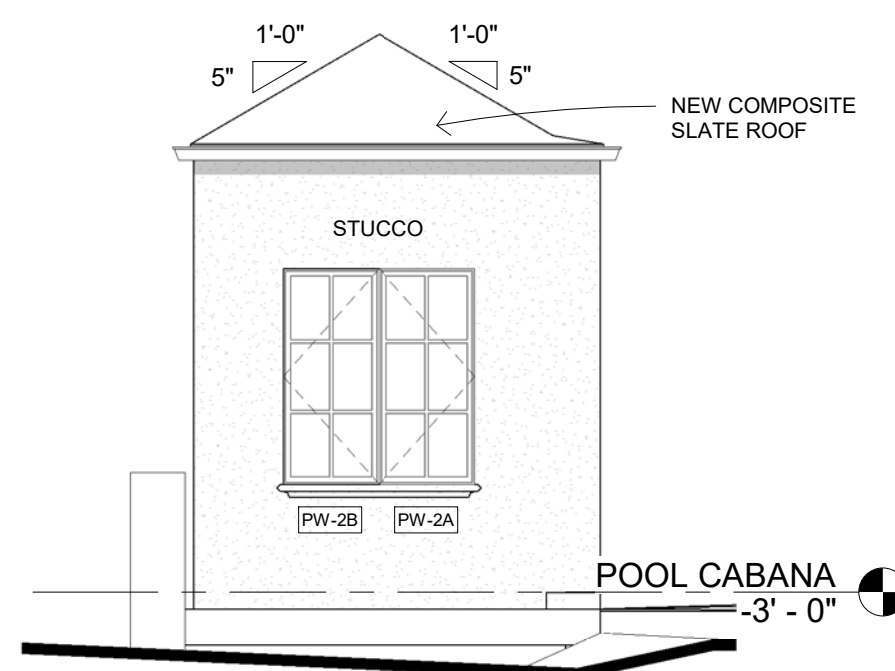
1 SECTION C-C
3/16" = 1'-0"



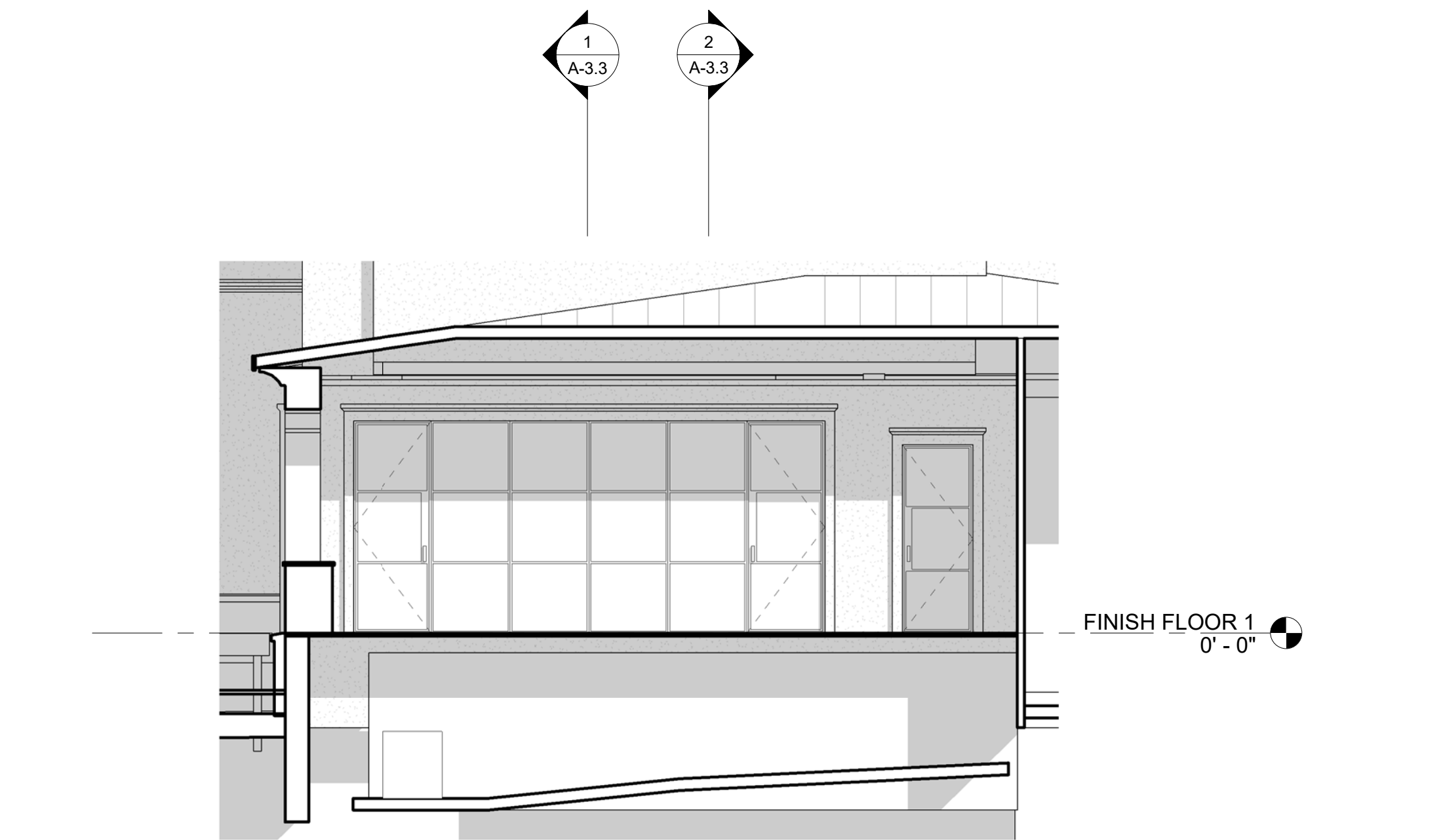
3 POOL CABANA FRONT
3/16" = 1'-0"



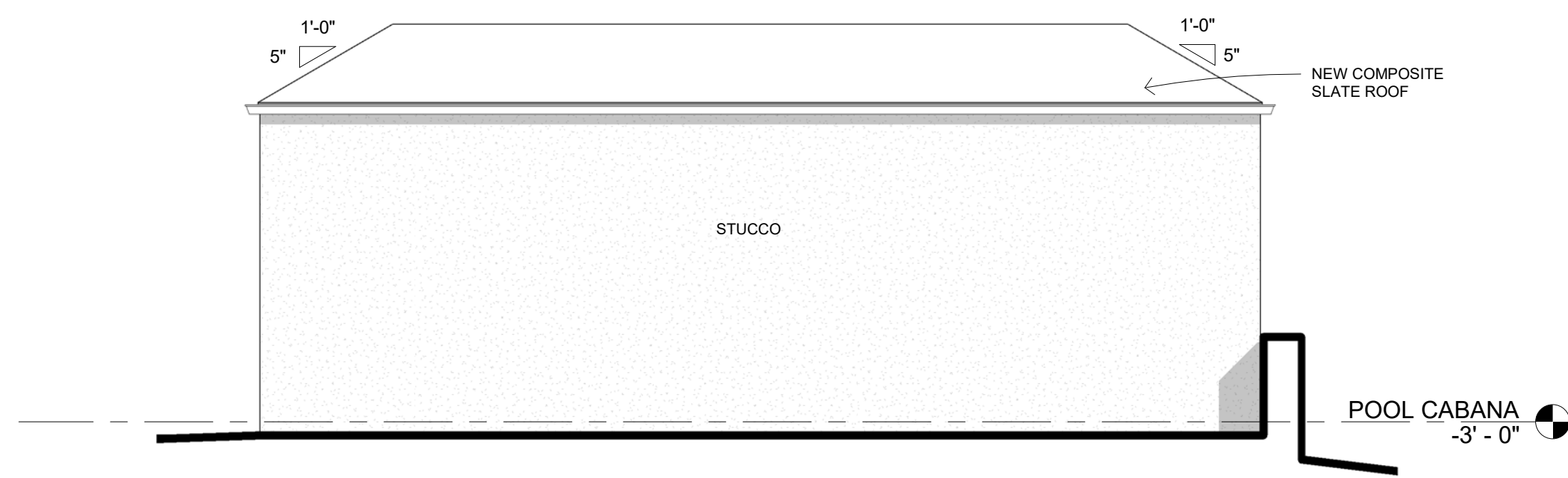
4 POOL CABANA LEFT-SIDE
3/16" = 1'-0"



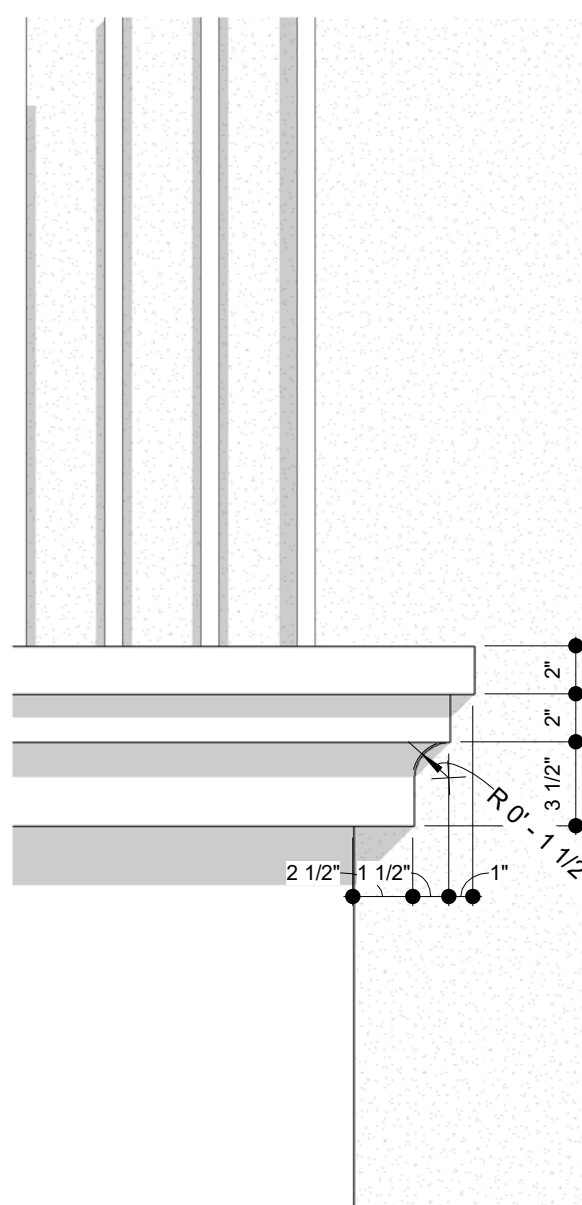
5 POOL CABANA REAR
3/16" = 1'-0"



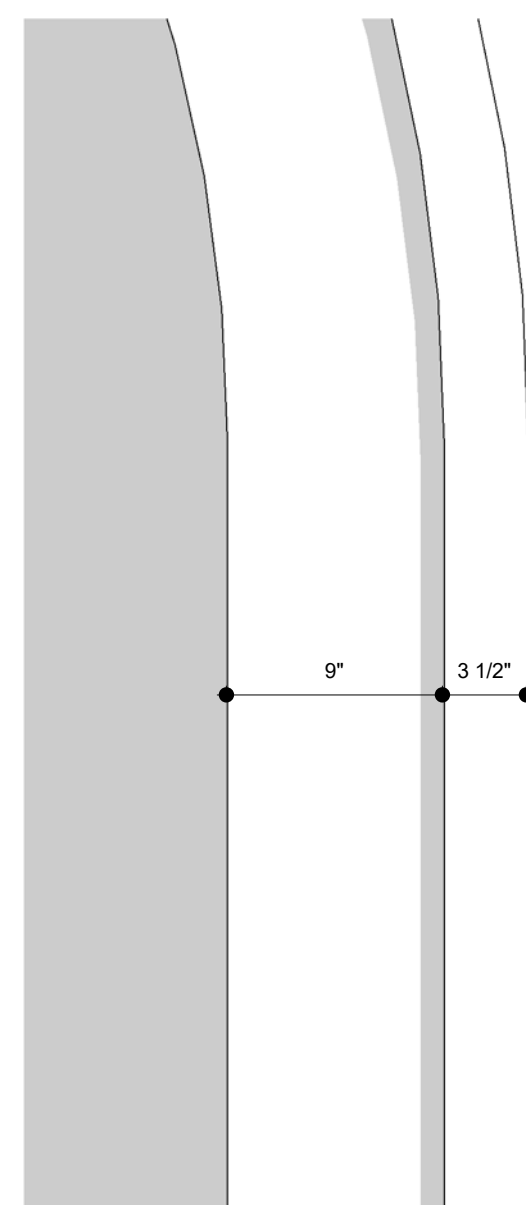
2 SECTION D-D
3/16" = 1'-0"



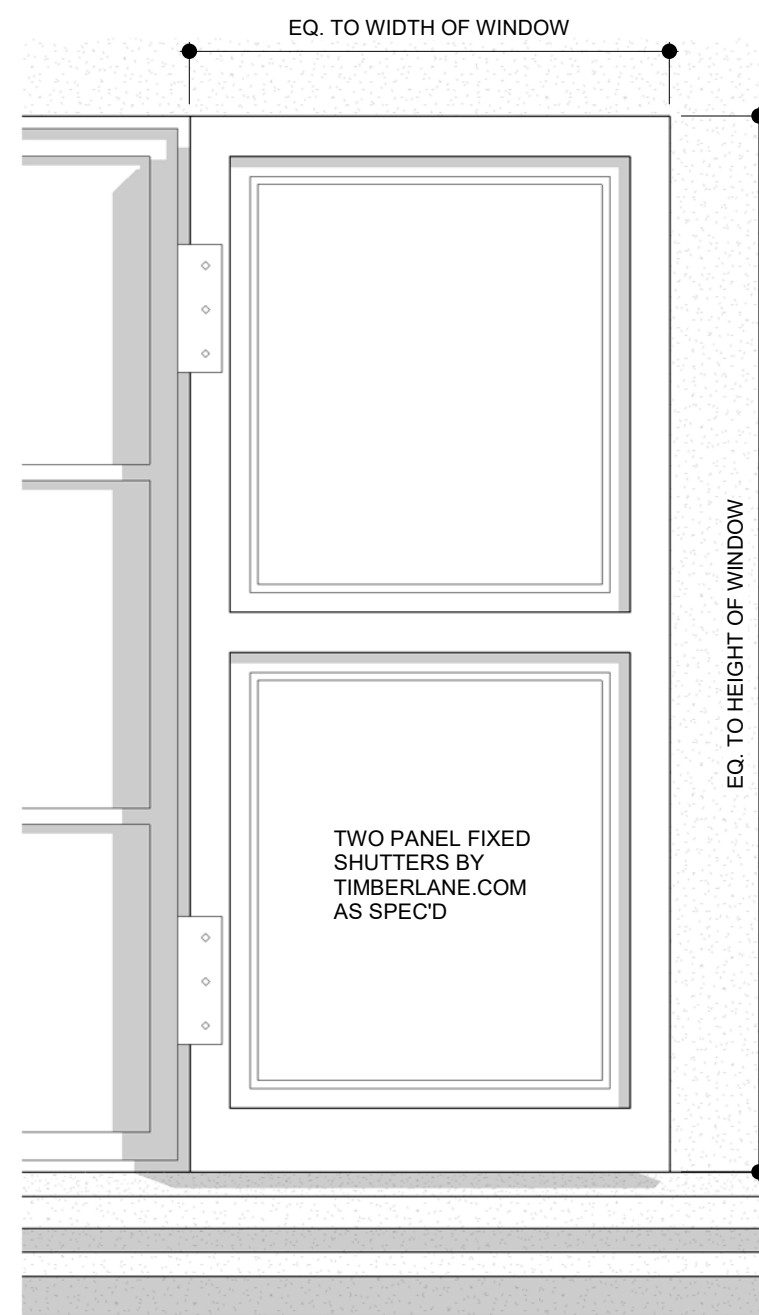
6 POOL CABANA RIGHT-SIDE
3/16" = 1'-0"



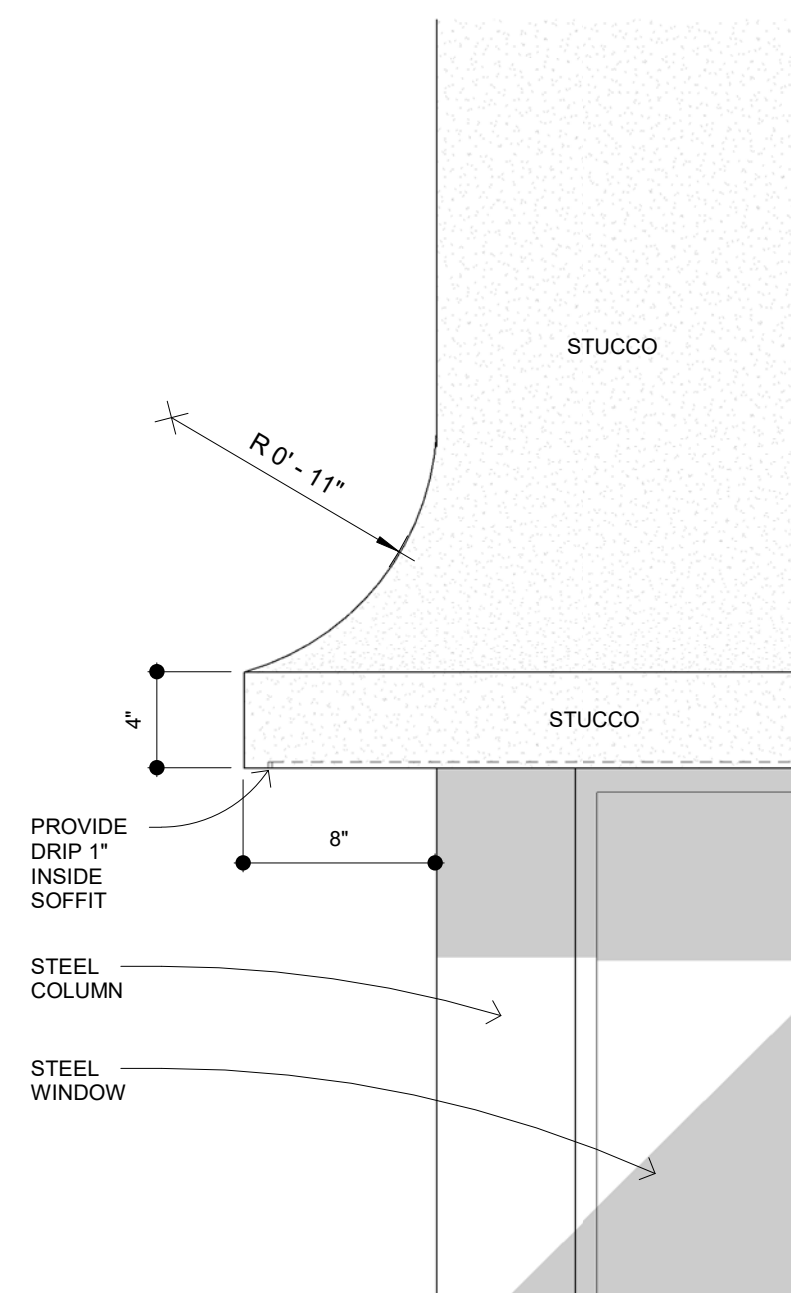
7 BALCONY STONE CORNICE DETAIL
1 1/2" = 1'-0"



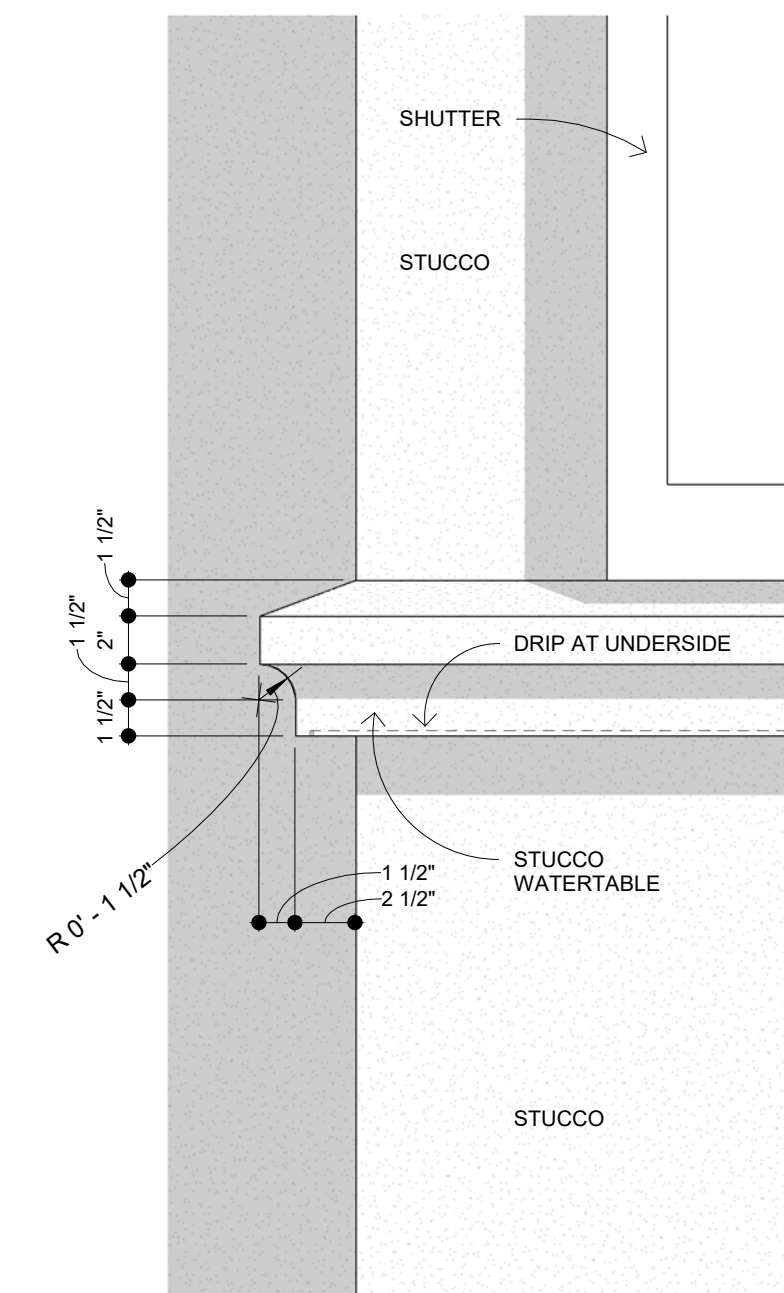
8 ENTRY PORCH STONE SURROUND
1 1/2" = 1'-0"



9 TYPICAL SHUTTER DETAIL
1" = 1'-0"



10 BREAKFAST BAY HEAD STUCCO DETAIL
1 1/2" = 1'-0"



11 SECOND FLOOR STUCCO WATERTABLE
1 1/2" = 1'-0"

DOOR SCHEDULE									
Mark	Width	Height	Jamb Size	Door Material	Finish	Interior/Exterior	Remarks		Comments
EXTERIOR									
D-1B	4'-2"	9'-0"	BY MANUFACTURER	STEEL	POWDER COATED	EXTERIOR	ENTRY DOOR - 6 LITES, ARCHED AND MULLED TO SIDE WINDOWS, SEE ELEV		
D-2A	3'-0"	8'-0"	BY MANUFACTURER	STEEL	POWDER COATED	EXTERIOR	MASTER DOOR - 3 LITES, MULLED TO SIDE WINDOWS, SEE ELEV		
D-2D	3'-0"	8'-0"	BY MANUFACTURER	STEEL	POWDER COATED	EXTERIOR	MASTER DOOR - 3 LITES, MULLED TO SIDE WINDOWS, SEE ELEV		
D-3A	3'-4"	9'-0"	BY MANUFACTURER	STEEL	POWDER COATED	EXTERIOR	LIVING DOOR - 3 LITES, MULLED TO SIDE WINDOWS, SEE ELEV		
D-3F	3'-4"	9'-0"	BY MANUFACTURER	STEEL	POWDER COATED	EXTERIOR	LIVING DOOR - 3 LITES, MULLED TO SIDE WINDOWS, SEE ELEV		
D-5	18'-0"	8'-0"	BY MANUFACTURER	WOOD	PAINTED	EXTERIOR	GARAGE DOOR - DESIGN 1 B.D.		
D-6	8'-0"	8'-0"	BY MANUFACTURER	WOOD	PAINTED	EXTERIOR	GARAGE DOOR - DESIGN 1 B.D.		
D-3BA	4'-0"	8'-0"	BY MANUFACTURER	STEEL	POWDER COATED	EXTERIOR	OFFICE STEEL DOOR, 6 PANELS, THERMALLY BROKEN		
D-3BE	4'-0"	8'-0"	BY MANUFACTURER	STEEL	POWDER COATED	EXTERIOR	OFFICE STEEL DOOR, 6 PANELS, THERMALLY BROKEN		

POOL CABANA DOOR SCHEDULE									
Mark	Width	Height	Jamb Size	Door Material	Finish	Interior/Exterior	Remarks	Comments	
PD-1B	3'-0"	9'-0"	BY MANUFACTURER	STEEL	POWDER COATED	EXTERIOR	POOL CABANA	A	
PD-2A	3'-0"	9'-0"	BY MANUFACTURER	STEEL	POWDER COATED	EXTERIOR	POOL CABANA	A	
PD-3B	3'-0"	9'-0"	BY MANUFACTURER	STEEL	POWDER COATED	EXTERIOR	POOL CABANA	A	
PD-2B	3'-0"	9'-0"	BY MANUFACTURER	STEEL	POWDER COATED	EXTERIOR	POOL CABANA	A	
PD-1A	3'-0"	9'-0"	BY MANUFACTURER	STEEL	POWDER COATED	EXTERIOR	POOL CABANA	A	
PD-3A	3'-0"	9'-0"	BY MANUFACTURER	STEEL	POWDER COATED	EXTERIOR	POOL CABANA	A	

WINDOW SCHEDULE											
Mark	Width	Height	Jamb Width	Window Type	Window Function	No. of Lites	Window Remarks		Comments		
D-1A	2'-2"	9'-0"	9'-0"	BY MANUFACTURER	STEEL	FIXED	3	ENTRY WINDOWS MULLED TO ENTRY DOOR, TEMPERED, THERMALLY BROKEN			
D-1C	2'-2"	9'-0"	9'-0"	BY MANUFACTURER	STEEL	FIXED	3	ENTRY WINDOWS MULLED TO ENTRY DOOR, TEMPERED, THERMALLY BROKEN			
D-2B	3'-0"	8'-0"	8'-0"	BY MANUFACTURER	STEEL	FIXED	3	MASTER BEDROOM - MULLED TO ADJACENT WINDOWS/DOORS, TEMPERED, THERMALLY BROKEN			
D-2C	3'-0"	8'-0"	8'-0"	BY MANUFACTURER	STEEL	FIXED	3	MASTER BEDROOM - MULLED TO ADJACENT WINDOWS/DOORS, TEMPERED, THERMALLY BROKEN			
D-3B	3'-4"	9'-0"	9'-0"	STEEL	FIXED	3	LIVING ROOM - MULLED, TEMPERED, THERMALLY BROKEN				
D-3C	3'-4"	9'-0"	9'-0"	STEEL	FIXED	3	LIVING ROOM - MULLED, TEMPERED, THERMALLY BROKEN				
D-3D	3'-4"	9'-0"	9'-0"	STEEL	FIXED	3	LIVING ROOM - MULLED, TEMPERED, THERMALLY BROKEN				
D-3E	3'-4"	9'-0"	9'-0"	STEEL	FIXED	3	LIVING ROOM - MULLED, TEMPERED, THERMALLY BROKEN				
D-3B8	2'-0"	8'-0"	8'-0"	STEEL	FIXED	3	OFFICE - MULLED, TEMPERED, THERMALLY BROKEN				
D-3EC	2'-0"	8'-0"	8'-0"	STEEL	FIXED	3	OFFICE - MULLED, TEMPERED, THERMALLY BROKEN				
D-3ED	2'-0"	8'-0"	8'-0"	STEEL	FIXED	3	OFFICE - MULLED, TEMPERED, THERMALLY BROKEN				
PW-1A	2'-8"	6'-0"	6'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	POOL CABANA				
PW-1B	2'-8"	6'-0"	6'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	POOL CABANA				
PW-2A	2'-8"	6'-0"	6'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	POOL CABANA				
PW-2B	2'-8"	6'-0"	6'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	POOL CABANA				
SL-1	3'-0"	3'-0"	3'-0"	CURB-MOUNTED ALUMINUM CLAD - WOOD	FIXED	1	SKYLIGHT				
SL-2	3'-0"	3'-0"	3'-0"	CURB-MOUNTED ALUMINUM CLAD - WOOD	FIXED	1	SKYLIGHT				
W-1A	3'-0"	7'-4"	7'-4"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6	ELECTRIC INSTANT PRIVACY GLASS, VVO				
W-1B	3'-0"	7'-4"	7'-4"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6	ELECTRIC INSTANT PRIVACY GLASS, VVO				
W-2A	3'-0"	7'-4"	7'-4"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6	ELECTRIC INSTANT PRIVACY GLASS, VVO				
W-2B	3'-0"	7'-4"	7'-4"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6	ELECTRIC INSTANT PRIVACY GLASS, VVO				
W-3A	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-3B	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6					
W-3C	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-4	3'-4"	9'-0"	9'-0"	BY MANUFACTURER STEEL	FIXED	3					
W-5	2'-6"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	IN 24 WALL				
W-6	2'-6"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	IN 24 WALL				
W-7	2'-6"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-8A	2'-6"	5'-0"	5'-0"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6					
W-8B	2'-6"	5'-0"	5'-0"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6					
W-9A	2'-4"	5'-0"	5'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-9B	2'-4"	5'-0"	5'-0"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6					
W-9C	2'-4"	5'-0"	5'-0"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6					
W-10	2'-2 1/2"	8'-0"	8'-0"	BY MANUFACTURER STEEL	FIXED	3	BREAKFAST, TEMPERED, THERMALLY BROKEN				
W-11A	2'-2 1/2"	8'-0"	8'-0"	BY MANUFACTURER STEEL	FIXED	3	BREAKFAST, MULLED TO ADJACENT WINDOWS, TEMPERED, THERMALLY BROKEN				
W-11B	2'-2 1/2"	8'-0"	8'-0"	BY MANUFACTURER STEEL	FIXED	3	BREAKFAST, MULLED TO ADJACENT WINDOWS, TEMPERED, THERMALLY BROKEN				
W-11C	2'-2 1/2"	8'-0"	8'-0"	BY MANUFACTURER STEEL	FIXED	3	BREAKFAST, MULLED TO ADJACENT WINDOWS, TEMPERED, THERMALLY BROKEN				
W-11D	2'-2 1/2"	8'-0"	8'-0"	BY MANUFACTURER STEEL	FIXED	3	BREAKFAST, MULLED TO ADJACENT WINDOWS, TEMPERED, THERMALLY BROKEN				
W-11E	2'-2 1/2"	8'-0"	8'-0"	BY MANUFACTURER STEEL	FIXED	3	BREAKFAST, MULLED TO ADJACENT WINDOWS, TEMPERED, THERMALLY BROKEN				
W-12	2'-2 1/2"	8'-0"	8'-0"	BY MANUFACTURER STEEL	FIXED	3	BREAKFAST, TEMPERED, THERMALLY BROKEN				
W-13A	3'-0"	7'-4"	7'-4"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6					
W-13B	3'-0"	7'-4"	7'-4"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6					
W-14A	3'-0"	7'-4"	7'-4"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6					
W-14B	3'-0"	7'-4"	7'-4"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6					
W-15A	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	SCULLERY - COUNTERTOP IS WINDOW SILL - MULLED TO ADJACENT WINDOW				
W-15B	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	SCULLERY - COUNTERTOP IS WINDOW SILL - MULLED TO ADJACENT WINDOW				
W-16A	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	SCULLERY - COUNTERTOP IS WINDOW SILL - MULLED TO ADJACENT WINDOW				
W-16B	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	SCULLERY - COUNTERTOP IS WINDOW SILL - MULLED TO ADJACENT WINDOW				
W-17A	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	SCULLERY - COUNTERTOP IS WINDOW SILL - MULLED TO ADJACENT WINDOW				
W-17B	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	SCULLERY - COUNTERTOP IS WINDOW SILL - MULLED TO ADJACENT WINDOW				
W-18	2'-4"	4'-6"	4'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	NANNY'S CLOSET				
W-19A	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	NANNY'S SHOWER, OBSCURE GLASS, W/ GLASS SHOWER DOOR PROTECTOR				
W-19B	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6	NANNY'S SHOWER, OBSCURE GLASS, W/ GLASS SHOWER DOOR PROTECTOR				
W-19C	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	NANNY'S SHOWER, OBSCURE GLASS, W/ GLASS SHOWER DOOR PROTECTOR				
W-20A	2'-0"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-20B	2'-0"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-21A	2'-0"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-21B	2'-0"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6					
W-21C	2'-0"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED	6					
W-21D	2'-0"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-22A	2'-0"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-22B	2'-0"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-23	2'-0"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-24	2'-0"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-25	2'-0"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-26	2'-0"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-27A	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-27B	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED - D.S.	6					
W-27C	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	FIXED - D.S.	6					
W-27D	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-28	2'-0"	4'-0"	4'-0"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-29A	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-29B	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6					
W-30A	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	SCULLERY - COUNTERTOP IS WINDOW SILL - MULLED TO ADJACENT WINDOW				
W-30B	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	SCULLERY - COUNTERTOP IS WINDOW SILL - MULLED TO ADJACENT WINDOW				
W-31A	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	SCULLERY - COUNTERTOP IS WINDOW SILL - MULLED TO ADJACENT WINDOW				
W-31B	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	SCULLERY - COUNTERTOP IS WINDOW SILL - MULLED TO ADJACENT WINDOW				
W-31C	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	SCULLERY - COUNTERTOP IS WINDOW SILL - MULLED TO ADJACENT WINDOW				
W-31D	2'-6"	5'-6"	5'-6"	3'-1/4" ALUMINUM CLAD - WOOD	OPERABLE	6	SCULLERY - COUNTERTOP IS WINDOW SILL - MULLED TO ADJACENT WINDOW				