

HISTORIC LANDMARK COMMISSION
DEMOLITION AND RELOCATION PERMITS
SEPTEMBER 27, 2021
PR-2021-123039
4711 DELORES AVENUE

PROPOSAL

Convert church building to residence, replacing fenestration and cladding and constructing a two-story addition and third-floor roof deck.

PROJECT SPECIFICATIONS

- 1) Partially demolish church building. Remove cladding, windows, and doors from masonry addition and original frame church structure. Demolish entryway, deck, and steps.
- 2) Replace fenestration at existing portion of church with single-pane fixed windows, fully glazed single and double doors, and metal bay doors.
- 3) Construct a two-story rear and side addition. The proposed addition is clad in vertical corrugated metal siding, with a flat roof and irregularly spaced single-pane fixed and casement windows. The stairwell to the roof deck extends outward at the east elevation.
- 4) Add third-story rooftop deck with corrugated metal handrail to match proposed siding.

ARCHITECTURE

The existing building is a single-story gabled church building with cross-gabled rear addition. The main portion of the church is clad in brick and horizontal siding, with exposed rafter tails at eaves and triangular knee braces at gable end, a gabled portico supported by Classical columns, and aluminum windows. A pyramidal steeple sits atop the roof's ridgeline.

RESEARCH

The church was moved from Elroy, Texas to this site in 1959 for the congregation of New Home A. M. E. In 1966, the original frame structure was relocated on the lot; permit records suggest that this original portion now faces Mansell Street. It was used as an education building when the new masonry sanctuary was built facing Delores Street between 1968 and 1970. The triangular brackets at the sanctuary's gable may have been removed from the original structure and reused at the building's new entrance.

DESIGN STANDARDS

The City of Austin's [Historic Design Standards](#) (March 2021) are based on the Secretary of the Interior's Standards for Rehabilitation and are used to evaluate projects at potential historic landmarks. The following standards apply to the proposed project:

Institutional buildings

1. General standards

1.1 Ensure that the building's historic character is preserved through careful repair and maintenance of historic materials. The proposed project removes and replaces original fenestration, cladding, decorative details, and porch. The proposed corrugated metal cladding and fenestration changes at the main façade are not compatible with historic institutional or residential buildings. The proposed two-story addition, stairwell, and roof deck are significantly set back, but may not appear subordinate from the main façade due to the height difference between the third-floor parapet and first-floor entrance.

Summary

The project does not meet most of the applicable standards.

PROPERTY EVALUATION

Designation Criteria—Historic Landmark

- 1) The building is more than 50 years old.
- 2) The building appears to retain moderate to low integrity.
- 3) Properties must meet two criteria for landmark designation (LDC §25-2-352). Staff has evaluated the property and determined that it does not appear to meet two criteria:

- a.* Architecture. The building does not appear to convey architectural significance.
- b.* Historical association. The property is associated with the New Hope African Methodist Episcopal Church.
- c.* Archaeology. The property was not evaluated for its potential to yield significant data concerning the human history or prehistory of the region.
- d.* Community value. The property does not possess a unique location, physical characteristic, or significant feature that contributes to the character, image, or cultural identity of the city, the neighborhood, or a particular demographic group.
- e.* Landscape feature. The property is not a significant natural or designed landscape with artistic, aesthetic, cultural, or historical value to the city.

STAFF RECOMMENDATION

Release the demolition permit upon completion of a City of Austin Documentation Package.

LOCATION MAP



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

NOTIFICATIONS

CASE#: PR 2021-123039

LOCATION: 4711 DELORES AVENUE



1" = 292'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

PROPERTY INFORMATION

Photos





2011 street view showing boarded fenestration and exposed rafter tails at old portion of building



Source: Google Street View

Historical Information

Two Church Choirs To Perform Sunday

New Hope A.M.E. Church at 4711 Dolores will hold its cornerstone laying at 3 p.m. Sunday. Rev. M. E. Rice, pastor of White Rock A.M.E. Church in Dallas, will be the guest speaker.

WARD MEMORIAL UNITED METHODIST CHURCH will have two communion services Sunday at 8:30 and 10:45 a.m. The Children's Choir will sing at the first service and the Chancel Choir will sing at the other.

The Sunshine Singers, a youth choir from the Mexia State School will give a sacred performance at the

Berean Baptist Church in Houston. A nursery will be provided. For more information, call 836-2086.

NEW HOPE AME CHURCH will hold a revival Feb. 19 through 23 at 8 p.m. For more information call Rev. Thelman Gray, 478-1446 or 477-2014 or Rev. Lee Johnson at 474-5503.

Permits

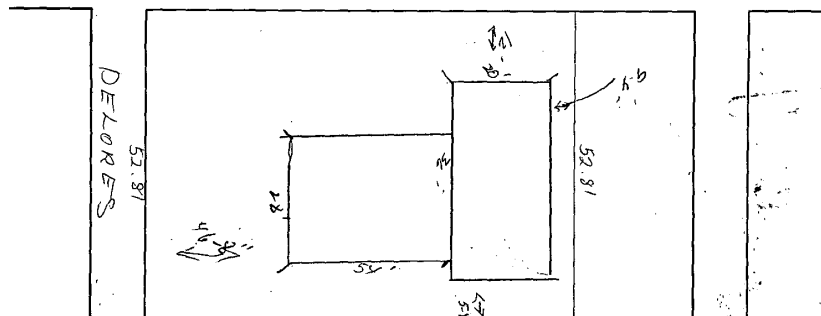
New Hope A.M.E. Church 4711 Delores Ave.
 354 8 10
 Eastfield
 MOVE Building onto lot & remodel & repair
 75516 3/10/60 4500.00
 Bradford 4
 Paid 4/17/59 W. 19523 Septic Tank
 FROM ELROY, TEXAS Church Building
 Percolation test in file

OWNER New Hope A. M. E. Church ADDRESS 4711 Delores Avenue
 PLAT 354 LOT 8 BLK 10
 SUBDIVISION Eastfield Addition
 OCCUPANCY Church
 BLD PERMIT # 100388 DATE 7-20-66 OWNERS ESTIMATE 298.00
 CONTRACTOR Paden Construction Co. NO. OF FIXTURES existing
 WATER TAP REC # SEWER TAP REC #

Relocate Church Building on Same Lot

ADDRESS: 4711 DELORES AVE		PERMIT: 100388		PLAT 354	
LOT: 8		BLOCK 10		SUB.	
		OUTLOT		EASTFIELD ADDN	
FIRE ZONE 3		USE DIST: A 1		OCCUPANCY: RELOCATE CHURCH BLDG ON LOT	
CALL 7-20-66		LAYOUT 7-20-66		FRAMING 8-25-69	
7-27-66		PRINC. BLDG.		ACC. BLDG.	
FOUNDATION		FLOOR JOIST SIZE & O.C.		NECESSARY BLDG. CONN.	
FR. SETBACK		CEILING JOIST SIZE & O.C.		ROOM VENTILATION	
TOTAL & MIN. SIDE YD.		STUD SIZE & O.C.		STAIRS REQ. & NO.	
SIDE STREET YARD		MASONRY WALL		ATTIC FIRE STOPS REQ.	
OWNER: NEW HOPE A.M.E. CHURCH		CONTRACTOR: PADEN CONST CO.			
ACTIVE 8-23-66 NO ACT 10-11-66 1-4-67 4-25-67 9-26-67 4-20-68 9-20-66 11-1-66 1-31-67 5-30-67 11-28-67 6-25-68 MUST CONNECT TO SEWER 12-4-66 2-25-67 6-28-67 12-27-67 7-30-68 IF ANOTHER STRUCT BUILT IN FRONT THIS STR. WILL BE TOTAL DOWNSIDE 7-7-69 S.K. 59010					

MANSELL



OWNER New Hope Ame. Church ADDRESS 4711 Delores Ave.PLAT 354 LOT 8 BLK 10SUBDIVISION EastfieldOCCUPANCY ChurchBLD PERMIT # 108369 DATE 6/7/68 OWNERS ESTIMATE \$8,750.00CONTRACTOR Charles. McNeece NO. OF FIXTURES See PlansWATER TAP REC # 19523 (4-17-59) SEWER TAP REC # PaidRemodel Exist. Frame Bldg. And Erect New Masonry Addn. 1,560 Sq.
It.

ADDRESS: 4711 DELORES AVE PERMIT 113271 PLAT 354

LOT: 8 BLOCK 10 SUB. EASTFIELD

OUTLOT EASTFIELD

FIRE ZONE <u>3</u>	USE DIST: <u>A 1</u>	OCCUPANCY: <u>REM. EXH. FR BLDG & ERECT NEW MAS. AD.</u>					
CALL <u>6-16-69</u>	LAYOUT <u>8-18-69</u>	FRAMING <u>1-30-70</u>	FINAL	ROOF OVERHANG <u>2' 11"</u>			
<u>7-23-69</u>	PRINC. BLDG.	ACC. BLDG.	PRINC. BLDG.	ACC. BLDG.	PRINC. BLDG.		
FOUNDATION	FLOOR JOIST SIZE & O.C. <u>2X8 16</u>	NECESSARY BLDG. CONN.		ACC. BLDG.			
FR. SETBACK <u>46-8"</u>	CEILING JOIST SIZE & O.C. <u>2X4 24 (F)</u>	ROOM VENTILATION <u>✓</u>		PAVED PARKING <u>6</u>			
TOTAL & MIN. SIDE YD. <u>17-4"</u>	STUD SIZE & O.C. <u>2X4 16</u>	STAIRS REQ. & NO.		* <u>2 EXH. LIGHTS</u> ✓			
SIDE STREET YARD <u>12"</u>	MASONRY WALL	ATTIC FIRE STOPS REQ.		* <u>2 NR 1000</u> ✓			

OWNER: NEW HOPE AME CHURCH CONTRACTOR: CHAS. MC NEECE 12-2-69

A CT 9-22-69 28' X 54' + 48' = 1512'

10-21-69 12-16-69 1-27-70 FRT FR 48'

REP. EXH BLDG CREATE EDUC. BLDG. 1560'

✓ ERECT NEW. SANT.

G. A. M.S.

ADDRESS: 4711 DELORES AVE PERMIT 108369 PLAT 354

LOT: 8 BLOCK 10 SUB. EASTFIELD

OUTLOT EASTFIELD

FIRE ZONE <u>3</u>	USE DIST: <u>A 1</u>	OCCUPANCY: <u>REM. FR. BLDG & ERECT NEW MAS. AD.</u>					
CALL <u>6-7-68</u>	LAYOUT	FRAMING	FINAL	ROOF OVERHANG <u>9'</u>			
<u>NO ACT 7-10-68</u>	PRINC. BLDG.	ACC. BLDG.	PRINC. BLDG.	ACC. BLDG.	PRINC. BLDG.		
<u>9-20-68</u>	FLOOR JOIST SIZE & O.C.	NECESSARY BLDG. CONN.		ACC. BLDG.			
FR. SETBACK	CEILING JOIST SIZE & O.C.	ROOM VENTILATION		PAVED PARKING <u>9</u>			
TOTAL & MIN. SIDE YD.	STUD SIZE & O.C.	STAIRS REQ. & NO.		* <u>HARD FINISH BATH</u>			
SIDE STREET YARD	MASONRY WALL	ATTIC FIRE STOPS REQ.		* <u>TWO EXH. LIGHTS</u>			
				* <u>2 NR WALLS CHAIN</u>			

OWNER: NEW HOPE AME CHURCH CONTRACTOR: CHARLES MC NEECE

28 X 54 + 48' = 1512'

48'

1560'

* OVERHANG ON WEST SIDE NO CLOSURE 3' TO P.L.

* MUST HAVE SEWER CONNECTION

LCIS
BLK 16
SEC 3574
NE II

WATER SERVICE PERMIT

Austin, Texas

E N° 19523

INDEXED

Received of NEW HOPE CHURCH Date 4-17-60
Address 4711 DELORES AVE
Amount TWENTY \$ 20.00
Plumber HOLLAND Size of Tap 3/4"

Date of Connection 8-3-60
Size of Tap Made
Size Service Made
Size Main Tapped
From Front Prop. Line to Curb Cock 25'
From W Prop. Line to Curb Cock 5'
Location of Meter CURB
Type of Box
Depth of Main in St.
Depth of Service Line
From Curb Cock to Tap on Main
Checked by Engr. Dept. JPH 2-8-60

No. Fittings	Pipe	Corp. Cock	Cop. to Iron ell	Cop. to Cop. ell	Cop. to Iron Coupling	Cop. to Cop. Coupling	Angle Stop	Stop	Bushing	Nipples	Service Clamp	Valve	Meter Box	Lock Lid	Drain Tile	Drain Tile Lid	Stop & Drain	Job No.	Foreman
																		<u>W 373-309 502</u>	<u>J. J. J.</u>

USED STUB DIS

Cut
Open
Paved
old
road

SANITARY SEWER SERVICE PERMIT

Austin, Texas

NE II N° 46510

Received of New Hope A.M.E. Church Date 7-21-66
Address 4711 DeLores Ave
Amount Fifty dollars \$ 50.00
Builder or Owner Same Plumber July
Lot 8 Block 10 Subdivision Eastfield Addition Plat No. 254

Date of Connection 1-23-69
By City H.C.3 E. of W.L.L.
By Plumber
Checked By CAROTHERS
Size Main 8" Depth ± 6'
Main Assign. 20' N of S.F.
Stub Depth Prop. Line 2'
Stub Location TO BE AT W.L.L.
Book No. A-5408 IN DELORES
Paying Out 1-22-69 Lucky No.

No. Fittings	Pipe	Price	Size
20	6" corr. pipe	11.44	
1	Bends	1.62	
	Reducers		
	Plugs		
	Sand		
	Gravel		
	Remix		
	Stoppers		
	Castings		
	Other materials		
	Backhoe		
	Labor: 6 hr.		
	Truck		
	Permit fee		
	Total		

PLOTTED
3-14-69
BY CHW