

BOA GENERAL REVIEW COVERSHEET

CASE: C15-2021-0097

BOA DATE: October 11th, 2021

ADDRESS: 4315 Avenue A

COUNCIL DISTRICT: 9

OWNER: Gary J. Hobbs

AGENT: Nathan Hobbs

ZONING: SF-3-NCCD-NP (Hyde Park NCCD)

LEGAL DESCRIPTION: W 76FT OF LOT 1-3 BLK 11 HYDE PARK ADDN NO 1

VARIANCE REQUEST: decrease the minimum Lot Size requirements from 5,750 square feet (required) to 5,700 square feet (requested) **and** increase the improvement value from 20% (allowed) to 60% (requested)

SUMMARY: complete a remodel and addition

ISSUES: lot configuration, location of heritage trees, unhabitable home

	ZONING	LAND USES
<i>Site</i>	SF-3-NCCD-NP	Single-Family
<i>North</i>	SF-3-NCCD-NP; MF-3-NCCD-NP	Single-Family; Multi-Family
<i>South</i>	SF-3-NCCD-NP; MF-4-NCCD-NP	Single-Family; Multi-Family
<i>East</i>	MF-4-NCCD-NP	Multi-Family
<i>West</i>	MF-4-NCCD-NP	Multi-Family

NEIGHBORHOOD ORGANIZATIONS:

Austin Independent School District
 Austin Lost and Found Pets
 Austin Neighborhoods Council
 Central Austin Community Development Corporation
 Friends of Austin Neighborhoods
 Friends of Hyde Park
 Homeless Neighborhood Association
 Hyde Park Neighborhood Assn.
 Hyde Park Neighborhood Plan Contact Team
 My Guadalupe
 Neighborhood Empowerment Foundation
 North Austin Neighborhood Alliance
 Preservation Austin
 SELTexas
 Sierra Club, Austin Regional Group

E-3/2

TRIANGLE

GUADALUPE

46TH

45TH

AVENUE B

AVENUE C

44TH

AVENUE D

43RD

AVENUE A

42ND

41ST

SPEEDWAY

NOTIFICATIONS

CASE#: C15-2021-0097

LOCATION: 4315 AVENUE A



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

N



1" = 292'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.





CITY OF AUSTIN

Development Services Department

Permitting & Development Center

Phone: 512.978.4000

6310 Wilhelmina Delco Dr, Austin, Texas 78752

Board of Adjustment General/Parking Variance Application

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

For Office Use Only

Case # _____ ROW # _____ Tax # _____

Section 1: Applicant Statement

Street Address: 4315 Avenue A

Subdivision Legal Description:

The West 76 ft of Lots 1, 2 and 3, Block 11, Hyde Park Addition

Lot(s): 1,2,3 Block(s): 11

Outlot: _____ Division: _____

Zoning District: _____

I/We Nathan Hobbs on behalf of myself/ourselves as
authorized agent for _____ affirm that on

Month October , Day 11 , Year 2021 , hereby apply for a hearing before the

Board of Adjustment for consideration to (select appropriate option below):

☐ Erect ☐ Attach ☐ Complete ☒ Remodel ☐ Maintain ☐ Other: _____

Type of Structure: Single family residence.

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

LDC 25-2-947 A person may improve, enlarge, or structurally alter a structure if the cost does not exceed 20 percent of the value of the structure before the improvement. Cost to make safe is around 60%

LDC 25-2-942 have an area of not less than 5,750 SF. Lot is 5,700 SF

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

I am unable to remodel existing uninhabitable structure, nor able to expand use of structure to a true single family home - one which is livable and safe for my two children.

Hardship

a) The hardship for which the variance is requested is unique to the property in that:

With the combination of the current lot configuration, mixed with current location of uninhabitable domicile and the location of heritage trees make it impossible to create an inhabitable home for my family.

b) The hardship is not general to the area in which the property is located because:

The combination of lot size, domicile location and heritage trees create a unique hardship for this property. In current state the structure is uninhabitable and unsuitable for a single family residence.

Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The renovation and expansion of the property will not alter the character of the unit as current plans utilize as much of the existing structure as allowed with environmental and safety considerations. The plans seek to maximize the lots use of living and personal yard space with impair the use of adjacent properties nor will it limit the purposes of the regulations as it will be utilized as a single family home while maintaining the character and charm of the neighborhood.

Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: Nathan Hobbs Digitally signed by Nathan Hobbs
DN: CN=Nathan Hobbs, E=Nathan.hobbs@mitchelltimeandparking.com
Reason: I am the author of this document
Location:
P Date: 2021-09-10 08:19:55 Date: 09/10/2021

Applicant Name (typed or printed): Nathan Hobbs

Applicant Mailing Address: 4315 Avenue A

City: Austin State: Texas Zip: 78751

Phone (will be public information): (512) 801-5023

Email (optional – will be public information): [REDACTED]

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: Gary J Hobbs Digitally signed by Gary J. Hobbs
DN: C=US, O=MTP, CN=Gary J. Hobbs, E=gary.hobbs@mitchelltimeandparking.com
Reason: I am the author of this document
Location:
P Date: 2021-09-10 08:19:07 Date: 09/10/2021

Owner Name (typed or printed): Gary Hobbs

Owner Mailing Address: 20214 Hodde Ln

City: Pflugerville State: Texas Zip: 78660

Phone (will be public information): (512) 801-5600

Email (optional – will be public information): [REDACTED]

Section 5: Agent Information

Agent Name: _____

Agent Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

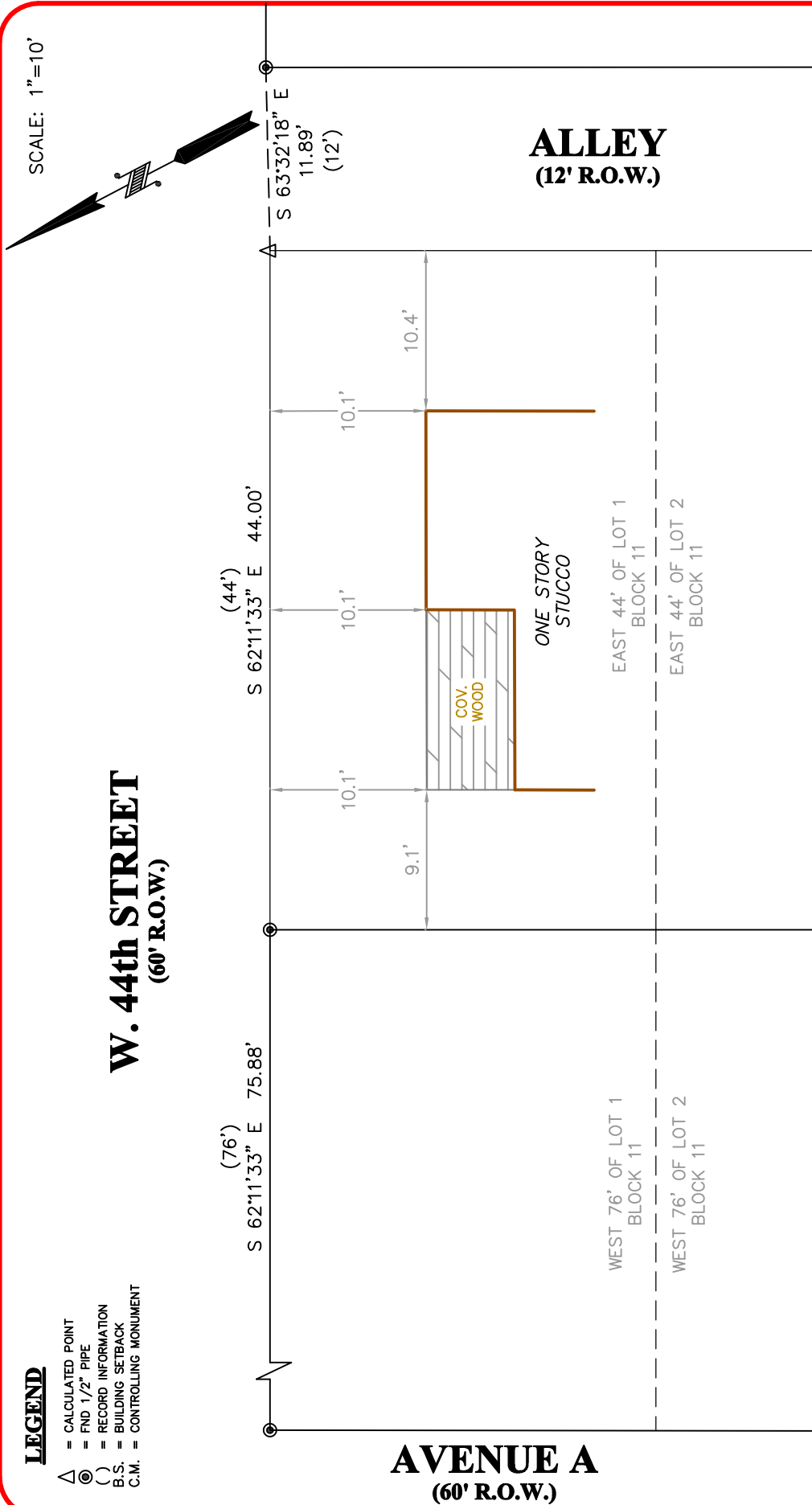
DAVID L. ELZY
Registered Professional Land Surveyor
Texas Registration No. 4675

DRAWN BY: EV
JOB #: 109282
SURVEY DATE: 8/31/2021

FIRM REGISTRATION NO.
10111700

Westar Alamo

LAND SURVEYORS, LLC.
P.O. BOX 1645 BOERNE, TEXAS 78006
PHONE (210) 372-9500 FAX (210) 372-9999



LINE	BEARING	DISTANCE
L1	S 62°38'11" E	12.09' (12')

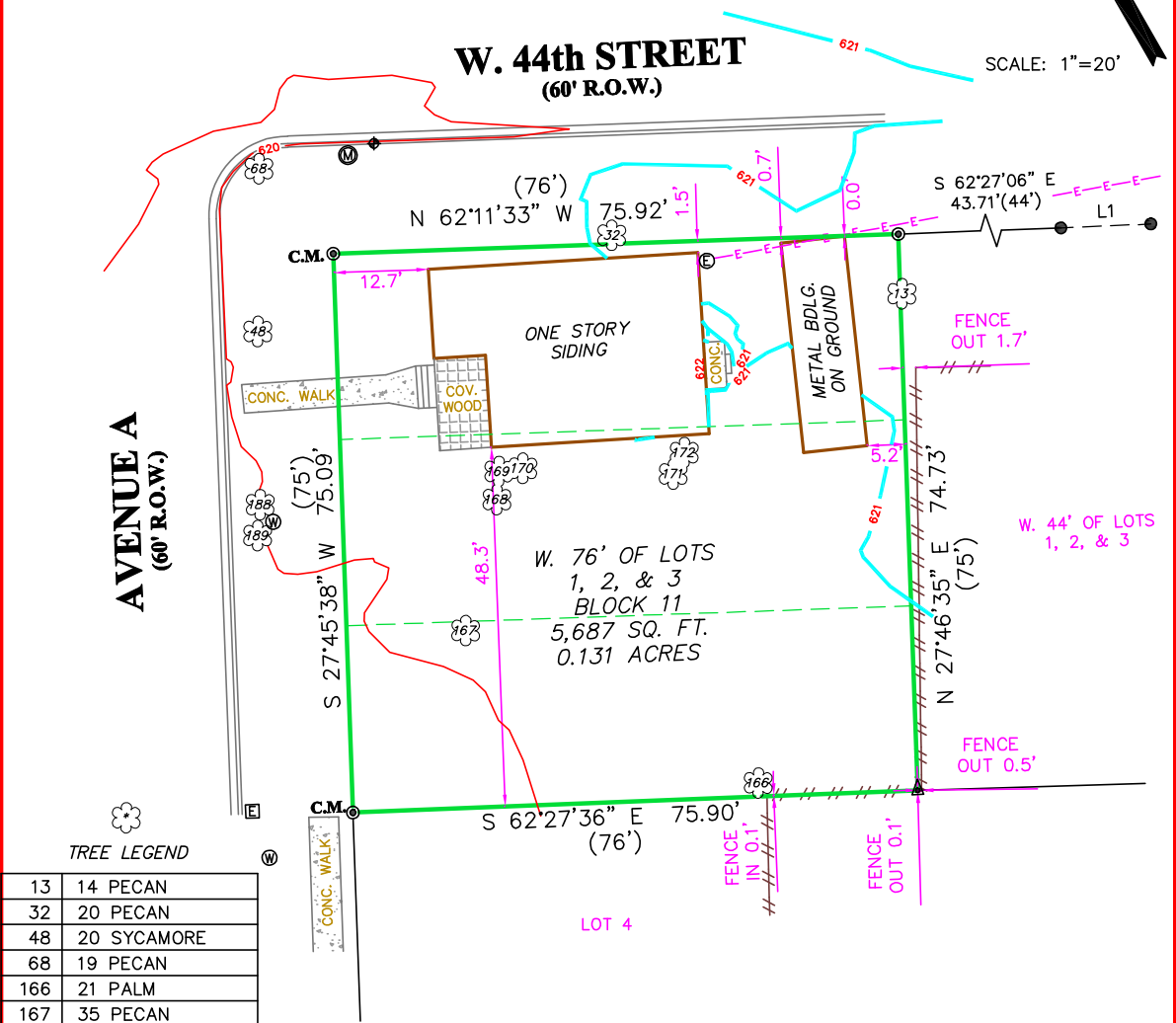
NOTE:
PRIOR SURVEY (WESTAR JOB #104105) WAS USED FOR REFERENCE.

NOTE:
VERTICAL INFO. SHOWN HEREON IS BASED ON ACTUAL GPS OBSERVATIONS, TEXAS STATE PLANE COORDINATES, CENTRAL ZONE. T.B.M. = MAG NAIL ON B.O.C. NORTHEAST OF NORTHWEST CORNER = 620.17' T.B.M. # 1 →

SCALE: 1"=20'

AVENUE A
(60' R.O.W.)

W. 44th STREET
(60' R.O.W.)



TREE LEGEND

13	14 PECAN
32	20 PECAN
48	20 SYCAMORE
68	19 PECAN
166	21 PALM
167	35 PECAN
168	14 PALM
169	16 PALM
170	18 PALM
171	17 PECAN
172	23 PALM
188	27 PECAN
189	16 PALM

NOTE:
THE ORIGINAL PLAT OF RECORD IS WITHOUT BEARINGS.
THIS PROPERTY IS SUBJECT TO RESTRICTIVE COVENANTS, EASEMENTS, AGREEMENTS, AND/OR SETBACK LINES (IF ANY) AS FOLLOWS: VOLUME 180, PAGE 299, VOLUME 563, PAGE 20, VOLUME 608, PAGE 322, VOLUME 608, PAGE 319, VOLUME 741, PAGE 339, VOLUME 744, PAGE 403 AND VOLUME 828, PAGE 567, DEED RECORDS, TRAVIS COUNTY, TEXAS.
NOTE:
Bearings shown hereon are based on actual GPS Observations, Texas State Plane Coordinates, Central Zone, Grid.

THIS SURVEY IS
ACKNOWLEDGED AND
IS ACCEPTED:

FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 484530, Panel No. 0465 K, which is Dated 1/22/2020. By scaling from that FIRM, it appears that all or a portion of the property may be in Flood Zone(s) X. Because this is a boundary survey, the survey did not take any actions to determine the Flood Zone status of the surveyed property other than to interpret the information set out on FEMA's FIRM, as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONES, which may not agree with the interpretations of FEMA or state or local officials, and which may not agree with the tract's actual conditions. More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at <http://www.fema.gov/index.shtm>.



Property Address:
4315 AVENUE A

Property Description:

THE WEST 76' OF LOTS 1, 2, & 3, BLOCK 11, HYDE PARK ADDITION, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 1, PAGE 67, PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

Owner:

JEAN LAFOSSE HOBBS

FIRM REGISTRATION NO.
10111700

Westar Alamo
LAND SURVEYORS, LLC.
P.O. BOX 1645 BOERNE, TEXAS 78006
PHONE (210) 372-9500 FAX (210) 372-9999

LEGEND

- = FND. 3/8" IRON ROD
- = FND 1/2" IRON ROD
- () = RECORD INFORMATION
- B.S. = BUILDING SETBACK
- C.M. = CONTROLLING MONUMENT
- ⊙ = WATER METER
- ⊕ = ELECTRIC METER
- ⊞ = ELECTRIC BOX
- ⊟ = SEWER MANHOLE
- ⊠ = OVERHEAD ELECTRIC
- ⊡ = WOOD FENCE
- ⊢ = FND. 1/2" IRON PIPE

DRAWN BY: AP/JA

STATE OF TEXAS
REGISTERED
DAVID L. ELZY
4675
PROFESSIONAL
LAND SURVEYOR

I, DAVID L. ELZY, Registered Professional Land Surveyor, State of Texas, do hereby certify that the above plat represents an actual TREE AND TOPO survey made on the ground under my supervision

DAVID L. ELZY
Registered Professional Land Surveyor
Texas Registration No. 4675

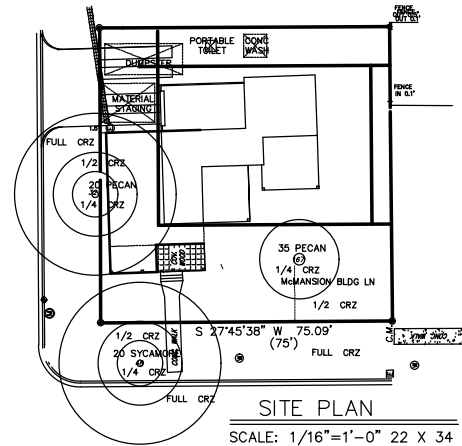
IMPERVIOUS AREA LOT 5687	
FOUNDATION	1911
AC PAD	9
DRIVEWAY	400
SIDEWALK	71
CANTILEVERED AREA	82
TOTAL	2473
TOTAL IMPERV.	43.85%

FRONT YARD PERCENTAGE	
FRONT YARD AREA	1883
SIDEWALK	60
EXISTING FOUNDATION	293
TOTAL	353
TOTAL PERCENTAGE	18.74%

LOT 5687
FAR 2274
IMP 2559

EXISTING AREAS	
TOTAL LIVING	714
PORCH	86
TOTAL COVERED	800

NEW AREAS	
FIRST FLOOR	428
SECOND FLOOR	1042
GREATER THAN 15'	15
TOTAL LIVING	1485
GARAGE	257
PORCHES	450
BALCONY	124
TOTAL COVERED	2316
FOUNDATION CANTILEVERED	1935
	73



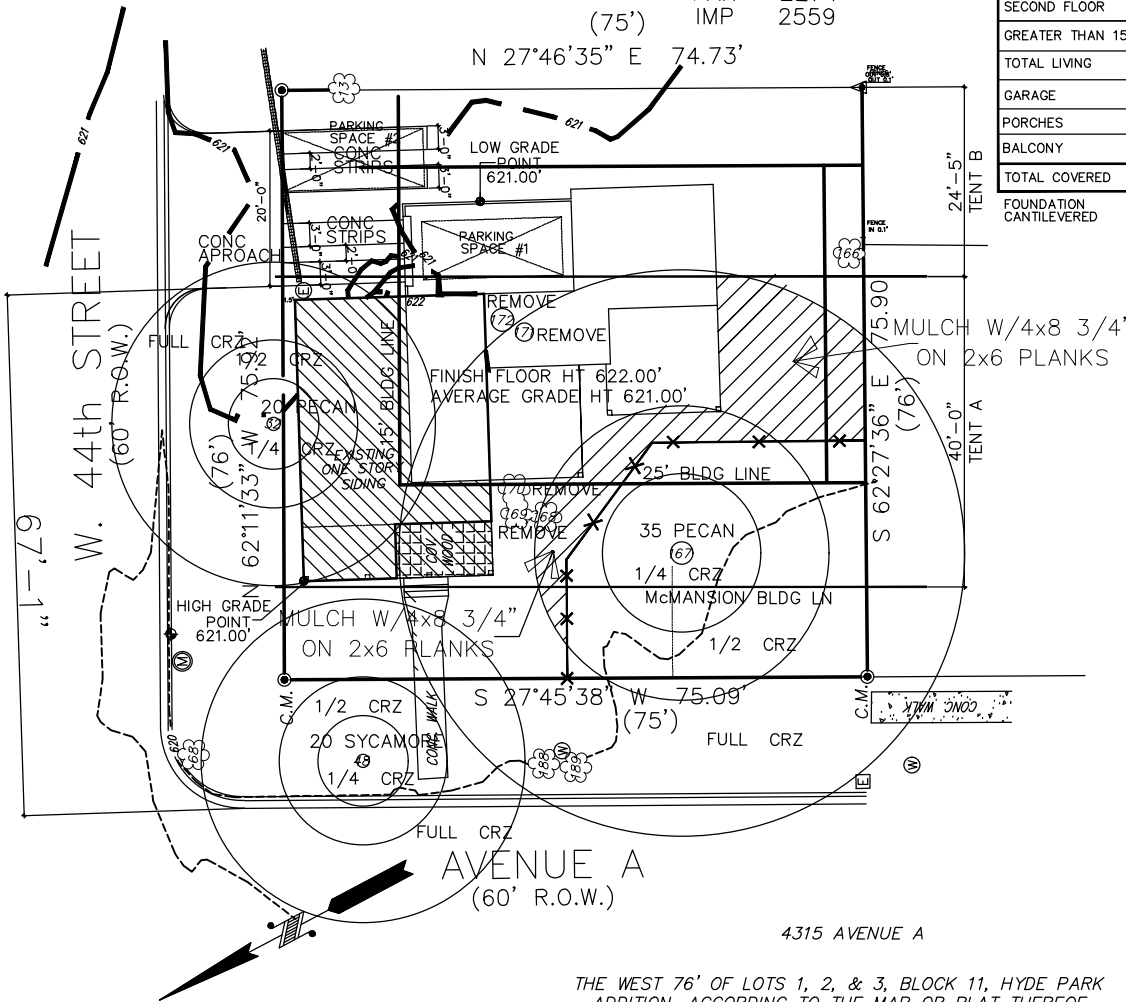
HOBBS
RESIDENCE

DESIGN ORIGINALS of Texas
home design center

4315
AVENUE A

JOB# A10417
DATE: 06/28/21
REVISIONS:
DRAWN BY: JCD/TMD

N.C.B.D.C.
Robert J. Hobbs
06/28/21
American Institute of Building Design
National Professional Seal
Professional Engineer
1 OF 11



WILL PAY FEE IN LIEU
OF SIDEWALK
ALL EXISTING
UTILITIES WILL
REMAIN

LEGEND	
▲	= FND. 3/8" IRON ROD
●	= FND. 1/2" IRON ROD
()	= RECORD INFORMATION
B.S.	= BUILDING SETBACK
C.M.	= CONTROLLING MONUMENT
⊙	= WATER METER
⊕	= ELECTRIC METER
⊖	= ELECTRIC BOX
⊗	= SEWER MANHOLE
⊚	= OVERHEAD ELECTRIC
⊛	= WOOD FENCE
⊜	= FND. 1/2" IRON PIPE

TREE LEGEND

13	14 PECAN
32	20 PECAN
48	20 SYCAMORE
68	19 PECAN
166	21 PALM
167	35 PECAN
168	14 PALM REMOVE
169	16 PALM REMOVE
170	18 PALM REMOVE
171	17 PECAN REMOVE
172	23 PALM REMOVE
188	27 PECAN
189	16 PALM

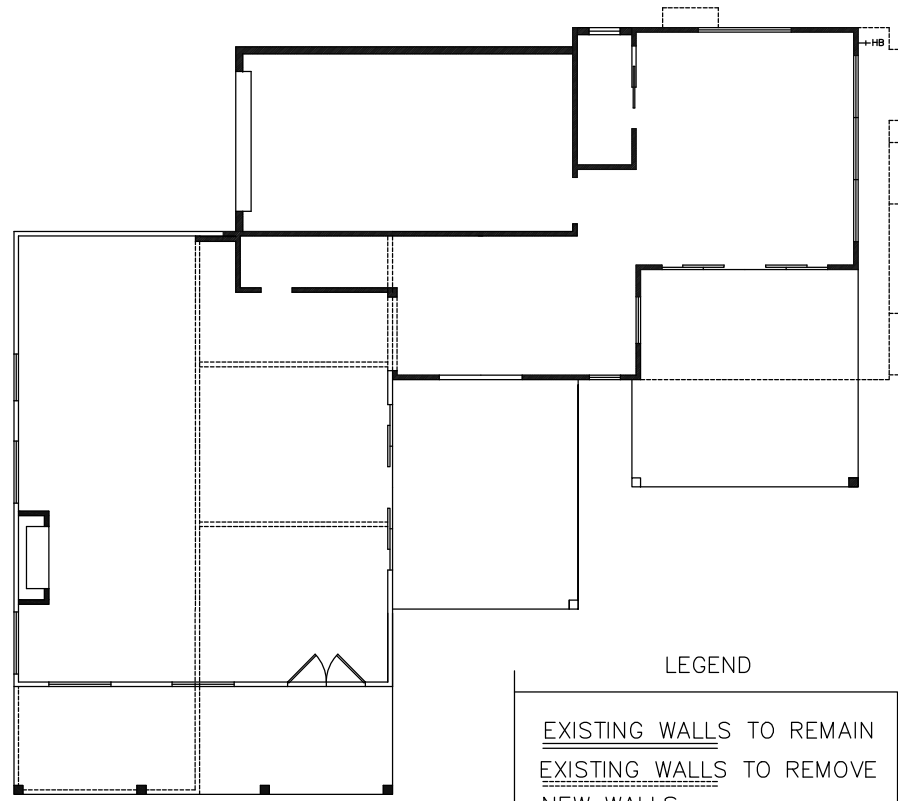
W. 76' OF LOTS
1, 2, & 3
BLOCK 11
5,687 SQ. FT.
0.131 ACRES

SITE PLAN

SCALE: 1/8"=1'-0" 22 X 34
SCALE: 1/16"=1'-0" 11 X 17

COPYRIGHT © 2021 DESIGN ORIGINALS OF TEXAS

THE WEST 76' OF LOTS 1, 2, & 3, BLOCK 11, HYDE PARK
ADDITION, ACCORDING TO THE MAP OR PLAT THEREOF,
RECORDED IN VOLUME 1, PAGE 67, PLAT RECORDS OF
TRAVIS COUNTY, TEXAS.



LEGEND

EXISTING WALLS TO REMAIN

EXISTING WALLS TO REMOVE

NEW WALLS

EXISTING AREAS	
TOTAL LIVING	714
PORCH	86
TOTAL COVERED	800

NEW AREAS	
FIRST FLOOR	428
SECOND FLOOR	1042
GREATER THAN 15'	15
TOTAL LIVING	1485
GARAGE	257
PORCHES	450
UNCOVERED BALCONY	451
TOTAL COVERED	2316

FOUNDATION	1935
CANTILEVERED	73

Design Originals is a Professional Building Design Firm. We are Not Qualified To nor Licensed To Design Structural Framing Or Foundations. A Licensed Professional Engineer Should Be Consulted Regarding The Framing And Foundation. Should An Engineer's Seal Be Present On These Drawings, The Engineer Or Engineer-At-Large Shall Bear The Responsibility For The Structural Design. Design Originals, Inc. Will Not Be Held Responsible For The Structural Design In Any Way Or Any Problems Which May Arise.

DEMO PLAN

SCALE: 1/4"=1'-0" 22 X 34
SCALE: 1/8"=1'-0" 11 X 17

HOBBS
RESIDENCE


 DESIGN ORIGINALS of Texas
home design center
DESIGN ORIGINALS, INC. #112-412
SOUTH PL. 7000
DALLAS, TEXAS 75231

4315
AVENUE A

JOB# A10417
DATE: 06/28/21
REVISIONS:
DRAWN BY: JCD/TMD


 Robert J. C.
06/28/21
Professional Engineer
State of Texas
No. 112-412
Exp. 06-28-21
2 OF 11

HOBBS
RESIDENCE



DESIGN ORIGINALS of Texas
home design center

ORLANDO, STE-A1
P.O. Box 10728
Dallas, TX 75210-0728

4315
AVENUE A

JOB# A10417
DATE: 06/28/21
REVISIONS:
DRAWN BY: JCD/TMD

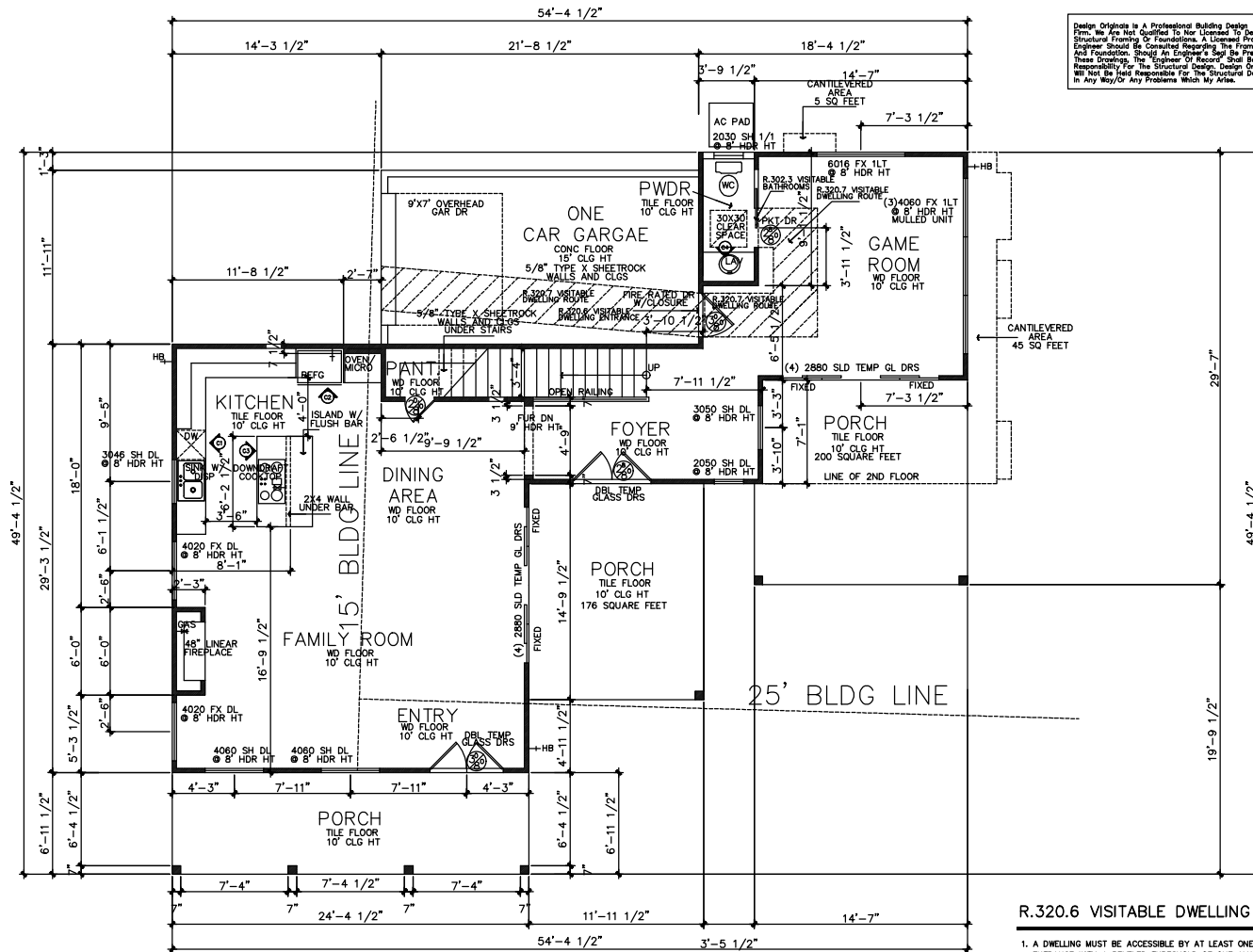
3 OF 11



FRONT-REAR ELEVATION06

SCALE: 1/4"=1'-0" 22 X 34
SCALE: 1/8"=1'-0" 11 X 17

COPYRIGHT © 2021 DESIGN ORIGINALS OF TEXAS



R.320.4 VISITABLE LIGHT SWITCHES RECEPTACLES AND ENVIRONMENTAL CONTROLS

1. LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" INCHES ABOVE THE INTERIOR FLOOR AND
2. OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15 INCHES ABOVE THE INTERIOR FLOOR, EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES

R.320.3 VISITABLE BATHROOMS

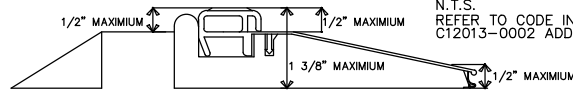
1. A MINIMUM CLEAR OPENING OF 30 INCHES IS REQUIRED
2. LATERAL TWO-INCH BY SIX INCH OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS; AND
3. THE CENTERLINE OF THE BLOCKING MUST BE 34 INCHES FROM THE PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF THE WALL LOCATED DIRECTLY BEHIND THE LAVATORY

R.320.7 VISITABLE DWELLING ROUTE

1. A VISITABLE ENTRANCE APPROVED UNDER SECTION R320.6 MUST HAVE AT LEAST ONE VISITABLE ROUTE WITH A CROSS SLOPE OF NO GREATER THAN TWO PERCENT (1:50) THAT ORIGINATES FROM A GARAGE, DRIVEWAY, PUBLIC STREET, OR PUBLIC SIDEWALK. A RAMP INCLUDED IN AN EXTERIOR VISITABLE ROUTE MUST COMPLY WITH

THRESHOLD DETAIL

N.T.S.
REFER TO CODE INTERPRETATION
C12013-0002 ADDITIONAL INFORMATION



Design Originals is a Professional Building Design Firm. We are Not Qualified to Provide Design Services for any changes or modifications made to these plans by others. These plans and specifications are intended to meet all applicable codes and ordinances. Contractor to comply with all local codes, ordinances and deed restrictions. Any discrepancies in plans to be brought to the attention of the designer prior to beginning construction. Contractors shall assume responsibility for errors that are not reported. Contractor shall insure compatibility of the building with all site requirements. Contractor to consult with a structural engineer for design of all solid framing, columns, beams, and other structural members. All wood, concrete and steel structural members shall be of a good quality and meet all applicable national, state and local building codes. All angles shown on plans are 45° unless noted otherwise. All dimensions should be read or calculated and never scaled. All window sizes are nominal rough opening, verify sizes with manufacturers details & specs. All windows will be dimensioned to center of rough openings unless otherwise noted. Weather strip attic access door(s). Contractor to provide a 3/4" plywood catwalk from attic access to HVAC unit, (if applicable). Units to be located within 20'-0" of access. All vents to rear of residence. Provide 1 s.f. net free area of attic ventilation per 150 s.f. of total covered roof area as per code. Floor truss area to be drafted stopped where trusses open to attic space. Divide floor truss area into equal areas of less than 1000 s.f. each for fire stops. Provide control and expansion joints as required on concrete drives, walks, patios and masonry walls. Pull down attic access to be standard 30"x54" R.O. all ceilings 11'-1 1/2" or higher require 30"x60" R.O. Provide studs at all 4 corners of tub. Provide 5/8" type "X" gypsum board on common walls and ceilings. Do not use wood build-outs behind stucco, around windows and doors. Attach tops, sides and bottoms, of windows and doors shingle style. Apply 2 ply ALUM building paper shingle style over all exterior sheathing prior to installing metal roof. Stucco veneer must comply with 2015 IRC and the ASTM requirements. Provide weep screen properly installed. Provide expansion/contraction control joints to divide up stucco into 100 sq. ft. total sq. ft. area. Provide casing bead where stucco terminates around perimeter of windows, doors or dissimilar materials. Stop casing bead at least 1" to 1 1/2" away from window and door frames.

GENERAL NOTES:

- 1.0 Design Originals assumes no responsibility for any changes or modifications made to these plans by others.
- 2.0 These plans and specifications are intended to meet all applicable codes and ordinances. Contractor to comply with all local codes, ordinances and deed restrictions.
- 3.0 Any discrepancies in plans to be brought to the attention of the designer prior to beginning construction. Contractors shall assume responsibility for errors that are not reported.
- 4.0 Contractor shall insure compatibility of the building with all site requirements.
- 5.0 Contractor to consult with a structural engineer for design of all solid framing, columns, beams, and other structural members.
- 6.0 All wood, concrete and steel structural members shall be of a good quality and meet all applicable national, state and local building codes.
- 7.0 All angles shown on plans are 45° unless noted otherwise.
- 8.0 All dimensions should be read or calculated and never scaled.
- 9.0 All window sizes are nominal rough opening, verify sizes with manufacturers details & specs.
- 10.0 All windows will be dimensioned to center of rough openings unless otherwise noted.
- 11.0 Weather strip attic access door(s).
- 12.0 Contractor to provide a 3/4" plywood catwalk from attic access to HVAC unit, (if applicable). Units to be located within 20'-0" of access.
- 13.0 All vents to rear of residence.
- 14.0 Provide 1 s.f. net free area of attic ventilation per 150 s.f. of total covered roof area as per code.
- 15.0 Floor truss area to be drafted stopped where trusses open to attic space.
- 16.0 Divide floor truss area into equal areas of less than 1000 s.f. each for fire stops.
- 17.0 Provide control and expansion joints as required on concrete drives, walks, patios and masonry walls.
- 18.0 Pull down attic access to be standard 30"x54" R.O. all ceilings 11'-1 1/2" or higher require 30"x60" R.O.
- 19.0 Provide studs at all 4 corners of tub.
- 20.0 Provide 5/8" type "X" gypsum board on common walls and ceilings.
- 21.0 Do not use wood build-outs behind stucco, around windows and doors.
- 22.0 Attach tops, sides and bottoms, of windows and doors shingle style.
- 23.0 Apply 2 ply ALUM building paper shingle style over all exterior sheathing prior to installing metal roof.
- 24.0 Stucco veneer must comply with 2015 IRC and the ASTM requirements.
- 25.0 Provide weep screen properly installed.
- 26.0 Provide expansion/contraction control joints to divide up stucco into 100 sq. ft. total sq. ft. area. Provide casing bead where stucco terminates around perimeter of windows, doors or dissimilar materials. Stop casing bead at least 1" to 1 1/2" away from window and door frames.

EXISTING AREAS

TOTAL LIVING	714
PORCH	86
TOTAL COVERED	800

NEW AREAS

FIRST FLOOR	428
SECOND FLOOR	1042
GREATER THAN 15'	15
TOTAL LIVING	1485
GARAGE	257
PORCHES	450
BALCONY	124
TOTAL COVERED	2316

FOUNDATION
CANTILEVERED

FIRST FLOOR

SCALE: 1/4"=1'-0" 22 X 34
SCALE: 1/8"=1'-0" 11 X 17

COPYRIGHT © 2021 DESIGN ORIGINALS OF TEXAS

HOBBS
RESIDENCE

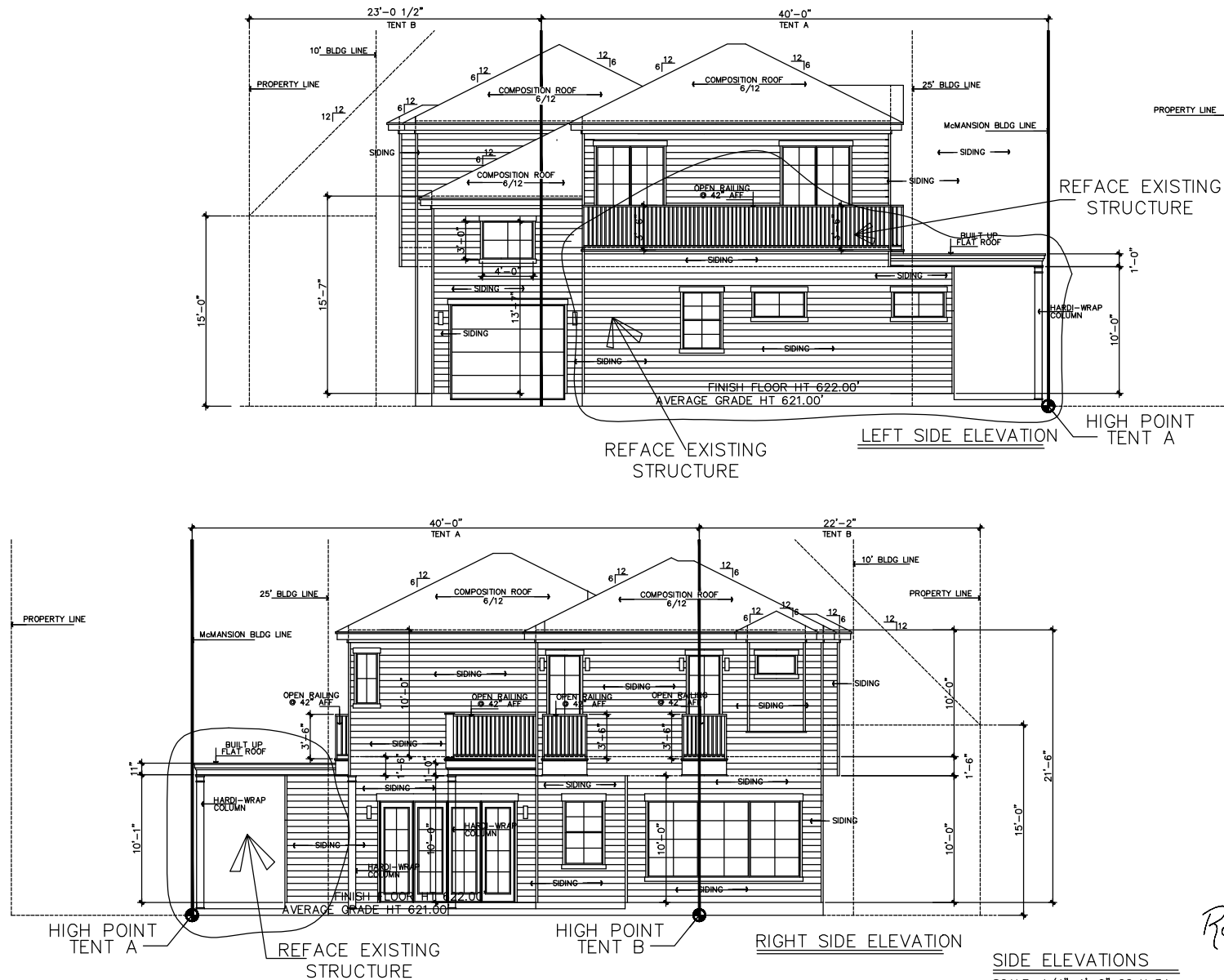
DESIGN ORIGINALS OF TEXAS
home design center

4315
AVENUE A

JOB# A10417
DATE: 06/28/21
REVISIONS:
DRAWN BY: JCD/TMD

N.C.B.D.C.
Robert J. Cant
06/28/21
4 OF 11





COPYRIGHT © 2021 DESIGN ORIGINALS OF TEXAS

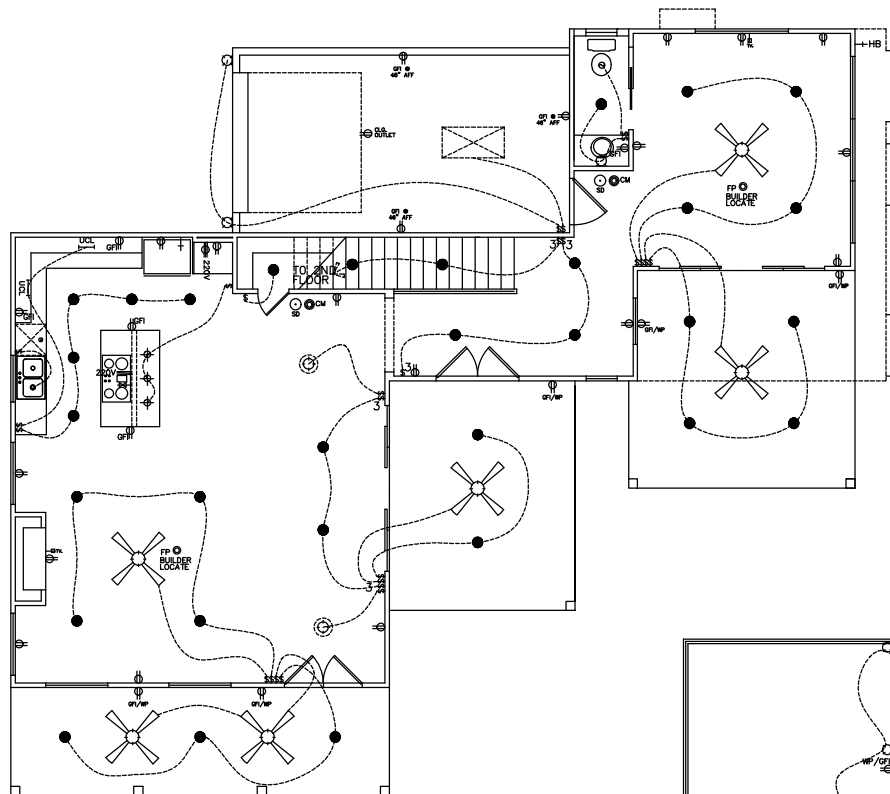
HOBBS
RESIDENCE

DESIGN ORIGINALS of Texas
home design center
10000 W. 10TH STREET, SUITE 412
DALLAS, TEXAS 75243

4315
AVENUE A

JOB# A10417
DATE: 06/28/21
REVISIONS:
DRAWN BY: JCD/TMD

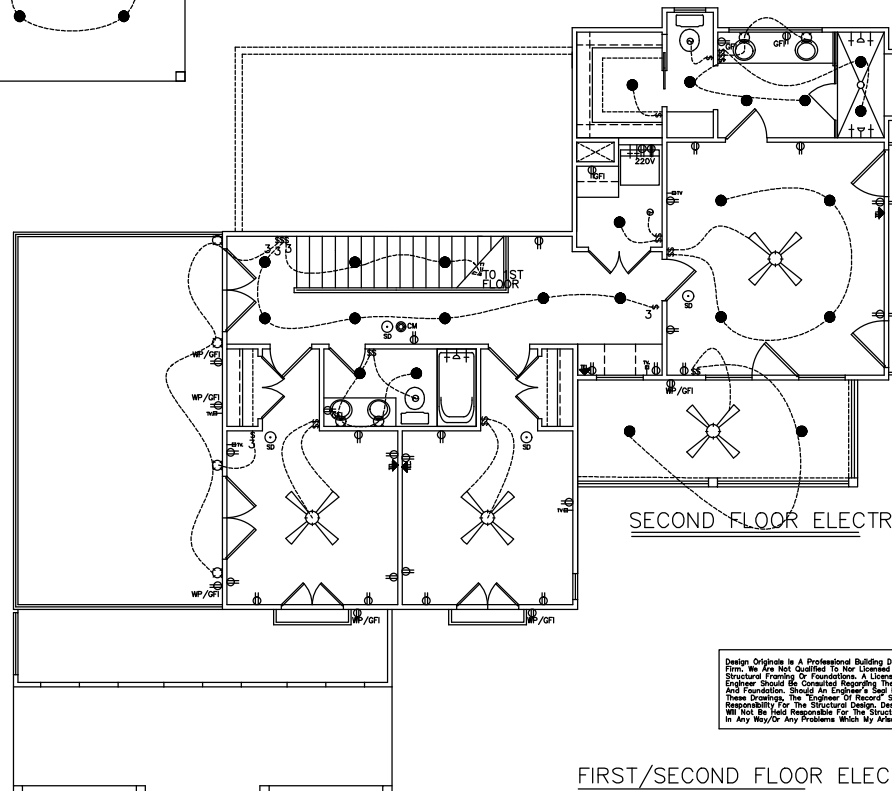
Robert
06/28/21
N.C.B.D.C.
Professional Engineer
State of Texas
No. 123456
Exp. 12/31/22
6 OF 11



FIRST FLOOR ELECTRICAL

ELECTRICAL SYMBOL LEGEND	
SMOKE DETECTOR	RECESSED LIGHT
SINGLE POLE SWITCH	RECESSED EYEBALL LIGHT
3 WAY SWITCH	VENT
4 WAY SWITCH	UNDER COUNTER LIGHT
DIMMER SWITCH	FLOOR, BOX FIXTURE
ELECTRICAL JUNCTION BOX	4" FLOOR STRIP
WALL OUTLET	DOUBLE FLOOD LIGHTS
4 PLEX WALL OUTLET	WALL MTD. PHONE OUTLET
FLOOR PLUG	WALL MTD. CABLE T.V. OUTLET
WATER PROOF OUTLET	STEREO SPEAKER JACK (WIRE ONLY)
220V OUTLET	INTERCOM SYSTEM
SPEAKER	COMPUTER DATA TERMINAL
HALOGEN LIGHT	DOOR BELL
SURFACE MOUNT LIGHT	DOOR CHIME
HANGING LIGHT	HEAT DETECTOR
WALL MOUNT LIGHT	
CARBON MONOXIDE DETECTOR	

ELECTRICAL NOTES:
 Provide smoke detectors per code.
 Rewire for security system as spec.
 Outlets within 6'-0" of sink or lavatory to be on G. F. I. circuit
 Center light over pedestal lav, where shown.
 Block for ceiling fans in all bedrooms, living, family and breakfast rooms.
 Supply 220v and 110v or gas and 110v to HVAC unit(s) in attic (ref. specs.)
 Provide light near HVAC unit(s) in attic.
 Any discrepancies in plans are to be brought to the attention of the designer immediately.



SECOND FLOOR ELECTRICAL

Design Originals is a Professional Building Design Firm. We are not qualified to nor licensed to design structural framing or foundations. A Licensed Professional Engineer should be consulted regarding the framing and foundation. Should an Engineer's Seal be present on these drawings, the Engineer of Record shall bear the responsibility for the structural design. Design Originals, Inc. will not be held responsible for the structural design in any way or for any problems which may arise.

Robert J. C. B. D. C.

FIRST/SECOND FLOOR ELECTRICAL 06/28/21

SCALE: 1/4"=1'-0" 22 X 34
 SCALE: 1/8"=1'-0" 11 X 17

COPYRIGHT © 2021 DESIGN ORIGINALS OF TEXAS

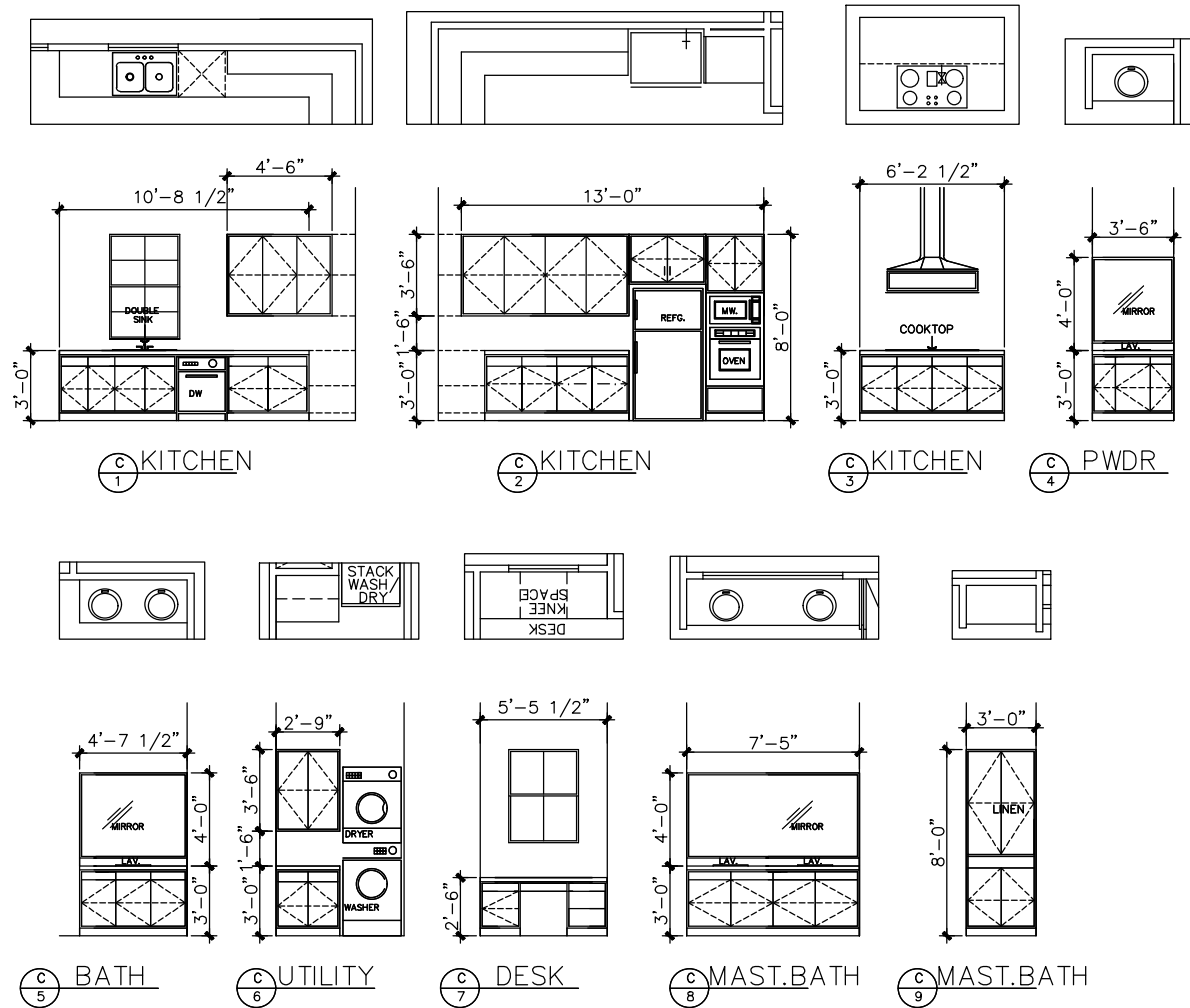
HOBBS
RESIDENCE

DESIGN ORIGINALS of Texas
home design center
15000 N. MCKINNEY, SUITE 412
DALLAS, TEXAS 75244
(214) 343-8476

4315
AVENUE A

JOB# A10417
 DATE: 06/28/21
 REVISIONS:
 DRAWN BY: JCD/TMD

N.C.B.D.C.
 American Institute of Building Design
 National Council of Building Designers
 (N.C.B.D.C. - 999-775)
 7 OF 11



HOBBS
RESIDENCE

DESIGN ORIGINALS of Texas
home design center
10710 N. MICHIGAN, SUITE 210
DALLAS, TEXAS 75243
(214) 343-1111

4315
AVENUE A

JOB # A10417
DATE: 06/28/21
REVISION:
DRAWN BY: TMD

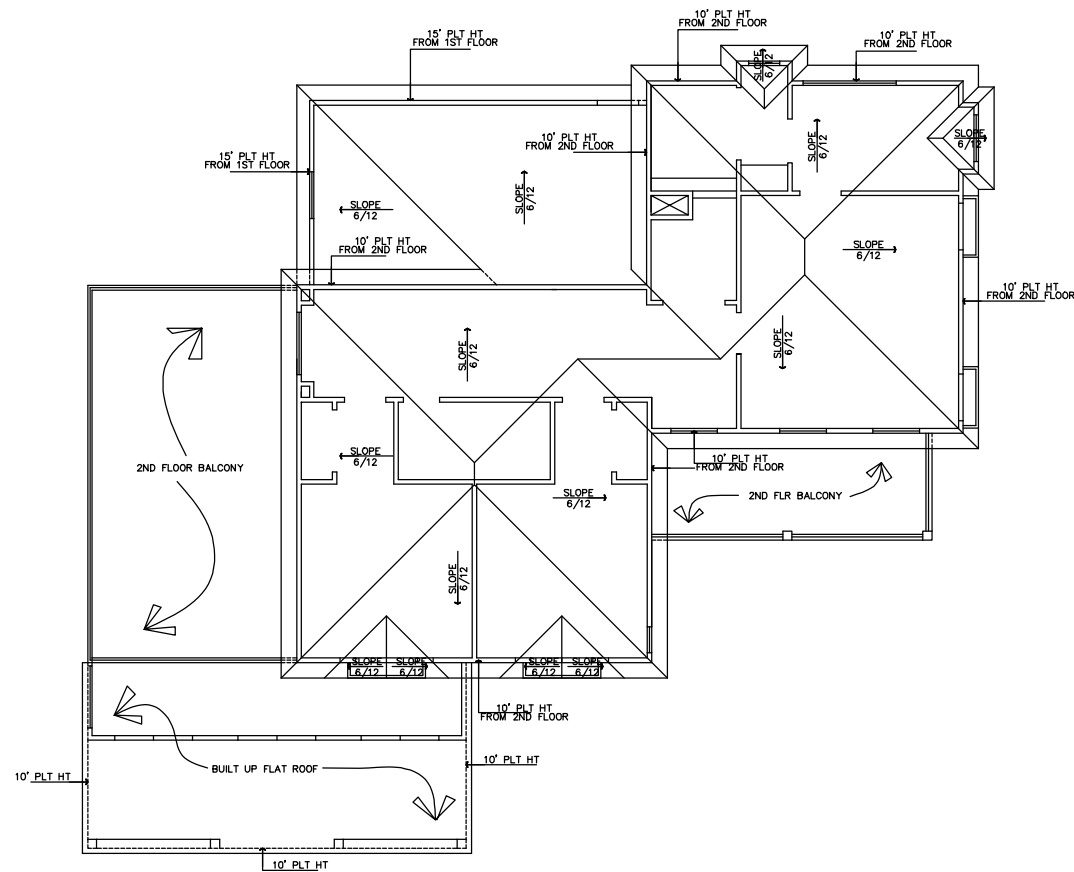
N • C • B • D • C
Robert J. F. 06/28/21
8 OF 11

Design Originals is a Professional Building Design Firm. We are Not Qualified to Nor Licensed to Design Structural Framing Or Foundations. A Licensed Professional Engineer should be consulted regarding any framing and foundation. Should an Engineer not be present On these drawings, the Engineer or Architect will assume the Responsibility For The Structural Design. Design Originals, Inc. Will Not be held Responsible For The Structural Design In Any Way/Of Any Problems Which May Arise.

CABINET ELEVATIONS
SCALE: 3/8"=1'-0" 22 X 34
SCALE: 3/16"=1'-0" 11 X 17

COPYRIGHT © 2017 DESIGN ORIGINALS OF TEXAS

Design Originals is a Professional Building Design Firm. We are Not Qualified To Not Licensed To Design Structural Framing Or Foundations. A Licensed Professional Engineer Should Be Consulted Regarding The Framing And Foundation. Should An Engineer's Seal Be Present On These Drawings, The Engineer Or Architect Shall Bear The Responsibility For The Structural Design. Design Originals, Inc. Will Not Be Held Responsible For The Structural Design In Any Way For Any Problems Which May Arise.



ROOF PLAN

SCALE: 1/4"=1'-0" 22 X 34
SCALE: 1/8"=1'-0" 11 X 17

COPYRIGHT © 2021 DESIGN ORIGINALS OF TEXAS

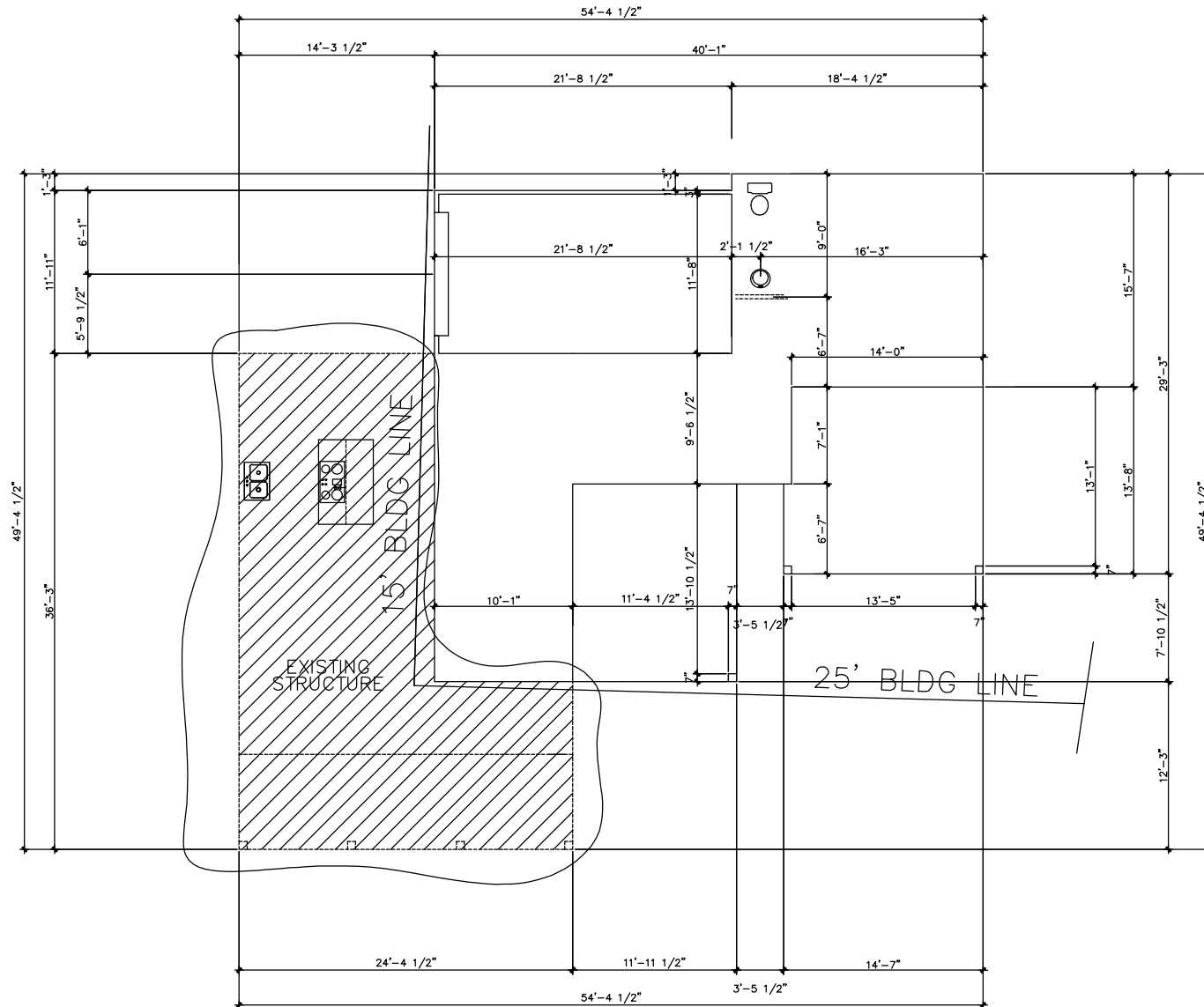
HOBBS
RESIDENCE

DESIGN ORIGINALS of Texas
home design center

4315
AVENUE A

JOB# A10417
DATE: 06/28/21
REVISIONS:
DRAWN BY: JCD/TMD

Robert J. JCD
06/28/21
N.C.B.D.C.
Professional Engineer
State of Texas
No. 10417
06/28/21
9 OF 11



SIDE ELEVATIONS
 SCALE: 1/4"=1'-0" 22 X 34
 SCALE: 1/8"=1'-0" 11 X 17

COPYRIGHT © 2021 DESIGN ORIGINALS OF TEXAS

HOBBS
 RESIDENCE

DESIGN ORIGINALS of Texas
 home design center

 4315 AVENUE A, STE. 412
 HOUSTON, TX 77030
 281.452.5470

4315
 AVENUE A

JOB# A10417
 DATE: 06/28/21
 REVISIONS:
 DRAWN BY: JCD/TMD

Robert J. Carter
 06/28/21

N.C.B.D.C.
 American Institute of Architects
 National Council of Building Owners
 (N.C.B.O.) - (901-725)

10 OF 11

NAILING SCHEDULE

CONNECTION	NAILING
1. JOIST TO SILL OR GROUND, TERNAL	3-6d
2. BRIDGING TO JOIST, TERNAL	2-6d
3. 1"X4" SURFLOOR ON EACH JOIST, FACE NAIL	2-6d
4. WIDER THAN 1"X4" SURFLOOR TO EACH JOIST, FACE NAIL	2-6d
5. 2" SURFLOOR TO JOIST OR GROUND, BLIND AND FACE NAIL	2-6d
6. SOLE PLATE TO JOIST OR GROUND, FACE NAIL	16d AT 16" O.C.
7. SOLE PLATE TO JOIST OR BLOORING, AT BRAGED WALL PANELS	3-16d PER 16" (100# MIN)
8. TOP PLATE TO STUD, END NAIL	2-16d
9. STUD TO STUD, FACE NAIL	4-8d, TERNAL OR 2-16d, END NAIL
10. DOUBLE STUD, FACE NAIL	16d AT 24" O.C.
11. DOUBLED TOP PLATES, FACE NAIL	16d AT 16" O.C.
12. DOUBLED TOP PLATES, LAP JOINT	8-16d
13. BLOORING BETWEEN JOISTS OR RAFTERS TO TOP PLATE TERNAL	3-6d
14. RM JOIST TO TOP PLATE, TERNAL	8d AT 6" O.C.
15. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
16. CONTINUOUS HEADER TWO PIECES	16d AT 16" O.C. ALONG EACH EDGE
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-6d
18. CONTINUOUS HEADER TWO PIECES	3-16d
19. RAFTERS TO TOP PLATE, TERNAL	3-6d
20. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-6d
21. 1"X4" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-6d
22. WIDER THAN 1"X4" SHEATHING TO EACH BEARING, FACE NAIL	2-6d
23. BUILT-UP CORNER STUDS	16d AT 24" O.C.
24. BUILT-UP GREYER AND BEAMS	20d AT 16" AT TOP AND BOTTOM AND 16d AT EACH SIDE
25. 2"X PLANKS	2-16d AT EACH BEARING

26. WOOD STRUCTURAL PANELS AND PARTITIONING	2
SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING: (1 INCH=25.4 mm)	
1/2" AND 5/8"	6d
1/2" AND 5/8"	6d
1/2" AND 5/8"	6d
COMBINATION SUBFLOOR-UNDERLAMENT TO FRAMING:	
1/2" AND 5/8"	10d
1/2" AND 5/8"	10d
1/2" AND 5/8"	10d
27. PANEL JOIST TO FRAMING:	
1/2"	6d
1/2"	6d
28. FLOORING SHEATHING	
1/2" (3/4" min)	6d
25/32" (20 mm)	6d
29. INTERIOR PANEING	
1/2"	4d
3/8"	6d

1. COMBON OR BOX NAILS MAY BE USED EXCEPT WHERE OTHERWISE STATED.	
2. NAILS SPACED AT 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS (10 INCHES INTERMEDIATE SUPPORTS FOR FLOORS), EXCEPT #1 AT ALL SUPPORTS WHERE SPACING IS LIMITED BY MANUFACTURER'S REQUIREMENTS.	
3. NAILS FOR WALL SHEATHING AND PARTITIONING (DAPRAPHAS AND SHEAR WALLS, REFER TO PLAN) SHALL BE 16D OR 18D.	
4. COMBON OR DEFORMED SHANK	
5. DEFORMED SHANK	
6. CORROSION-RESISTANT STEEL OR CASING NAILS	
7. FASTENERS SHOWN 3 INCHES ON CENTER AT INTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS.	
8. CORROSION-RESISTANT STEEL OR CASING NAILS WITH 7/8-INCH DIAMETER HEAD AND 1 1/2-INCH LENGTH FOR 1/2-INCH SHEATHING AND 1 3/4-INCH LENGTH FOR 3/4-INCH SHEATHING.	
9. CORROSION-RESISTANT STEEL OR CASING NAILS WITH 7/8-INCH DIAMETER HEAD AND 1 1/2-INCH LENGTH FOR 1/2-INCH SHEATHING AND 1 3/4-INCH LENGTH FOR 3/4-INCH SHEATHING.	
10. PANEL SUPPORTS AT 18 INCHES (20 INCHES IF STRENGTH AXIS IS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED), CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.	
11. PANEL SUPPORTS AT 24 INCHES CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.	

1. CONCRETE - 175-2500 PSI AT 28 DAYS MINIMUM, 3500 PSI AT DRIVEWAY	
2. MASONRY - GRAVE N, F, W=1500 PSI	
3. STEEL - A36, F=36,000 PSI	
4. WOOD - 1700-2000 PSI	
5. GLASS - 1/2" THICK, 1/4" MINIMUM	
6. ROOFING - 1/2" THICK, 1/4" MINIMUM	
7. FLOORING - 1/2" THICK, 1/4" MINIMUM	
8. WALLS - 1/2" THICK, 1/4" MINIMUM	
9. CEILING - 1/2" THICK, 1/4" MINIMUM	
10. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
11. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
12. FLOORING - 1/2" THICK, 1/4" MINIMUM	
13. WALLS - 1/2" THICK, 1/4" MINIMUM	
14. CEILING - 1/2" THICK, 1/4" MINIMUM	
15. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
16. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
17. FLOORING - 1/2" THICK, 1/4" MINIMUM	
18. WALLS - 1/2" THICK, 1/4" MINIMUM	
19. CEILING - 1/2" THICK, 1/4" MINIMUM	
20. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
21. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
22. FLOORING - 1/2" THICK, 1/4" MINIMUM	
23. WALLS - 1/2" THICK, 1/4" MINIMUM	
24. CEILING - 1/2" THICK, 1/4" MINIMUM	
25. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
26. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
27. FLOORING - 1/2" THICK, 1/4" MINIMUM	
28. WALLS - 1/2" THICK, 1/4" MINIMUM	
29. CEILING - 1/2" THICK, 1/4" MINIMUM	
30. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
31. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
32. FLOORING - 1/2" THICK, 1/4" MINIMUM	
33. WALLS - 1/2" THICK, 1/4" MINIMUM	
34. CEILING - 1/2" THICK, 1/4" MINIMUM	
35. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
36. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
37. FLOORING - 1/2" THICK, 1/4" MINIMUM	
38. WALLS - 1/2" THICK, 1/4" MINIMUM	
39. CEILING - 1/2" THICK, 1/4" MINIMUM	
40. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
41. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
42. FLOORING - 1/2" THICK, 1/4" MINIMUM	
43. WALLS - 1/2" THICK, 1/4" MINIMUM	
44. CEILING - 1/2" THICK, 1/4" MINIMUM	
45. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
46. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
47. FLOORING - 1/2" THICK, 1/4" MINIMUM	
48. WALLS - 1/2" THICK, 1/4" MINIMUM	
49. CEILING - 1/2" THICK, 1/4" MINIMUM	
50. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
51. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
52. FLOORING - 1/2" THICK, 1/4" MINIMUM	
53. WALLS - 1/2" THICK, 1/4" MINIMUM	
54. CEILING - 1/2" THICK, 1/4" MINIMUM	
55. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
56. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
57. FLOORING - 1/2" THICK, 1/4" MINIMUM	
58. WALLS - 1/2" THICK, 1/4" MINIMUM	
59. CEILING - 1/2" THICK, 1/4" MINIMUM	
60. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
61. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
62. FLOORING - 1/2" THICK, 1/4" MINIMUM	
63. WALLS - 1/2" THICK, 1/4" MINIMUM	
64. CEILING - 1/2" THICK, 1/4" MINIMUM	
65. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
66. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
67. FLOORING - 1/2" THICK, 1/4" MINIMUM	
68. WALLS - 1/2" THICK, 1/4" MINIMUM	
69. CEILING - 1/2" THICK, 1/4" MINIMUM	
70. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
71. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
72. FLOORING - 1/2" THICK, 1/4" MINIMUM	
73. WALLS - 1/2" THICK, 1/4" MINIMUM	
74. CEILING - 1/2" THICK, 1/4" MINIMUM	
75. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
76. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
77. FLOORING - 1/2" THICK, 1/4" MINIMUM	
78. WALLS - 1/2" THICK, 1/4" MINIMUM	
79. CEILING - 1/2" THICK, 1/4" MINIMUM	
80. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
81. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
82. FLOORING - 1/2" THICK, 1/4" MINIMUM	
83. WALLS - 1/2" THICK, 1/4" MINIMUM	
84. CEILING - 1/2" THICK, 1/4" MINIMUM	
85. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
86. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
87. FLOORING - 1/2" THICK, 1/4" MINIMUM	
88. WALLS - 1/2" THICK, 1/4" MINIMUM	
89. CEILING - 1/2" THICK, 1/4" MINIMUM	
90. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
91. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
92. FLOORING - 1/2" THICK, 1/4" MINIMUM	
93. WALLS - 1/2" THICK, 1/4" MINIMUM	
94. CEILING - 1/2" THICK, 1/4" MINIMUM	
95. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
96. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
97. FLOORING - 1/2" THICK, 1/4" MINIMUM	
98. WALLS - 1/2" THICK, 1/4" MINIMUM	
99. CEILING - 1/2" THICK, 1/4" MINIMUM	
100. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	

1. CONCRETE - 175-2500 PSI AT 28 DAYS MINIMUM, 3500 PSI AT DRIVEWAY	
2. MASONRY - GRAVE N, F, W=1500 PSI	
3. STEEL - A36, F=36,000 PSI	
4. WOOD - 1700-2000 PSI	
5. GLASS - 1/2" THICK, 1/4" MINIMUM	
6. ROOFING - 1/2" THICK, 1/4" MINIMUM	
7. FLOORING - 1/2" THICK, 1/4" MINIMUM	
8. WALLS - 1/2" THICK, 1/4" MINIMUM	
9. CEILING - 1/2" THICK, 1/4" MINIMUM	
10. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
11. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
12. FLOORING - 1/2" THICK, 1/4" MINIMUM	
13. WALLS - 1/2" THICK, 1/4" MINIMUM	
14. CEILING - 1/2" THICK, 1/4" MINIMUM	
15. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
16. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
17. FLOORING - 1/2" THICK, 1/4" MINIMUM	
18. WALLS - 1/2" THICK, 1/4" MINIMUM	
19. CEILING - 1/2" THICK, 1/4" MINIMUM	
20. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
21. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
22. FLOORING - 1/2" THICK, 1/4" MINIMUM	
23. WALLS - 1/2" THICK, 1/4" MINIMUM	
24. CEILING - 1/2" THICK, 1/4" MINIMUM	
25. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
26. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
27. FLOORING - 1/2" THICK, 1/4" MINIMUM	
28. WALLS - 1/2" THICK, 1/4" MINIMUM	
29. CEILING - 1/2" THICK, 1/4" MINIMUM	
30. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
31. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
32. FLOORING - 1/2" THICK, 1/4" MINIMUM	
33. WALLS - 1/2" THICK, 1/4" MINIMUM	
34. CEILING - 1/2" THICK, 1/4" MINIMUM	
35. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
36. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
37. FLOORING - 1/2" THICK, 1/4" MINIMUM	
38. WALLS - 1/2" THICK, 1/4" MINIMUM	
39. CEILING - 1/2" THICK, 1/4" MINIMUM	
40. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
41. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
42. FLOORING - 1/2" THICK, 1/4" MINIMUM	
43. WALLS - 1/2" THICK, 1/4" MINIMUM	
44. CEILING - 1/2" THICK, 1/4" MINIMUM	
45. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
46. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
47. FLOORING - 1/2" THICK, 1/4" MINIMUM	
48. WALLS - 1/2" THICK, 1/4" MINIMUM	
49. CEILING - 1/2" THICK, 1/4" MINIMUM	
50. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
51. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
52. FLOORING - 1/2" THICK, 1/4" MINIMUM	
53. WALLS - 1/2" THICK, 1/4" MINIMUM	
54. CEILING - 1/2" THICK, 1/4" MINIMUM	
55. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
56. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
57. FLOORING - 1/2" THICK, 1/4" MINIMUM	
58. WALLS - 1/2" THICK, 1/4" MINIMUM	
59. CEILING - 1/2" THICK, 1/4" MINIMUM	
60. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
61. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
62. FLOORING - 1/2" THICK, 1/4" MINIMUM	
63. WALLS - 1/2" THICK, 1/4" MINIMUM	
64. CEILING - 1/2" THICK, 1/4" MINIMUM	
65. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
66. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
67. FLOORING - 1/2" THICK, 1/4" MINIMUM	
68. WALLS - 1/2" THICK, 1/4" MINIMUM	
69. CEILING - 1/2" THICK, 1/4" MINIMUM	
70. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
71. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
72. FLOORING - 1/2" THICK, 1/4" MINIMUM	
73. WALLS - 1/2" THICK, 1/4" MINIMUM	
74. CEILING - 1/2" THICK, 1/4" MINIMUM	
75. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
76. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
77. FLOORING - 1/2" THICK, 1/4" MINIMUM	
78. WALLS - 1/2" THICK, 1/4" MINIMUM	
79. CEILING - 1/2" THICK, 1/4" MINIMUM	
80. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
81. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
82. FLOORING - 1/2" THICK, 1/4" MINIMUM	
83. WALLS - 1/2" THICK, 1/4" MINIMUM	
84. CEILING - 1/2" THICK, 1/4" MINIMUM	
85. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
86. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
87. FLOORING - 1/2" THICK, 1/4" MINIMUM	
88. WALLS - 1/2" THICK, 1/4" MINIMUM	
89. CEILING - 1/2" THICK, 1/4" MINIMUM	
90. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
91. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
92. FLOORING - 1/2" THICK, 1/4" MINIMUM	
93. WALLS - 1/2" THICK, 1/4" MINIMUM	
94. CEILING - 1/2" THICK, 1/4" MINIMUM	
95. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	
96. SUBFLOORING - 1/2" THICK, 1/4" MINIMUM	
97. FLOORING - 1/2" THICK, 1/4" MINIMUM	
98. WALLS - 1/2" THICK, 1/4" MINIMUM	
99. CEILING - 1/2" THICK, 1/4" MINIMUM	
100. PARTITIONING - 1/2" THICK, 1/4" MINIMUM	

GENERAL NOTES		
1. FINISH FLOOR SHALL BE MINIMUM 6" ABOVE ADJACENT GRADE.		
2. FINISH GRADE SHALL SLOPE 5% FOR A DISTANCE OF 10' TO AN APPROVED WASTE DISPOSAL AREA (OR AS NOTED ON GRADING PLAN).		
3. IF UNDERGROUND RETURN AIR IS UTILIZED BUILD UP 18" ABOVE FLOOR.		
4. MINIMUM INSULATION:		
2x2 - R7	2x4 - R11	
2x6 - R19	2x8 - R22	CLG - R30

E-3/21



E-3/22

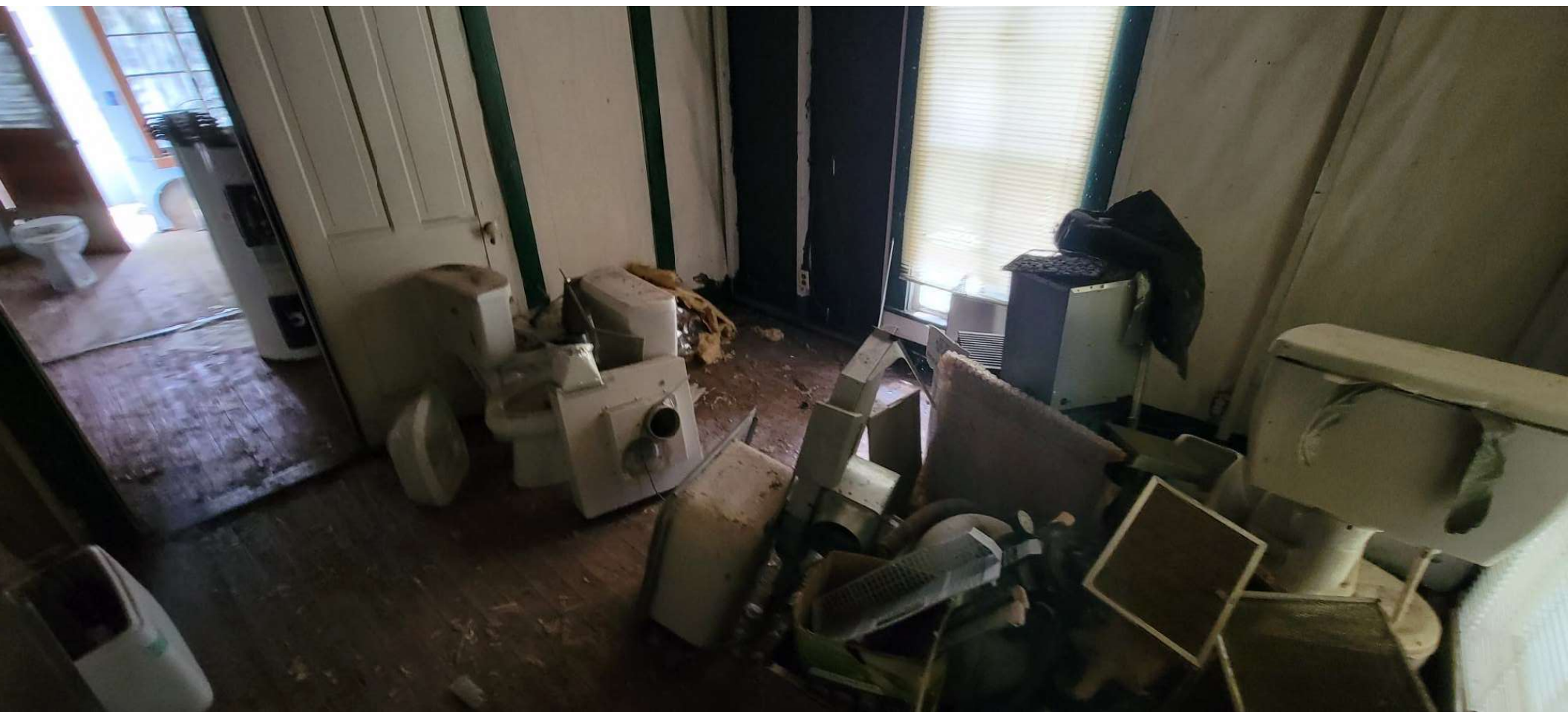




E-3/24







E-3/27





E-3/29



