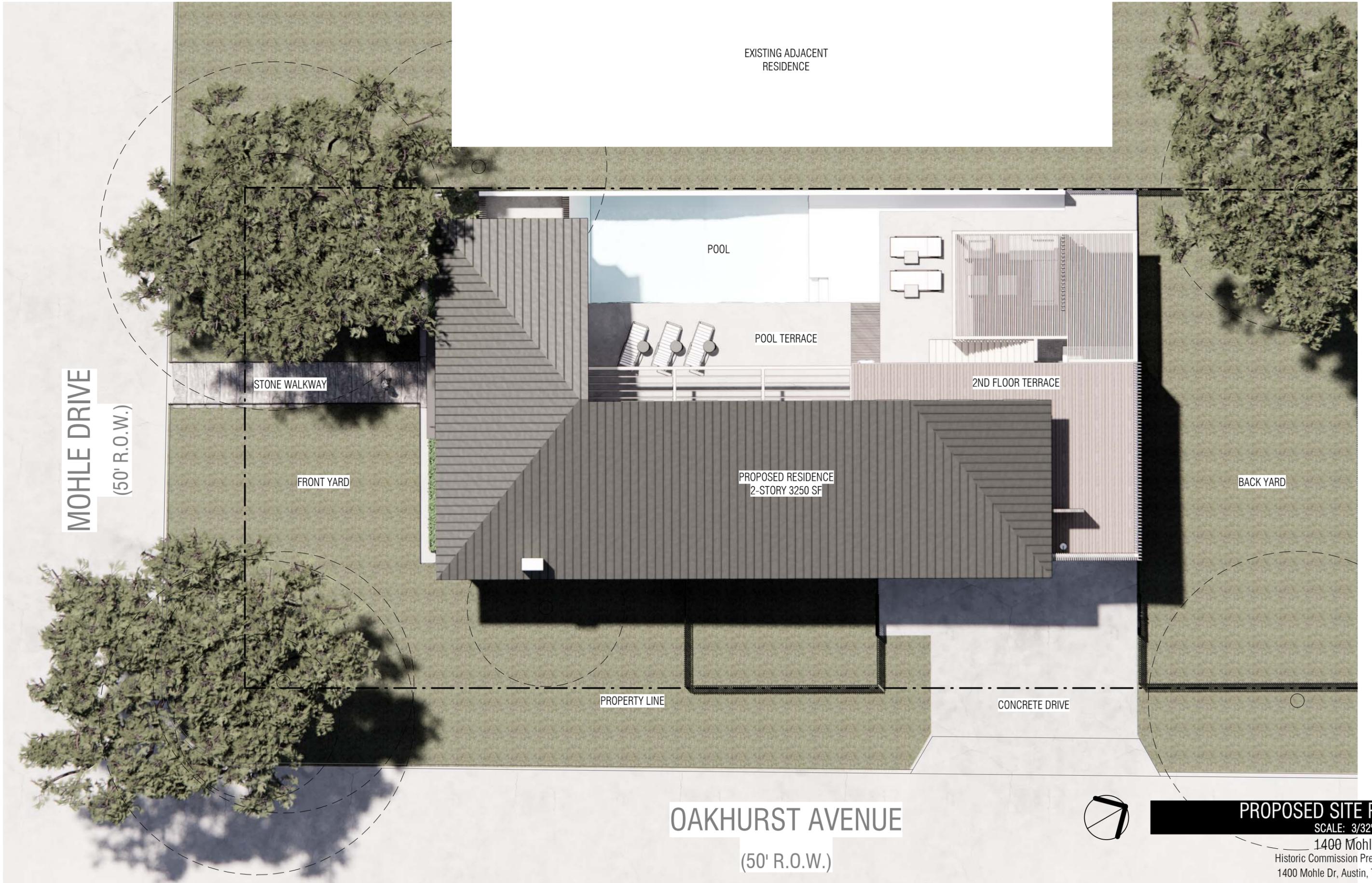


1400 MOHLE DRIVE
DESIGN PROPOSAL PRESENTATION
HISTORIC LANDMARK COMMISSION
25 OCTOBER 2021



EXISTING ADJACENT
RESIDENCE

POOL

POOL TERRACE

2ND FLOOR TERRACE

PROPOSED RESIDENCE
2-STORY 3250 SF

MOHLE DRIVE

(50' R.O.W.)

STONE WALKWAY

FRONT YARD

BACK YARD

PROPERTY LINE

CONCRETE DRIVE

OAKHURST AVENUE

(50' R.O.W.)



PROPOSED SITE PLAN

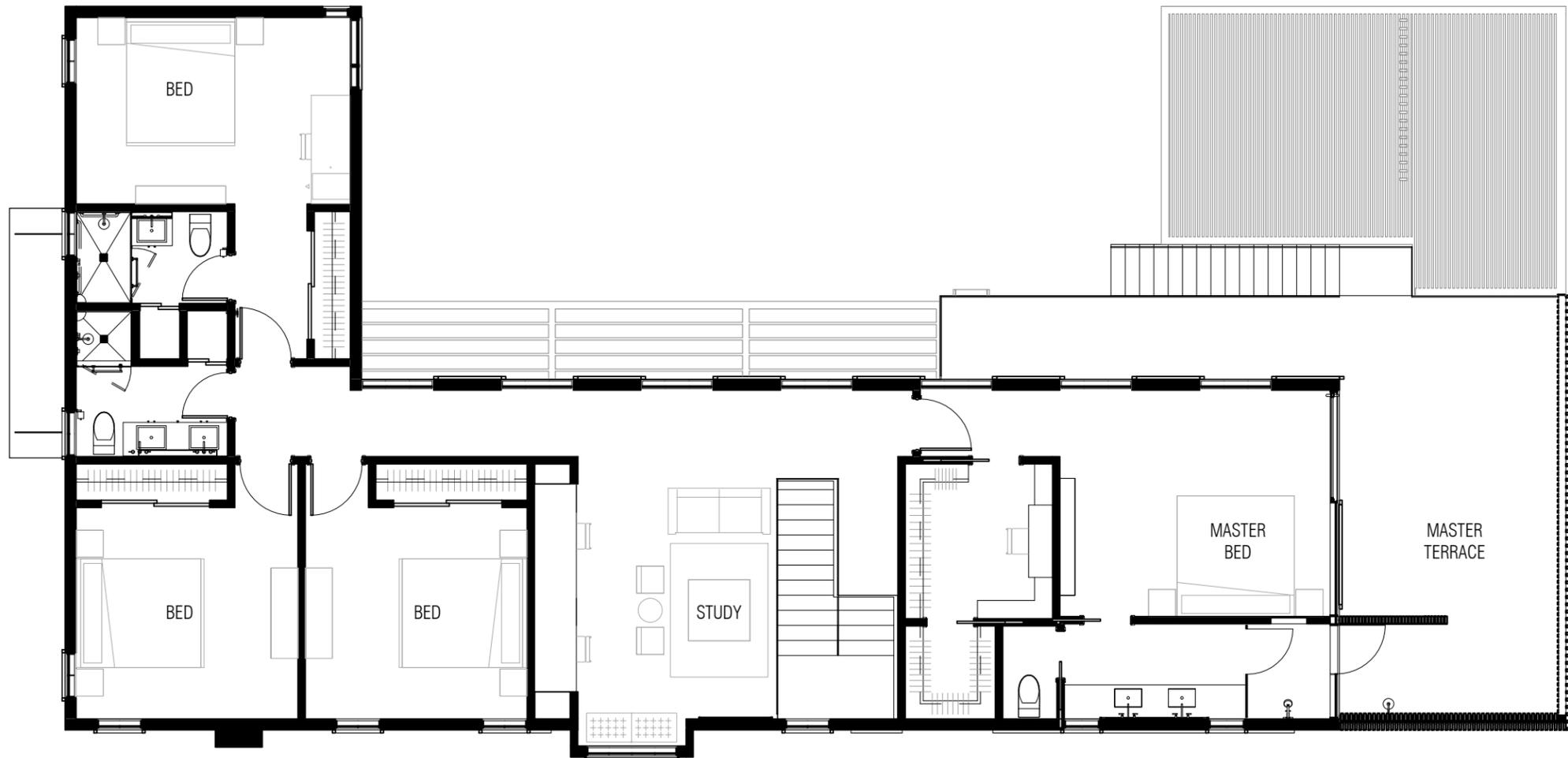
SCALE: 3/32" = 1'-0"

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10/25/21



FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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HISTORIC DESIGN STANDARD CONSIDERATIONS

1. LOCATION AND SETBACKS
Front and side setbacks consistent with required zoning and neighborhood context
2. BUILDING ORIENTATION
Square to street with centralized entry
3. MASSING, SCALE, AND HEIGHT
Consistent two-story height along streetfront commensurate with neighboring properties
4. BUILDING PROPORTIONS
Squared, centralized front facade; more linear and informal side street facade
5. DESIGN STYLE
Modernized homage to Federal-style precedent
6. ROOFLINES AND PROFILES
Low-slope hipped roof facing streetfront
7. WALL MATERIALS
Stucco with minimal texture
8. FENESTRATION
Punched openings with divided lites along street; ordered classicism at front with more informal composition along side
9. PORCHES
Expressed architectural cover at main entry; no large porch typical
10. CHIMNEYS
Vertical element along informal side facade
11. GARAGES AND CARPORTS
Enclosed garage and carport located at rear of site along side facade



1509 W 29TH STREET
BUILT 1949



2821 GLENVIEW AVENUE
BUILT 1942



2814 GLENVIEW AVENUE
BUILT 2015



1714 W 34th STREET
BUILT 2019

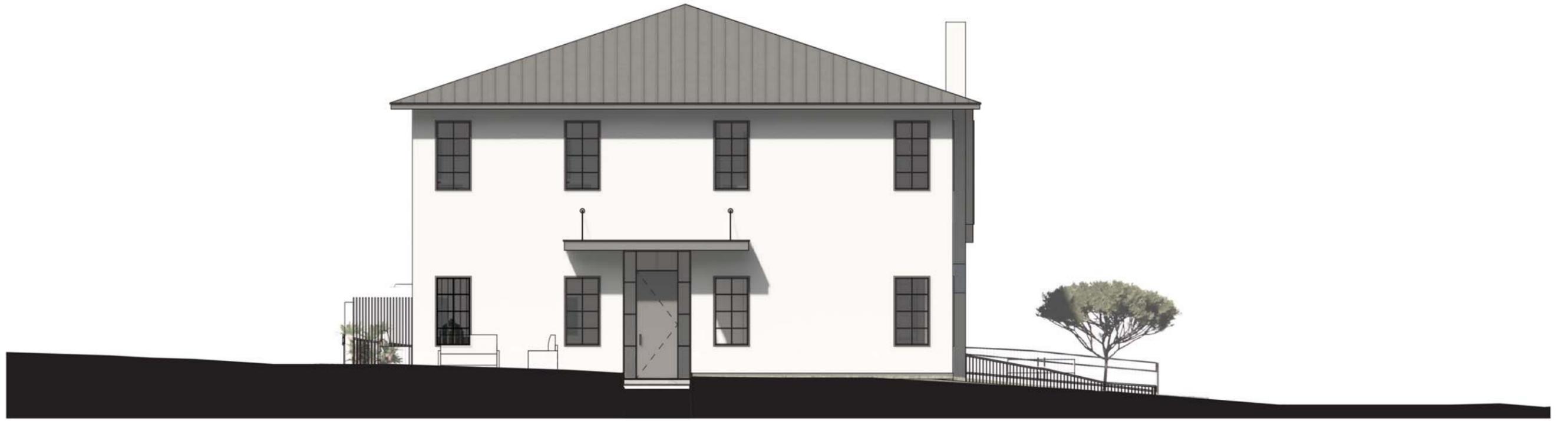
NEIGHBORHOOD REFERENCES

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PROPOSED FRONT VIEW

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1 FRONT ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

PROPOSED ELEVATIONS

SCALE: 1/8" = 1'-0"

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