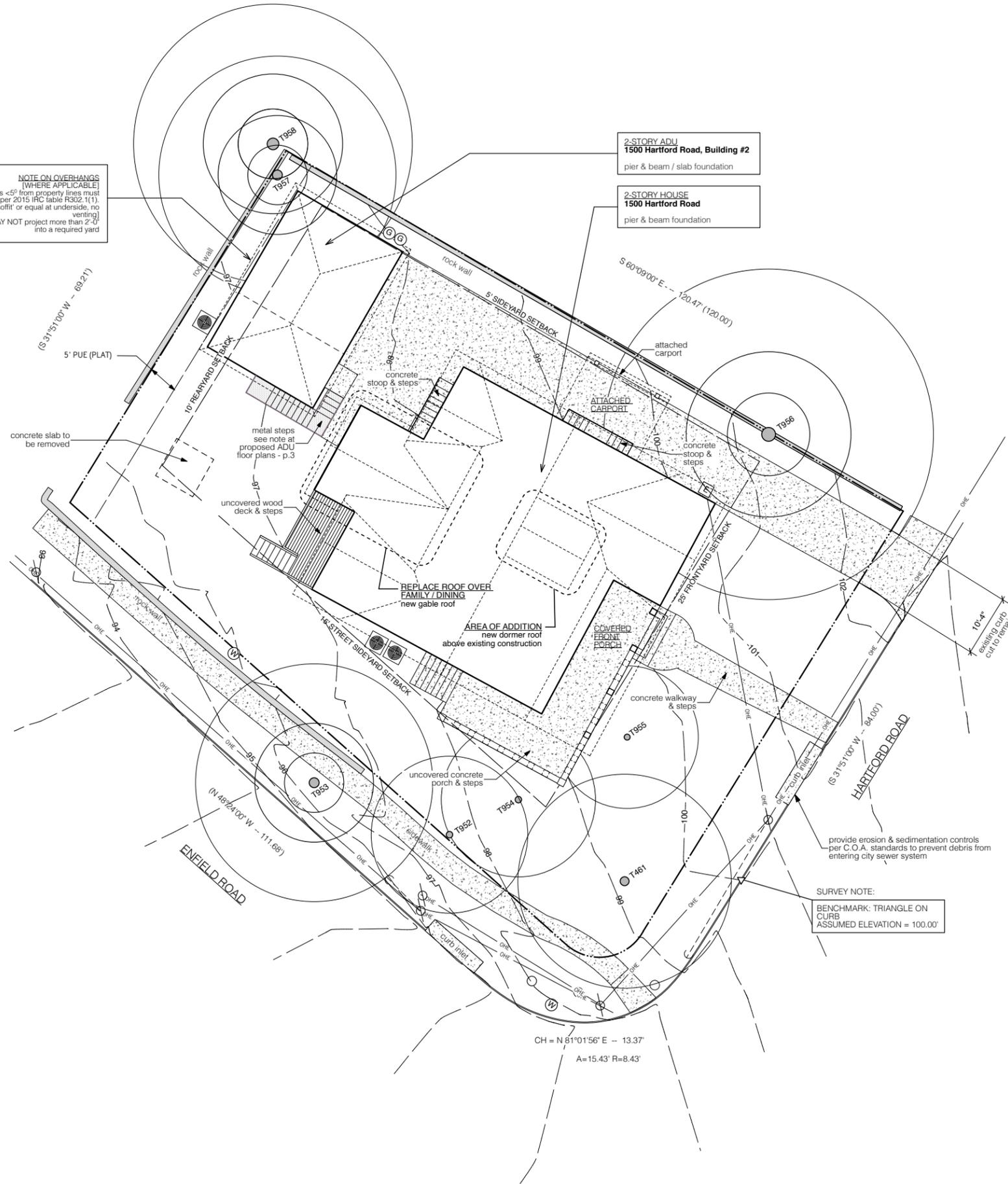




08.30.2021

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NOTE ON OVERHANGS
[WHERE APPLICABLE]
roof eave projections <5' from property lines must meet 1-hr. rating per 2015 IRC table R302.1(1).
[i.e.: solid "hardsoffit" or equal at underside, no venting]
roof eave projections MAY NOT project more than 2'-0" into a required yard



tree table

T 953	13.2"	M.S. Hackberry
T 953	20"	Oak
T 954	13"	M.S. Hackberry
T 955	12"	Chinaberry [dead]
T 956	27.8"	Pecan
T 957	20"	Hackberry
T 958	23.5"	Pecan
T 461	18"	M.S. Unknown

proposed site plan

scale on full size sheet: 1" = 10'
scale on reduced sheet: 1" = 20'



zoning: SF-3
legal description: Lot 1 Enfield 'F'
tax ID: 112746
geographic ID: 0113040518
lot size: 9,790 s.f., per survey dated 06.01.2021 provided by owner

site calculations

areas	
ground floor house:	2218
2nd floor house:	562
2nd floor addition under new dormer:	44
covered front porch:	230
uncovered front porch & steps:	260
concrete walkway & steps in front yard:	164
attached carport in north yard:	190
uncovered concrete stoop & steps:	30
uncovered wood deck & steps:	132
ground floor detached garage:	408
ground floor accessory dwelling unit:	218
2nd floor accessory dwelling unit:	626
metal stair:	64
uncovered concrete driveway:	1142
portion of sidewalk at southeast corner:	40
AC pad [3]:	18
building coverage	3264 (33.34%)
house:	2218
covered front porch:	230
attached carport in north yard:	190
ground floor detached garage:	408
ground floor accessory dwelling unit:	218
impervious coverage	5048 (51.56%)
building coverage:	3264
uncovered front porch & steps:	260
concrete walkway & steps in front yard:	164
uncovered concrete stoop & steps:	30
uncovered wood deck & steps:	66 [counted at 50%]
metal stairs:	64
uncovered concrete driveway:	1142
portion of sidewalk at southeast corner:	40
AC pad [3]:	18
gross floor area	3658 (37.47%)
house:	2218
2nd floor house:	562
2nd floor addition under new dormer:	44
covered front porch:	0 [230 sf exempted]
attached carport in north yard:	0 [190 sf exempted]
ground floor detached garage:	0 [408 sf exempted]
ground floor accessory dwelling unit:	218
2nd floor accessory dwelling unit:	626

scope of work

- House:
interior remodel - new bathrooms, laundry room & kitchen
new finishes throughout
new windows throughout
add bathroom under new dormer roof upstairs
- ADU:
interior remodel - new bathrooms & kitchen
new finishes throughout
new windows throughout
Upgrade plumbing to meet current code and execute scope-of-work
Upgrade electrical service to meet current code and execute scope-of-work
Upgrade mechanical service to meet current code and execute scope-of-work

notes

These drawings represent architectural intent ONLY. Structural design and specification to be performed by others.
All finish, detailing and materials selections by Owner.
Lot Survey was performed under separate contract by Owner.

codes

- City of Austin Land Development Code
- 2021 International Residential Code + local amendments
- 2017 National Electrical Code + local amendments
- 2015 Uniform Plumbing Code + local amendments
- 2015 Uniform Mechanical Code + local amendments
- 2015 International Fire Code + local amendments
- 2015 International Energy Conservation Code + local amendments

1500 HARTFORD ROAD
REMODEL / BATHROOM ADDITION

ISSUE FOR PERMIT

08.30.2021

P. 1



08.30.2021

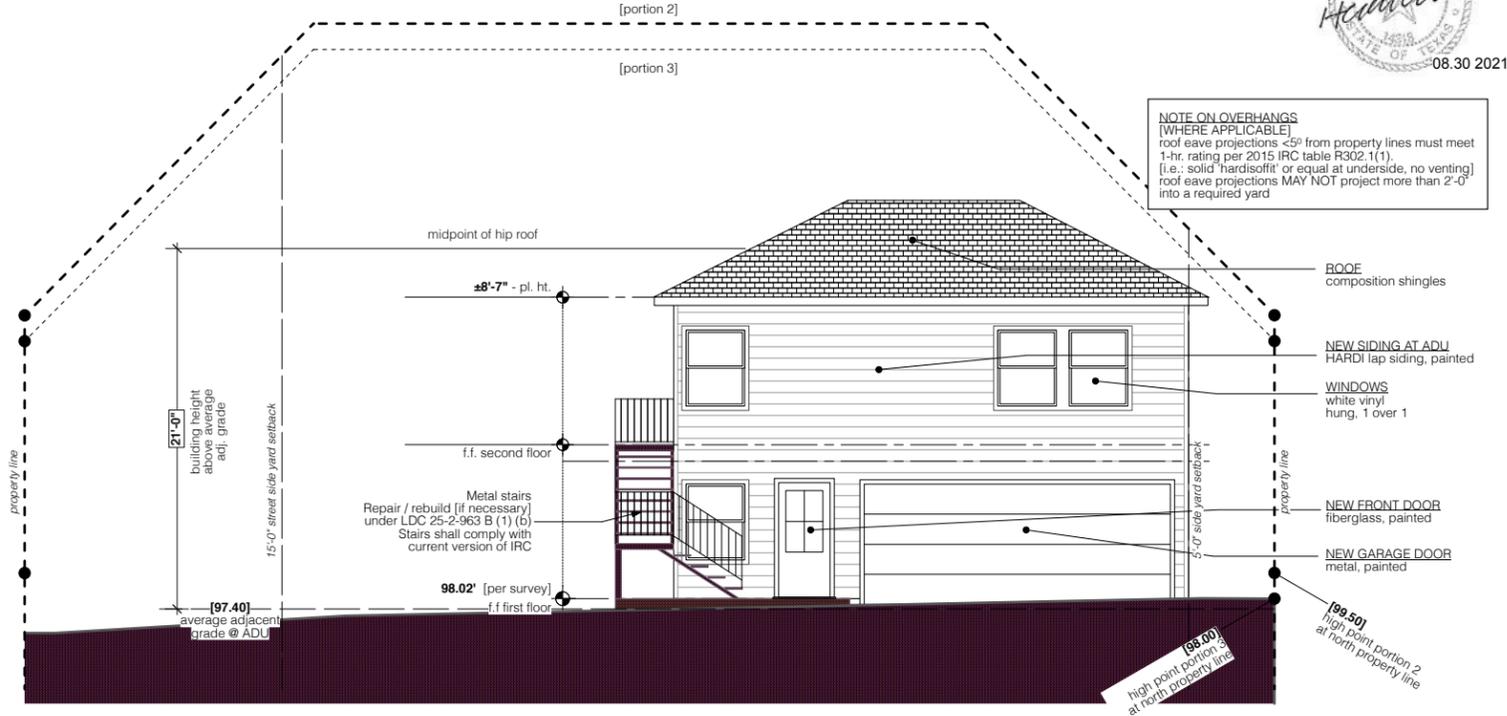
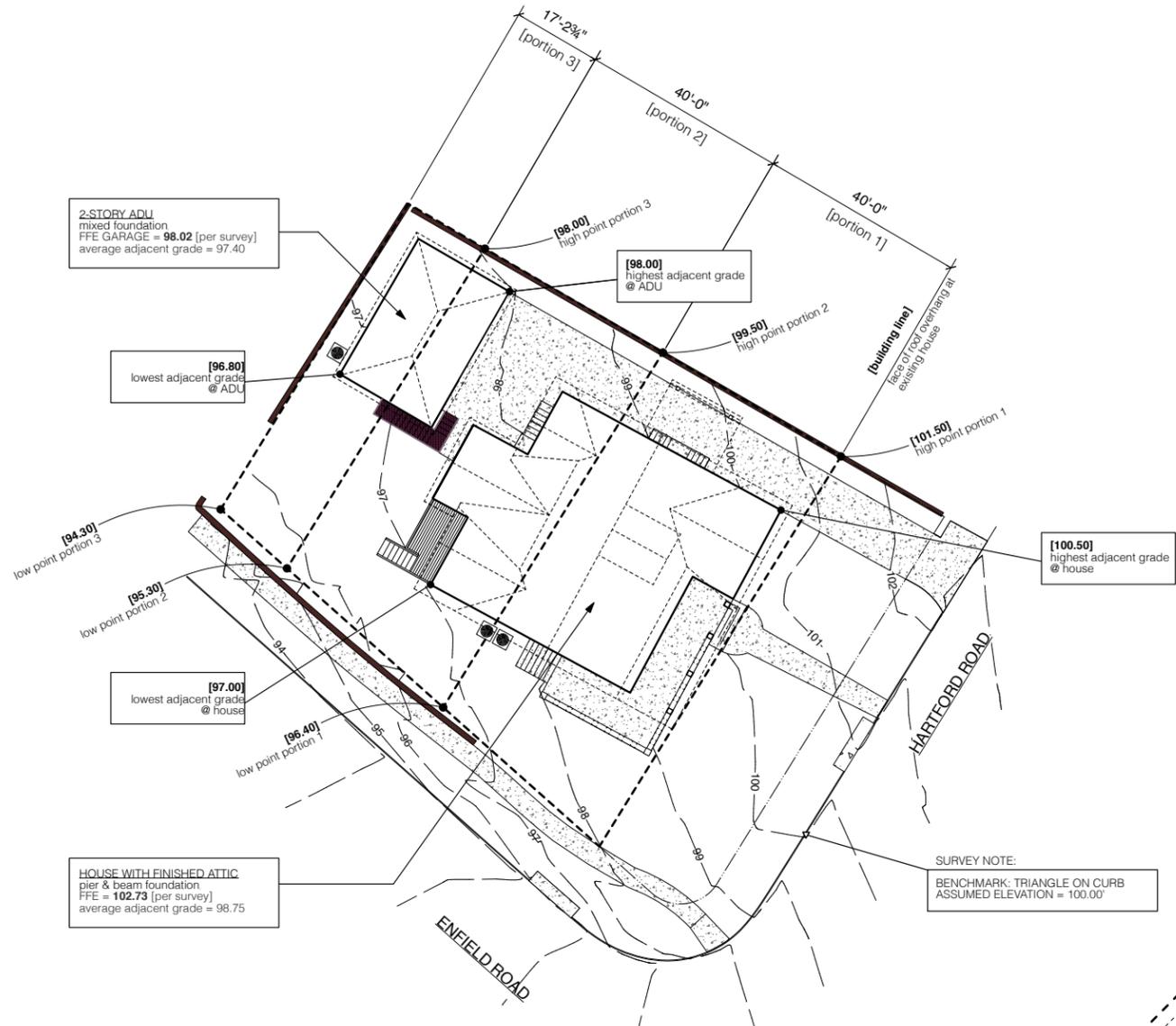
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1500 HARTFORD ROAD
REMODEL / BATHROOM ADDITION

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p. 4a



east elevation - ADU
scale: 3/16" = 1'-0" on full size sheet
scale: 3/32" = 1'-0" on reduced [11x17] sheet



east elevation [Hartford Rpad]
scale: 3/16" = 1'-0" on full size sheet
scale: 3/32" = 1'-0" on reduced [11x17] sheet





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1500 HARTFORD ROAD
REMODEL / BATHROOM ADDITION

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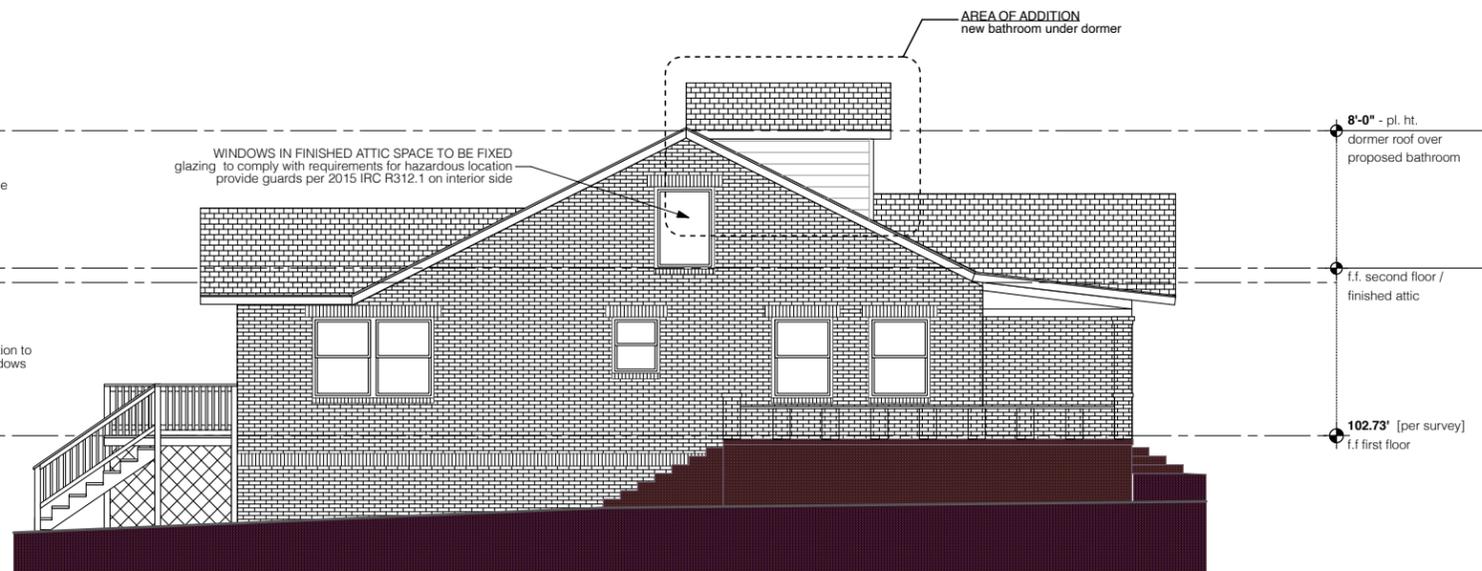
08.30.2021

p. 4b



west elevation

scale: 3/16" = 1'-0" on full size sheet
scale: 3/32" = 1'-0" on reduced [11x17] sheet



south elevation [Enfield Road]

scale: 3/16" = 1'-0" on full size sheet
scale: 3/32" = 1'-0" on reduced [11x17] sheet



1500 Hartford Road
east elevation - house
[facing Hartford Road]



1500 Hartford Road
south elevation - house
[facing Enfield Road]



1500 Hartford Road
west elevation - house



1500 Hartford Road
south elevation - ADU



1500 Hartford Road
east elevation - ADU
[facing Hartford Road]