













ELECTRICAL NOTES

PROVIDE SOLAR-READY ZONE PER COA R701.1 ON UPPER ROOF

PROVIDE DUAL POLE CIRCUIT BREAKER FOR FUTURE SOLAR ELECTRIC INSTALLATION AND MUST BE LABELED "FOR SOLAR ELECTRIC"

IECC 2015 NOTES

REFER TO SECTION 402.1.2

CLIMATE ZONE 2

FENESTRATION U-FACTOR SKYLIGHT U-FACTOR GLAZED SHGC CEILING R-VALUE

TABLE R402.1.2(2) INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT *FOR NEW CONSTRUCTION

CLIMATE ZONE	FENESTRATION U-FACTOR*	SKYLIGHT U-FACTOR*	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH*	CRACK SPACE WALL R-VALUE
2	.35	.60	0.25	38 R-6	19, 15-2" or 19-3" x 4"	4R-6	13	0	0	0

REFER TO SECTION R4202.4 AIR LEAKAGE (MANDATORY)

THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5

REFER TO SECTION R402.4.1 BUILDING THERMAL ENVELOPE.

THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

REFER TO SECTION R402.4.1.1 INSTALLATION.

THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE R402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE.

REFER TABLE R402.4.1

AIR BARRIER AND INSULATION INSTALLATION

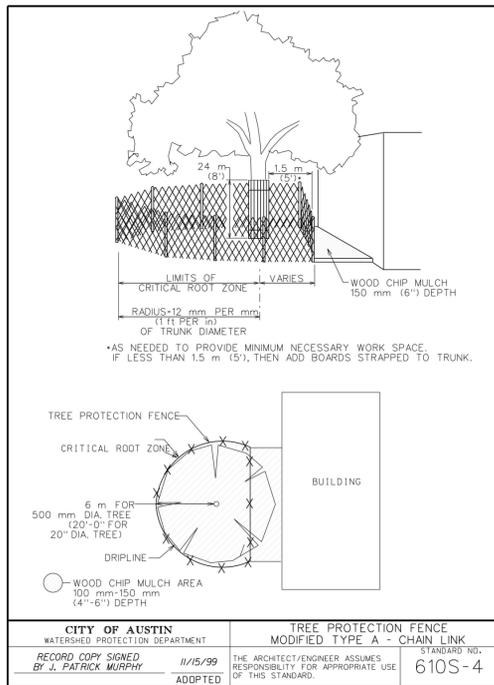
*NOTE - AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACED

REFER TO SECTION R403.6 MECHANICAL VENTILATION (MANDATORY)

THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE OR INTERNATIONAL MECHANICAL CODE, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUST SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

CITY OF AUSTIN TREE PROTECTION

TO INSURE THAT TREES ARE ADEQUATELY PRESERVED, TREE PROTECTION FENCING IS REQUIRED FOR TREES WITHIN THE LIMITS OF CONSTRUCTION. FENCING SHOULD PROTECT THE ENTIRE CRITICAL ROOT ZONE (CRZ) AREA. FENCING IS REQUIRED TO BE CHAIN-LINK MESH AT A MINIMUM HEIGHT OF FIVE FEET. A 6-INCH LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRITICAL ROOT ZONE.



GENERAL MEP NOTES

- ARCHITECTURAL DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE ALL ASPECTS REQUIRED OF A COMPLETE AND SAFE, CODE-COMPLIANT INSTALLATION. THE DRAWINGS ARE PROVIDED TO INDICATE GENERAL SCOPE OF WORK AND OBVIOUS NEEDS FOR THIS BUILDING. THE OWNER AND THE ARCHITECT AND THE REGULATORY AUTHORITIES RELY UPON THE SKILLS AND EXPERIENCE OF SKILLED TRADESPEOPLE, INCLUDING THE MASTER ELECTRICIAN, MASTER PLUMBER, AND MASTER MECHANICAL CONTRACTORS, TO COMPLY WITH ALL APPLICABLE ASPECTS OF CURRENT CODES AND REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING CODE COMPLIANCE WITH ALL NEW MEP WORK. CONTRACTOR SHALL COORDINATE ALL NEW HVAC AND ELECTRICAL LOCATIONS WITH THESE DOCUMENTS. IF CONFLICTS BETWEEN SITE CONDITIONS AND THESE DOCUMENTS ARISE, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY PRIOR TO PROCEEDING WITH WORK. ALL HVAC INDICATED IS FOR DESIGN INTENT ONLY AND SHALL BE ENGINEERED BY HVAC CONTRACTOR.
- DRAWINGS REPRESENT ASSUMPTIONS OF EXISTING CONDITIONS BASED ON THE BEST AVAILABLE INFORMATION, INCLUDING FIELD MEASUREMENTS AND PRIOR CONSTRUCTION DOCUMENTATION. MANY EXISTING CONDITIONS CANNOT BE VERIFIED UNTIL WALLS, FLOORS AND/OR CEILINGS ARE OPENED UP FOR CONSTRUCTION. DRAWINGS INDICATE INTENT AND SCOPE OF WORK. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- ALL PLUMBING AND APPLIANCE SELECTIONS BY OWNER. CONTRACTOR SHALL COORDINATE ROUGH OPENING SIZES AND SHALL CONFIRM POWER OR PLUMBING REQUIREMENTS AND APPROPRIATENESS OF FIXTURE SELECTION WITH OWNER AND ARCHITECT. PROVIDE BLOCKING IN WALLS FOR ALL WALL-MOUNTED ACCESSORIES, TYPICALLY - CONFIRM EXACT LOCATIONS WITH OWNER.
- WHERE APPLICABLE, BANK ALL EXTERIOR SWITCHES TOGETHER AND ALL INTERIOR SWITCHES TOGETHER.
- CONTRACTOR/INSTALLER TO CONFIRM ALL LOCATIONS AND APPROPRIATENESS OF FIXTURES AND SUPPLY TO EACH APPLIANCE OR FIELD OF EQUIPMENT. ANY HVAC INDICATED IS FOR DESIGN INTENT ONLY AND SHALL BE ENGINEERED BY HVAC CONTRACTOR.
- RESIDENTIAL SPRINKLER SYSTEM IS REQUIRED BASED ON THE FIREFLOW OF THE NEAREST EXT.G. HYDRANT; CONTRACTOR IS RESPONSIBLE FOR ENSURING SYSTEM IS CODE COMPLIANT; SYSTEM SHOULD BE ENGINEERED BY PLUMBING AND/OR SPRINKLER CONTRACTOR

GENERAL NOTES

- ALL DIMENSIONS OF NEW CONSTRUCTION ARE TO FACE OF ROUGH FRAME UNLESS NOTED OTHERWISE.
- ALL FINISHES, APPLIANCES, PLUMBING FIXTURES, AND LIGHTING FIXTURE SELECTIONS PER DRAWINGS. CONTRACTOR SHALL COORDINATE ROUGH OPENING SIZES AND SHALL CONFIRM POWER REQUIREMENTS AND APPROPRIATENESS OF FIXTURE SELECTION. PROVIDE BLOCKING IN WALLS FOR ALL WALL-MOUNTED ACCESSORIES, TYPICALLY - CONFIRM EXACT LOCATIONS WITH OWNER.
- DO NOT SCALE DRAWINGS FOR CONSTRUCTION OR COORDINATION PURPOSES. USE INDICATED DIMENSIONS. IF QUESTIONS ARISE, CONTACT ARCHITECT FOR CLARIFICATION.
- CONTRACTOR SHALL INSTALL ALL FIREBLOCKING AND FIRESTOPPING IN ACCORDANCE WITH AND AS REQUIRED BY BUILDING CODE.
- DRAWINGS REPRESENT THE GENERAL INTENT AND SCOPE OF WORK. HOWEVER, NOT ALL PRODUCTS AND INSTALLATIONS ARE DETAILED AND ARE LEFT TO THE DISCRETION OF THE OWNER. CONTRACTOR SHALL CONSULT AND COORDINATE W/OWNER REGARDING ANY ADDITIONAL PRODUCT SELECTIONS AND INSTALLATIONS THAT MAY BE REQUIRED AS PART OF THIS PROJECT, AND CONSULT W/ARCHITECT IF ANY CONFLICTS BETWEEN THESE DOCUMENTS AND OWNER SELECTIONS SHOULD ARISE.
- IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE A COMPLETE INSTALLATION IN EVERY RESPECT. IF ADDITIONAL DETAILS OF SPECIAL CONSTRUCTION ARE REQUIRED FOR WORK INDICATED OR SPECIFIED, THE CONTRACTOR SHALL PROVIDE THE MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE SUCH INSTALLATION AND CONSTRUCTION. AT NO ADDITIONAL COST TO OWNER.
- THE ARCHITECT WILL NOT BE LIABLE OR RESPONSIBLE FOR ANY CLAIMS, DAMAGES, LOSSES OR EXPENSES ARISING FROM, IN CONNECTION WITH, OR RESULTING FROM THE PERFORMANCE (OR THE FAILURE TO PERFORM) OF ANY ASPECT OF CONSTRUCTION OF THIS PROJECT, WHERE THE OWNER OR CONTRACTOR HAS KNOWINGLY AUTHORIZED OR PERMITTED A DEVIATION FROM ANY DOCUMENT PREPARED BY THE ARCHITECT OR WHERE THE OWNER OR CONTRACTOR HAS ELECTED NOT TO FOLLOW ANY WRITTEN RECOMMENDATION OF THE ARCHITECT.
- ALL CONSTRUCTION WORK SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE, 2015, AND ALL CITY OF AUSTIN DEVELOPMENT ORDINANCES AND ALL APPLICABLE BUILDING CODES.
- THIS SHEET AND THE INFORMATION CONTAINED HEREIN IS PART OF A COMPLETE SET OF DRAWINGS. THIS SHEET SHALL NOT BE SEPARATED FROM THIS SET FOR THE PURPOSES OF REGULATORY APPROVAL, PERMITTING, BIDDING, OR CONSTRUCTION.
- USE CARE SO AS TO PROTECT TREES, VEGETATION AND OTHER NATURAL FEATURES INCLUDING THOSE NOTED TO BE PROTECTED DURING CONSTRUCTION. CONSULT WITH LANDSCAPE DESIGNER FOR TREE AND PLANT PROTECTION PRIOR TO WORK COMMENCEMENT.
- USE CARE WHEN PLACING RETAINING WALL AND FOUNDATION FOOTINGS IN THE VICINITY OF UNDERGROUND PIPES AND UTILITIES. HAND DIG AREAS TO AVOID DAMAGE TO UNDERGROUND LINES. IF UNDERGROUND LINES ARE DAMAGED, CONTRACTOR SHALL REPAIR AT NO ADDITIONAL COST TO OWNER.
- CONTRACTORS AND SUBCONTRACTORS SHALL KEEP SITE FREE OF DEBRIS AT ALL TIMES.
- SIZES FOR DOORS ARE NOMINAL AND CONTRACTOR SHALL VERIFY ACTUAL SIZES AND SUITABILITY FOR OPENING LOCATION WITH THE PRODUCT MANUFACTURER PRIOR TO ORDERING. SIZES FOR WINDOWS ARE ROUGH OPENINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO ARCHITECT'S ATTENTION IMMEDIATELY

GENERAL DEMOLITION NOTES

- DRAWINGS REPRESENT ASSUMPTIONS OF EXISTING CONDITIONS BASED ON THE BEST AVAILABLE INFORMATION, INCLUDING FIELD MEASUREMENTS AND PRIOR CONSTRUCTION DOCUMENTATION. MANY EXISTING CONDITIONS CANNOT BE VERIFIED UNTIL WALLS, FLOORS AND/OR CEILINGS ARE OPENED UP FOR CONSTRUCTION. DRAWINGS INDICATE INTENT AND SCOPE OF WORK. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- DEMOLITION IS INDICATED BY DASHED LINES. ANY ADDITIONAL DEMOLITION REQUIRED SHALL BE APPROVED BY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK. COORDINATE DEMOLITION PLAN WITH NEW PLAN FOR EXACT EXTENT OF DEMOLITION REQUIRED.
- DISPOSAL OF ANY REMOVED ITEMS SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER.
- USE CARE SO AS TO PROTECT TREES, VEGETATION, AND OTHER NATURAL FEATURES INCLUDING THOSE NOTED TO BE PROTECTED DURING DEMOLITION.
- REPAIR ALL SURFACES AFFECTED BY DEMOLITION (FLOORS, WALLS, CEILINGS) AS REQUIRED AND PREP FOR NEW FINISHES UNLESS NOTED OTHERWISE.
- PROTECT ALL SURFACES AND ITEMS NOT SLATED FOR DEMOLITION FROM DAMAGE. CONTRACTOR SHALL REPAIR ANY DAMAGES AT NO ADDITIONAL COST TO OWNER.
- CONTRACTORS AND SUBCONTRACTORS SHALL KEEP SITE FREE OF DEBRIS AT ALL TIMES.
- DO NOT SCALE DRAWINGS FOR CONSTRUCTION OR COORDINATION PURPOSES. USE INDICATED DIMENSIONS. IF QUESTIONS ARISE CONTACT ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- THE ARCHITECT WILL NOT BE LIABLE OR RESPONSIBLE FOR ANY CLAIMS, DAMAGES, LOSSES OR EXPENSES ARISING FROM, IN CONNECTION WITH, OR RESULTING FROM THE PERFORMANCE (OR THE FAILURE TO PERFORM) OF ANY ASPECT OF CONSTRUCTION OF THIS PROJECT, WHERE THE OWNER OR CONTRACTOR HAS KNOWINGLY AUTHORIZED OR PERMITTED A DEVIATION FROM ANY DOCUMENT PREPARED BY THE ARCHITECT OR WHERE THE OWNER OR CONTRACTOR HAS ELECTED NOT TO FOLLOW ANY WRITTEN RECOMMENDATION OF THE ARCHITECT.
- ALL CONSTRUCTION WORK SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE, 2015, AND ALL CITY OF AUSTIN RESIDENTIAL DEVELOPMENT ORDINANCES.

TYP. CONSTRUCTION NOTES

- PROVIDE WIRING AND POWER FOR NEW SECURITY SYSTEM. LOCATE W/ OWNER.
- PROVIDE WIRING FOR SPEAKERS THROUGHOUT. LOCATE W/ OWNER.
- PROVIDE SMOKE DETECTORS W/ CARBON MONOXIDE DETECTOR (HARDWIRED) THROUGHOUT HOUSE AS REQUIRED BY CODE.
- ALL INTERIOR DRYWALL SURFACES TO BE MIN. LEVEL 5 FINISH ALL INTERIOR FLOORING TRANSITIONS TO BE FLUSH, U.N.O.
- PROVIDE BLOCKING FOR ALL BATHROOM ACCESSORIES. - COORDINATE LOCATIONS WITH OWNER.
- TYPICAL ROOF ASSEMBLY: STANDING SEAM ROOFING OVER 5/8" CDX PLYWOOD SHEATHING OVER RAFTERS PER STRUCTURAL. PROVIDE MIN R-38 BIBS INSULATION.
- INSTALL TILE OVER HARDIEBACKER BOARD IN ACCORDANCE W/ HARDIEBACKER INSTALLATION INSTRUCTIONS, TCNA (TILE COUNCIL OF NORTH AMERICA) AND IRC 2015. TAPE ALL JOINTS.
- PROVIDE NEW HEAT PUMP WATER HEATER - REFER TO MECHANICAL.
- PROVIDE NEW GUTTERS AND DOWNSPOUTS AROUND HOUSE. DOWNSPOUT LOCATIONS ARE SHOWN FOR DESIGN INTENT ONLY - SIZES AND LOCATIONS SHOULD BE CONFIRMED WITH CALCULATED WATER RUN-OFF. (REFER TO A-201 AND A-202, EXTERIOR ELEVATIONS)

TYP. BUILDING ENCLOSURE NOTES

- ENVELOPE ASSEMBLY OPTION 01:** PROVIDE DELTA-VENT AS WATER & AIR BARRIER SYSTEM OVER ALL EXTERIOR SHEATHING. USE ONLY INTEGRAL DELTA PRODUCTS PER MANUFACTURER'S INSTRUCTION.
 - PROVIDE (1.25" ROCKWOOL COMFORTBOARD 80) CONTINUOUS INSULATION OVER ALL EXTERIOR WALLS
- ENVELOPE ASSEMBLY OPTION 02:** PROVIDE ZIP R-6 PANEL SHEATHING AND CONTINUOUS INSULATION. USE INTEGRAL HUBER/ZIP TAPES AND FLASHINGS. PROVIDE KEENE EASY-FUR 10MM FURRING STRIPS BETWEEN WRB AND EXTERIOR FINISH.
- INSTALL AERO BARRIER (HTTPS://AEROBARRIER.NET) CONTACT SEAN HARRIS AT IAQ TEXAS FOR INSTALLATION.
- INSTALL BIBS (BLOWN-IN BLANKET SYSTEM) BETWEEN ALL WOOD STUDS AND ROOF RAFTERS.

AS-BUILT NOTE

AS-BUILT DRAWINGS WERE CREATED BY JAROD HARMEIER WITH AUSTIN FLOOR PLANS. AS-BUILT DRAWINGS WERE PROVIDED TO ARCHITECT BY OWNERS ROCKY MOUNTAIN AND DAVID ROWE.



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A RENOVATION AND ADDITION TO
MOUNTAIN ROWE RESIDENCE
1519 WEST 32ND ST., AUSTIN, TX 78703

ISSUED FOR PERMIT
8/19/2021

DATE: 8/19/2021
DRAWN: BP/HW/MB
SCALE: AS NOTED

No.	Description	Date

NOTES & SPECIFICATIONS

A-002

CITY OF AUSTIN - SITE DEVELOPMENT INFORMATION			
MOUNTAIN - ROWE RESIDENCE 1519 W. 32ND ST., AUSTIN, TX 78703			
LEGAL DESCRIPTION: LOT SIZE = 11,074 SQ. FT.			
CITY OF AUSTIN ZONING SF-3-NP			
25'-0" FRONT YARD SETBACK 5'-0" SIDE YARD SETBACK, 15'-0" STREET SIDEYARD SETBACK 10'-0" REARYARD SETBACK	45% MINIMUM IMPERVIOUS COVER 40% MAXIMUM BUILDING COVER FAR: 4.1 LOCATED WITHIN THE DESIGN AND COMPATIBILITY ORDINANCE AREA		
BUILDING & SITE AREA			
AREA DESCRIPTION NOTE MEASUREMENTS ARE TO THE OUTSIDE SURFACE OF EXTERIOR WALL	EXISTING SQ. FT. TO REMAIN	NEW/ADDED SQ. FT.	TOTAL SQ. FT.
a) 1ST FLOOR CONDITIONED AREA	1,578	355	1,933
b) 2ND FLOOR CONDITIONED AREA	N/A	1,637	1,637
c) 3RD FLOOR CONDITIONED AREA	N/A	N/A	N/A
d) BASEMENT	N/A	N/A	N/A
e) DETACHED COVERED PARKING (GARAGE OR CARPORT)	521	0	521
f) COVERED PATIO, DECK, PORCH, AND/OR BALCONY AREAS (FRONT)	419	0	419
g) COVERED PATIO, DECK, PORCH, AND/OR BALCONY AREAS (REAR)	266	231	497
h) COVERED WOOD DECKS	N/A	N/A	N/A
TOTAL BUILDING AREA (TBA) (TOTAL a THRU h)	2,784	0	5,007
TOTAL BUILDING COVERAGE (TBC) (SUBTRACT b, c, d, AND h)	2,784	0	3,370
j) DRIVEWAY	1,576	-505	1,071
k) SIDEWALKS	96	-96	0
l) UNCOVERED WOOD DECK (GARAGE)	0	0	0
m) A/C PADS AND OTHER CONCRETE FLATWORK	9	12	21
n) OTHER (STONE WALL)	0	0	0
TOTAL SITE IMPERVIOUS COVERAGE (ADD TBC AND l THRU q)	4,465	-3	4,462
p) POOL	N/A	550	550
q) SPA	N/A	N/A	N/A
BUILDING COVERAGE INFORMATION			
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement (LDC 25-1-21).			
LOT AREA (SQ. FT.): 11,074 S.F.			
EXISTING BUILDING COVERAGE (SQ. FT.)	2,784	% OF LOT SIZE	25.1%
PROPOSED BUILDING COVERAGE (SQ. FT.)	3,370	% OF LOT SIZE	30.4%
IMPERVIOUS COVERAGE INFORMATION			
Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountain, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians (LDC 25-1-23).			
EXISTING IMPERVIOUS COVER (SQ. FT.)	4,465	% OF LOT SIZE	40.3%
PROPOSED IMPERVIOUS COVER (SQ. FT.)	4,462	% OF LOT SIZE	40.3%

CITY OF AUSTIN - SUBCHAPTER F				
GROSS FLOOR AREA				
This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.				
	EXISTING	NEW	EXEMPTION	TOTAL
1ST FLOOR	1,578 SQ. FT.	355		1,933 SQ. FT.
2ND FLOOR	N/A	1,637		1,637
3RD FLOOR	N/A	N/A		N/A
AREA W/ CEILINGS > 15'	N/A	N/A		N/A
GROUND FLOOR PORCH	685 SQ. FT.	241	926 SQ. FT.	0 SQ. FT.
BASEMENT	N/A	N/A	N/A	N/A
ATTIC	N/A	N/A	N/A	N/A
GARAGE (ATTACHED)	N/A	N/A	N/A	N/A
GARAGE (DETACHED)	521 SQ. FT.	N/A	450 SQ. FT.	71 SQ. FT.
CARPORT (ATTACHED)	N/A	N/A	N/A	N/A
CARPORT (DETACHED)	N/A	N/A	N/A	N/A
ACCESSORY BUILDINGS (DETACHED)	N/A	N/A	N/A	N/A
TOTALS	2,784 SQ. FT.	2,233	1,366 SQ. FT.	3,641 SQ. FT.
(TOTAL GROSS FLOOR AREA/LOT SIZE) X 100	32.9	FLOOR-TO-AREA-RATIO (FAR)		

TREE PERMIT NOTES

THE SCOPE OF WORK OUTLINED IN THESE DOCUMENTS DOES NOT INTERFERE WITH THE 1/2 CRITICAL ROOT ZONES OF THE EXISTING PROTECTED TREES ON THIS LOT, EXCEPT WHERE NEW CONCRETE RIBBON DRIVEWAY IS PROPOSED. ANY DIGGING REQUIRED FOR NEW CONCRETE DRIVEWAY IS NOT TO EXCEED 4" WHERE IN THE 1/2 CRITICAL ROOT ZONE OF ADJACENT PROTECTED TREES.

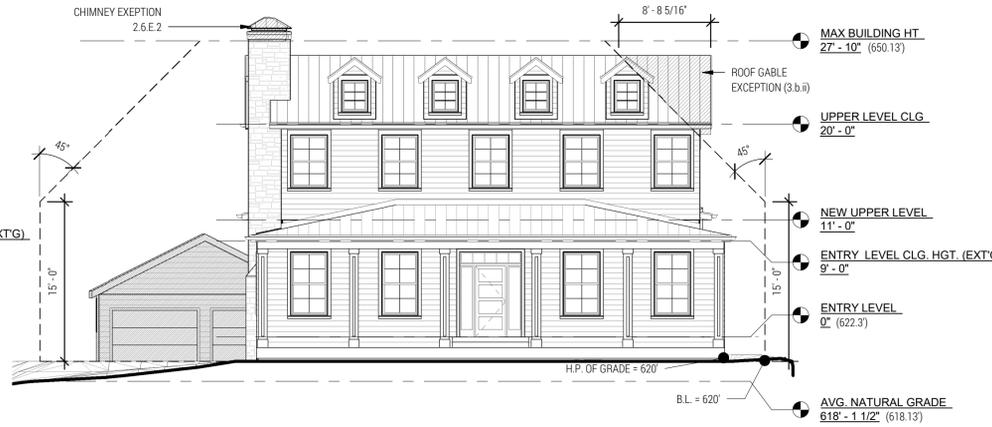
UTILITY TRENCHING AS REQUIRED FOR THE SCOPE OF WORK PROPOSED IN THESE DOCUMENTS SHALL AVOID ALL PROTECTED TREE 1/2 CRZS

SITE PLAN REFLECTS SURVEY INFORMATION PROVIDED BY DAVID L. ELZY R.P.L.S. # 4675 AT WESTAR ALAMO LAND SURVEYORS, L.L.C. DATED 11/10/2020. SURVEY WAS PROVIDED TO ARCHITECT BY OWNERS DAVID ROWE AND ROCKY MOUNTAIN

HIGH POINT OF GRADE = 620'
LOW POINT OF GRADE = 616.25'
AVERAGE NATURAL GRADE = (620 + 616.25) / 2 = 618.13'



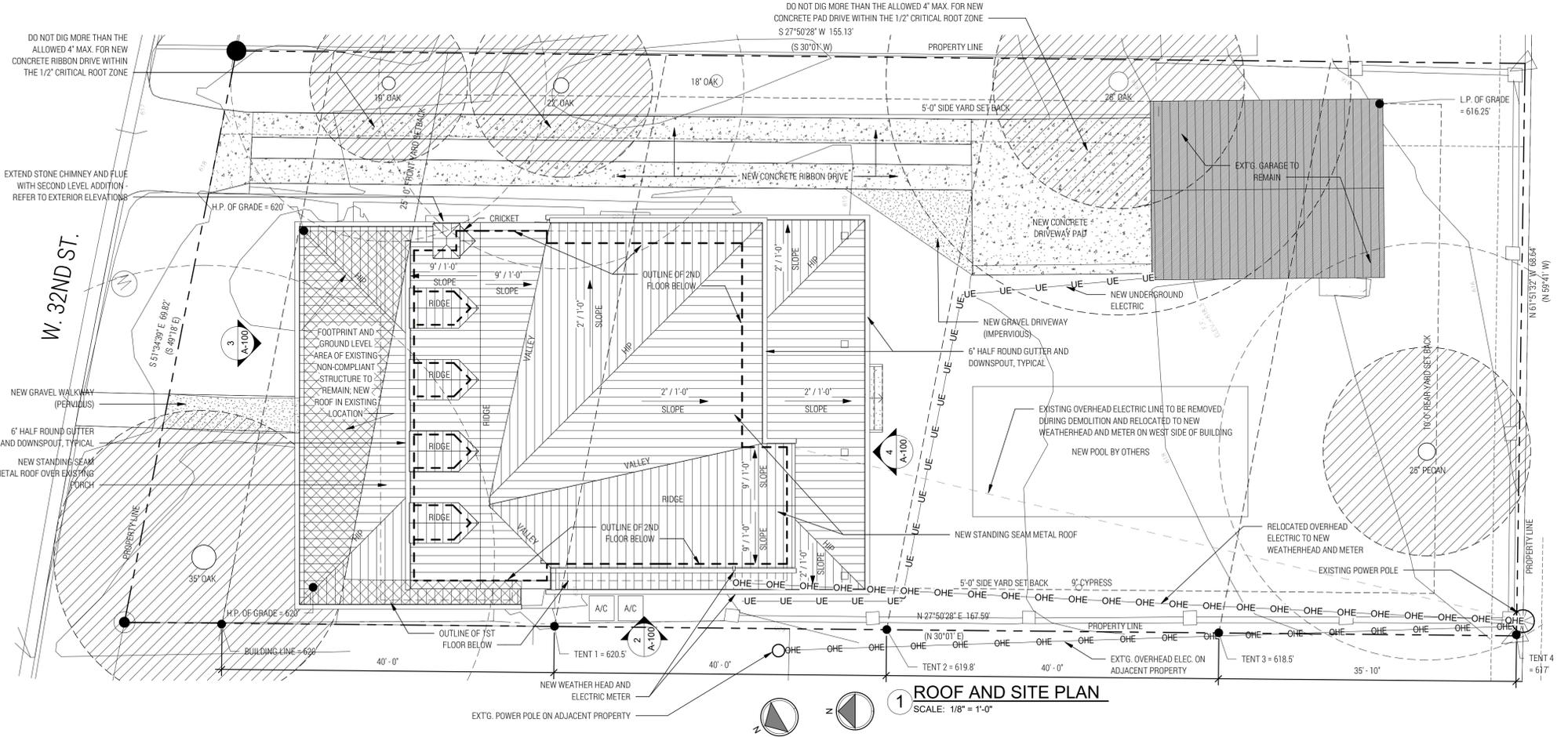
4 SOUTH ELEVATION - SUBCHAPTER F COMPLIANCE DIAGRAM
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION - SUBCHAPTER F COMPLIANCE DIAGRAM
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION - SUBCHAPTER F COMPLIANCE DIAGRAM
SCALE: 1/8" = 1'-0"



1 ROOF AND SITE PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- NEW CONCRETE
- NOT IN CONCRETE
- 1/2" CRITICAL ROOT ZONE
- EXTERIOR ELEVATION TAG - RE A-100

NOTE: ALL DIMENSIONS OF EXISTING WALLS ARE TO THE FINISHED FACE OF WALL. VERIFY ALL EXISTING WALL CONDITIONS

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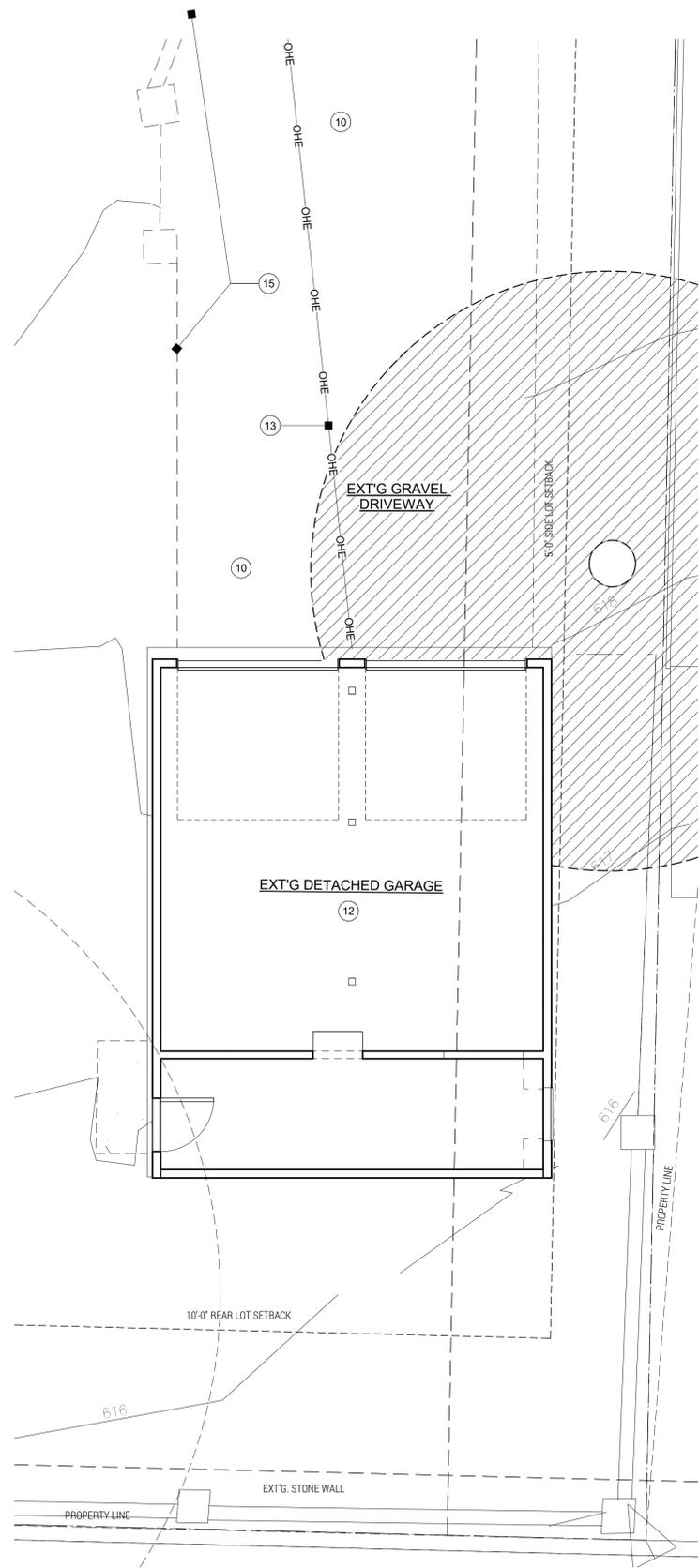
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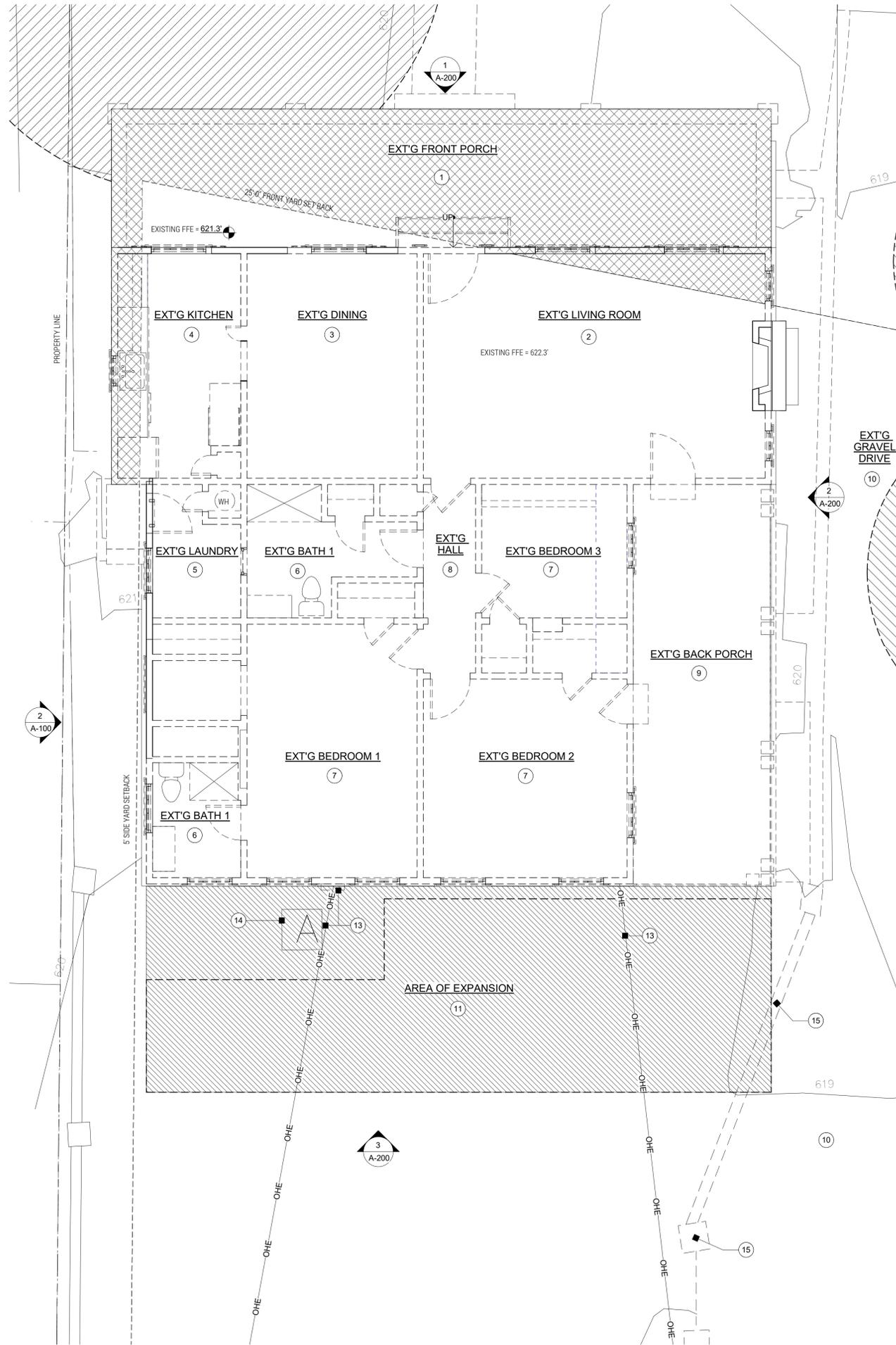
No.	Description	Date
DATE:	8/19/2021	
DRAWN:	BP/HW/MB	
SCALE:	AS NOTED	

SITE PLAN

A-100



2 DEMOLITION GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"
TRUE NORTH PLAN NORTH



1 DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"
TRUE NORTH PLAN NORTH

DEMOLITION KEYED NOTES

- 1 **EXISTING FRONT PORCH:** EXISTING FOOT PRINT, F.F.E. AND CONCRETE FLOOR TO REMAIN AND REPAIR AS REQUIRED; DEMOLITION AS INDICATED, REMOVE EXISTING ROOF AND FRAMING AND PREP FOR NEW AT EXT'G HEIGHT AND FOOTPRINT; REMOVE EXISTING PORCH COLUMNS AND PREP FOR NEW.
- 2 **EXISTING LIVING ROOM:** DEMOLITION AS INDICATED, REMOVE EXISTING WINDOWS AND INTERIOR WALLS WHERE INDICATED AND PREP FOR NEW, REMOVE EXISTING FLOORING AND SUBFLOOR AND PREP FOR NEW PIERS AND FOUNDATION FRAMING PER STRUCTURAL DRAWINGS; REMOVE EXISTING CEILING, ROOF AND FRAMING AND PREP FOR NEW SECOND LEVEL ADDITION AND NEW PORCH ROOF STRUCTURE; PREP EXISTING FIRE PLACE FOR NEW FINISH PER OWNER SELECTION.
- 3 **EXISTING DINING ROOM:** DEMOLITION AS INDICATED, REMOVE EXISTING WINDOWS AND INTERIOR WALLS WHERE INDICATED AND PREP FOR NEW, REMOVE EXISTING FLOORING AND SUBFLOOR AND PREP FOR NEW PIERS AND FOUNDATION FRAMING PER STRUCTURAL DRAWINGS; REMOVE EXISTING CEILING, ROOF AND FRAMING AND PREP FOR SECOND LEVEL ADDITION AND NEW PORCH ROOF STRUCTURE.
- 4 **EXISTING KITCHEN:** DEMOLITION AS INDICATED, REMOVE CABINETRY, COUNTERTOPS, APPLIANCES, PLUMBING FIXTURES, FLOORING AND SUBFLOOR AND PREP FOR NEW PIERS AND FOUNDATION FRAMING PER STRUCTURAL DRAWINGS; REMOVE EXISTING CEILING, ROOF AND FRAMING AND PREP FOR NEW SECOND LEVEL ADDITION AND NEW PORCH ROOF STRUCTURE; PREP FOR NEW OFFICE AND MASTER CLOSET.
- 5 **EXISTING LAUNDRY:** DEMOLITION AS INDICATED, REMOVE EXISTING WATER HEATER, PLUMBING FIXTURES, FLOORING AND SUBFLOOR AND PREP FOR NEW PIERS AND FOUNDATION FRAMING PER STRUCTURAL DRAWINGS; REMOVE EXISTING CEILING, ROOF AND FRAMING AND PREP FOR NEW SECOND LEVEL ADDITION; PREP FOR MASTER BATHROOM AND MASTER CLOSET.
- 6 **EXISTING BATHROOM #1 & #2:** DEMOLITION AS INDICATED, REMOVE EXISTING CABINETRY, COUNTERTOPS, PLUMBING FIXTURES AND FITTINGS; REMOVE EXISTING CEILING AND ROOF FRAMING AND PREP FOR NEW SECOND LEVEL ADDITION AND CEILING; PREP FOR NEW BATH WITH NEW CABINETRY, PLUMBING FIXTURES AND TILED TUB / SHOWER; PREP FOR NEW MASTER BATHROOM AND MASTER BEDROOM.
- 7 **EXISTING BEDROOM #1, #2 & #3:** DEMOLITION AS INDICATED, REMOVE EXISTING EXTERIOR WALL AND PREP FOR EXPANSION; REMOVE EXISTING CEILING, ROOF AND FRAMING AND PREP FOR NEW SECOND LEVEL ADDITION AND CEILING; REMOVE WINDOWS.
- 8 **EXISTING HALLWAY:** DEMOLITION AS INDICATED, REMOVE EXISTING WINDOWS AND INTERIOR WALLS WHERE INDICATED AND PREP FOR NEW; REMOVE EXISTING FLOORING AND SUBFLOOR AND PREP FOR NEW PIERS AND FOUNDATION FRAMING PER STRUCTURAL DRAWINGS; REMOVE EXISTING CEILING, ROOF AND FRAMING AND PREP FOR NEW SECOND LEVEL ADDITION.
- 9 **EXISTING BACK PORCH:** DEMOLITION AS INDICATED, REMOVE EXISTING WINDOWS, FOUNDATION (AS REQUIRED) AND ROOF AND PREP FOR EXPANSION / NEW KITCHEN.
- 10 **EXISTING GRAVEL DRIVE:** REMOVE EXISTING GRAVEL DRIVEWAY AND PREP FOR NEW CONCRETE RIBBON DRIVEWAY CONCRETE PAD ADJACENT TO EXT'G DETACHED GARAGE; TAKE CARE TO PROTECT 1/2" CRITICAL ROOT ZONE OF PROTECTED TREES - REFER TO SITE PLAN.
- 11 **AREA OF EXPANSION:** REMOVE EXISTING HVAC UNIT AND PREP FOR NEW IN NEW LOCATION; REMOVE EXISTING ELECTRIC METER AND OVERHEAD ELECTRIC LINES AND PREP FOR NEW IN NEW LOCATION; PREP AREA FOR NEW ADDITION - REFER TO NEW FLOOR PLAN.
- 12 **EXISTING DETACHED GARAGE:** EXISTING GARAGE TO REMAIN; REMOVE EXISTING OVERHEAD ELECTRIC AND PREP FOR NEW UNDERGROUND ELECTRIC.
- 13 **EXISTING OVERHEAD ELECTRICAL AND ELECTRICAL METER TO BE REMOVED:** PREP FOR NEW IN NEW LOCATION - REFER TO NEW LIGHTING AND POWER PLANS
- 14 **EXISTING HVAC UNIT AND CONCRETE PAD TO BE REMOVED:** PREP FOR NEW IN NEW LOCATION - REFER TO CONSTRUCTION PLAN.
- 15 **EXISTING STONE WALL TO BE REMOVED**

REFER TO SHEET A-002 FOR GENERAL SPECIFICATIONS AND SCOPE NOTES

DEMOLITION LEGEND

	EXISTING WALL CONSTRUCTION TO REMAIN
	DENOTES AREAS TO BE DEMOLISHED
	DENOTES EXISTING NON-COMPLIANT STRUCTURE TO REMAIN
	DENOTES AREAS OF EXPANSION
	AREA OF PROPOSED SECOND FLOOR ADDITION ABOVE
	DENOTES 1/2" CRITICAL ROOT ZONE

NOTE ALL DIMENSIONS OF EXISTING WALLS ARE TO THE FINISHED FACE OF WALL. VERIFY ALL EXISTING WALL CONDITIONS


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A RENOVATION AND ADDITION TO
MOUNTAIN ROWE RESIDENCE
 1519 WEST 32ND ST., AUSTIN, TX 78703

ISSUED FOR PERMIT
8/19/2021

No.	Description	Date

ENTRY LEVEL
 DEMOLITION FLOOR
 PLANS
A-101



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SCALE: AS NOTED

No.	Description	Date

DEMOLITION
EXTERIOR
ELEVATIONS

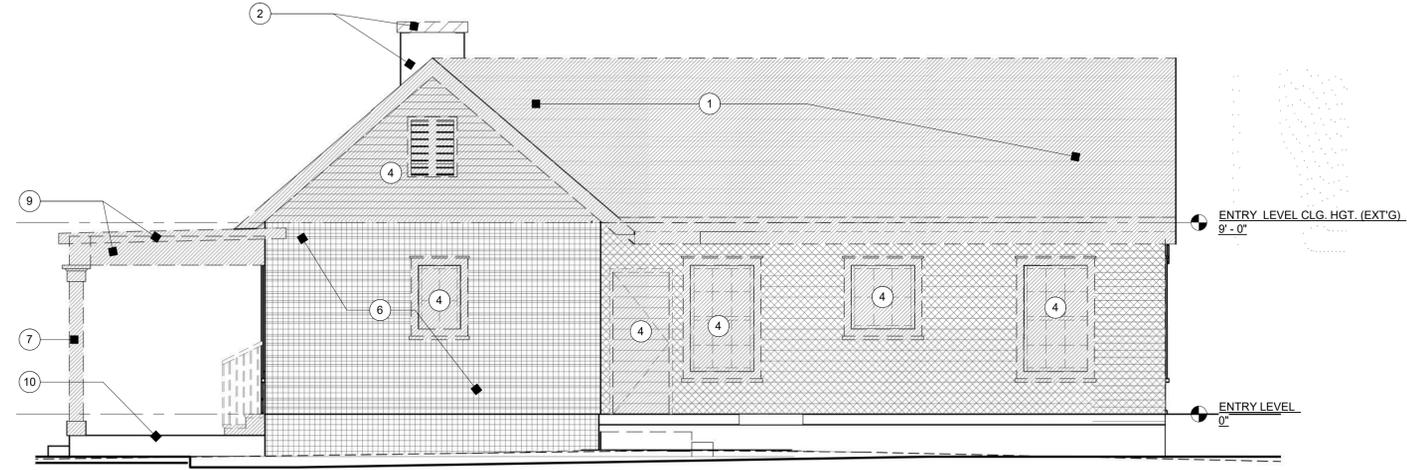
A-200

DEMOLITION LEGEND

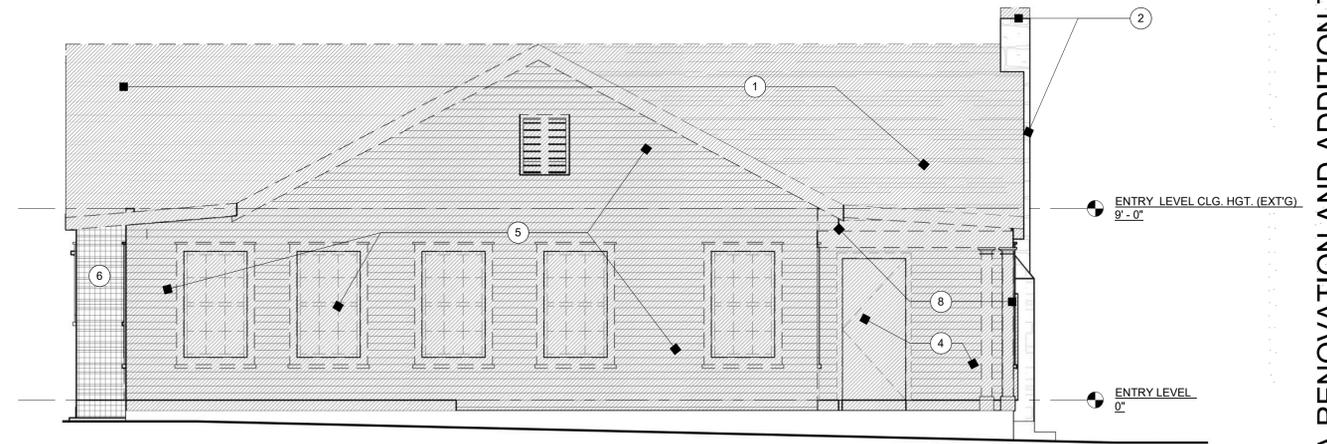
- DENOTES AREAS OF DEMOLITION
- DENOTES DEMOLITION OF EXTERIOR FINISH ONLY, EXT'G. WALL FRAMING TO REMAIN
- DENOTES AREA OF EXISTING, NON-COMPLIANT WALL TO REMAIN, DEMOLITION OF EXTERIOR FINISH ONLY, EXT'G. WALL FRAMING TO REMAIN

DEMOLITION KEYNOTES

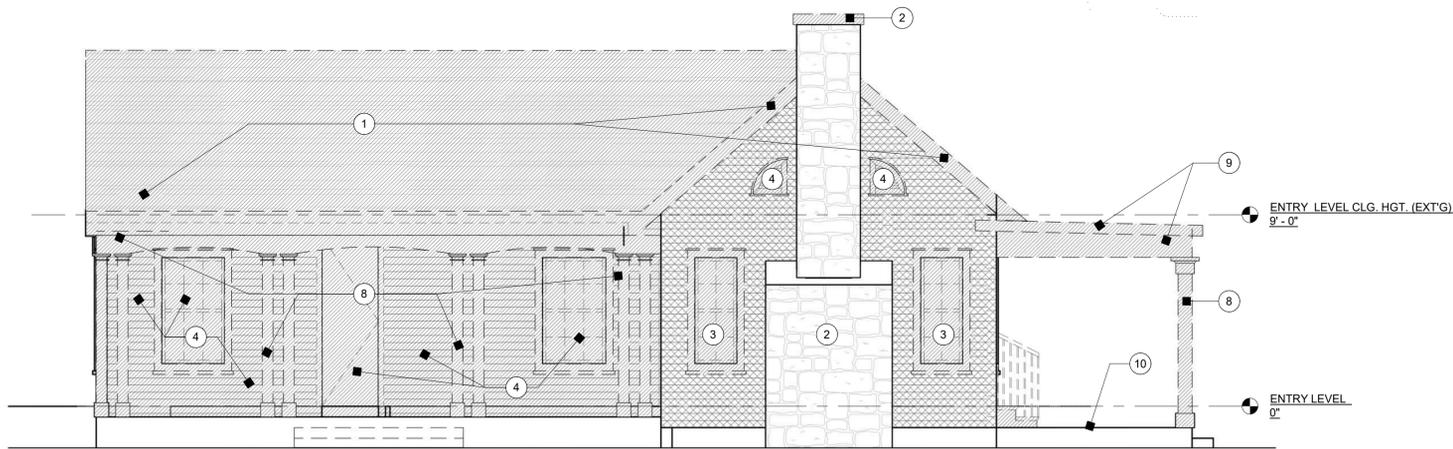
- REMOVE EXISTING EAVES, FASCIAS, ROOF AND FRAMING, ECT. AND PREP FOR NEW RAISED ROOF
- EXT'G. CHIMNEY TO REMAIN; REPAIR & WATERPROOF ALL AREAS THAT ARE EXISTING TO REMAIN; PREP FOR NEW, RAISED MASONRY CHIMNEY, FLUE AND CHIMNEY CAP.
- REMOVE EXISTING WINDOWS AND PREP FOR NEW WINDOWS
- REMOVE SIDING, WINDOWS, DOORS AND EXISTING WALLS AND PREP FOR NEW FRAMING
- REMOVE WINDOWS, DOORS AND EXISTING WALL AND PREP FOR SOUTH EXTENSION
- EXISTING NON-COMPLIANT WALL TO REMAIN
- REMOVE EXISTING COLUMNS AND PREP FOR NEW COLUMNS, WINDOWS AND DOORS
- REMOVE EXTERIOR PORCH AND PREP FOR NEW WALLS, WINDOWS AND DOORS
- EXT'G. PORCH ROOF TO BE REMOVED AND REPAIRED; PREP FOR NEW PORCH ROOF AT EXISTING PLATE HEIGHT AND EXISTING FOOTPRINT.
- EXT'G. CONCRETE PORCH TO REMAIN



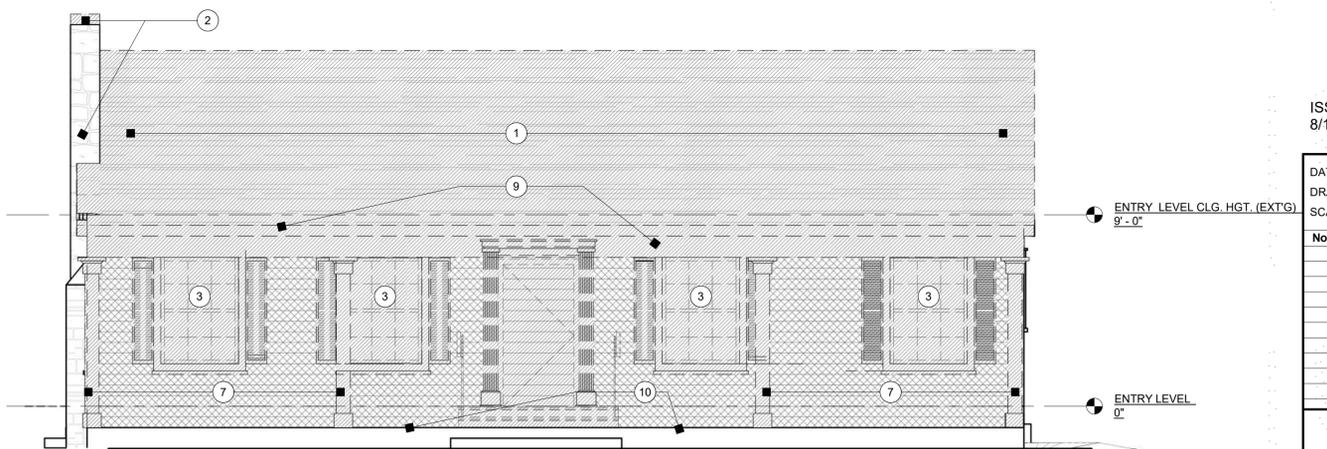
4 DEMO EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"



3 DEMO EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



2 DEMO EXTERIOR ELEVATION - EAST
SCALE: 1/4" = 1'-0"



1 DEMO EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



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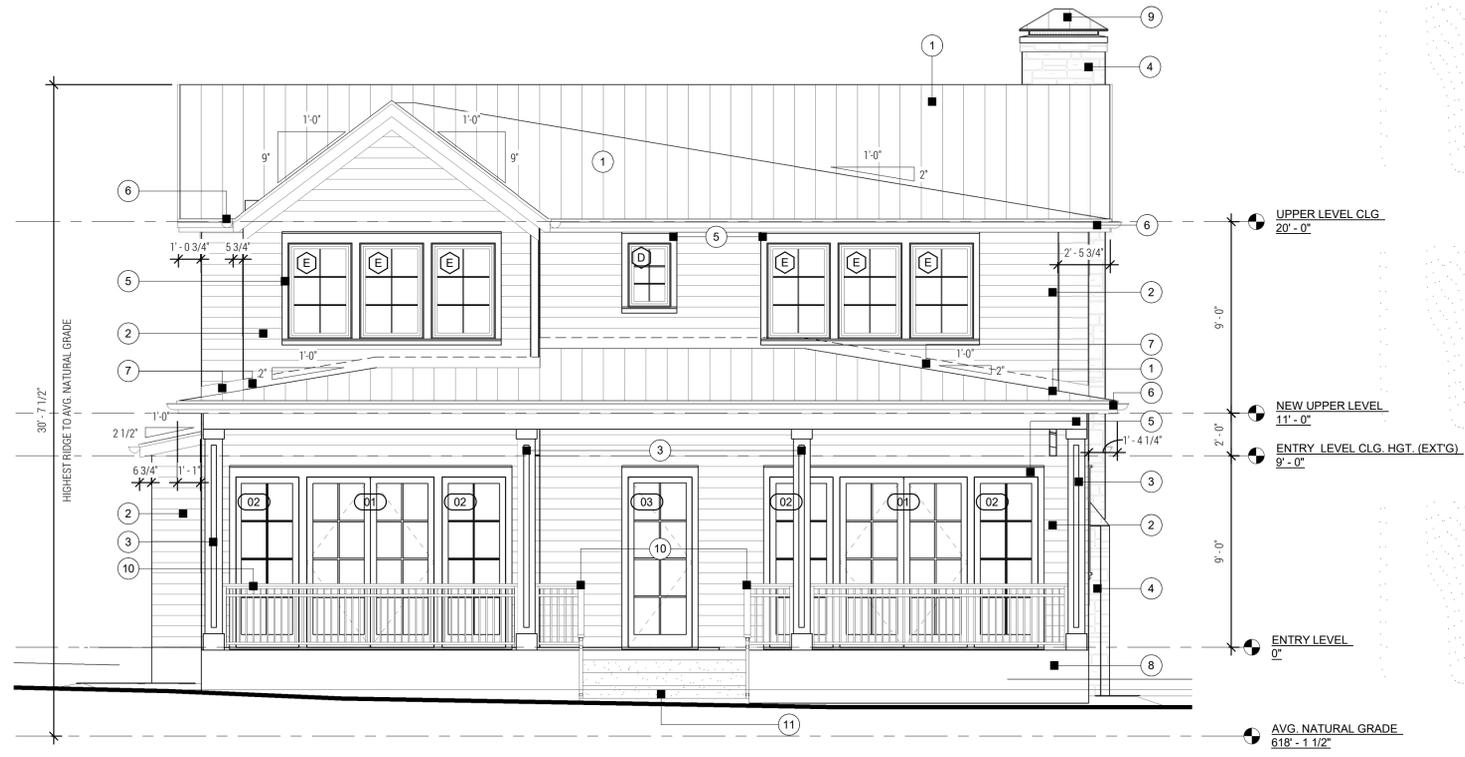
No.	Description	Date

EXTERIOR
ELEVATIONS

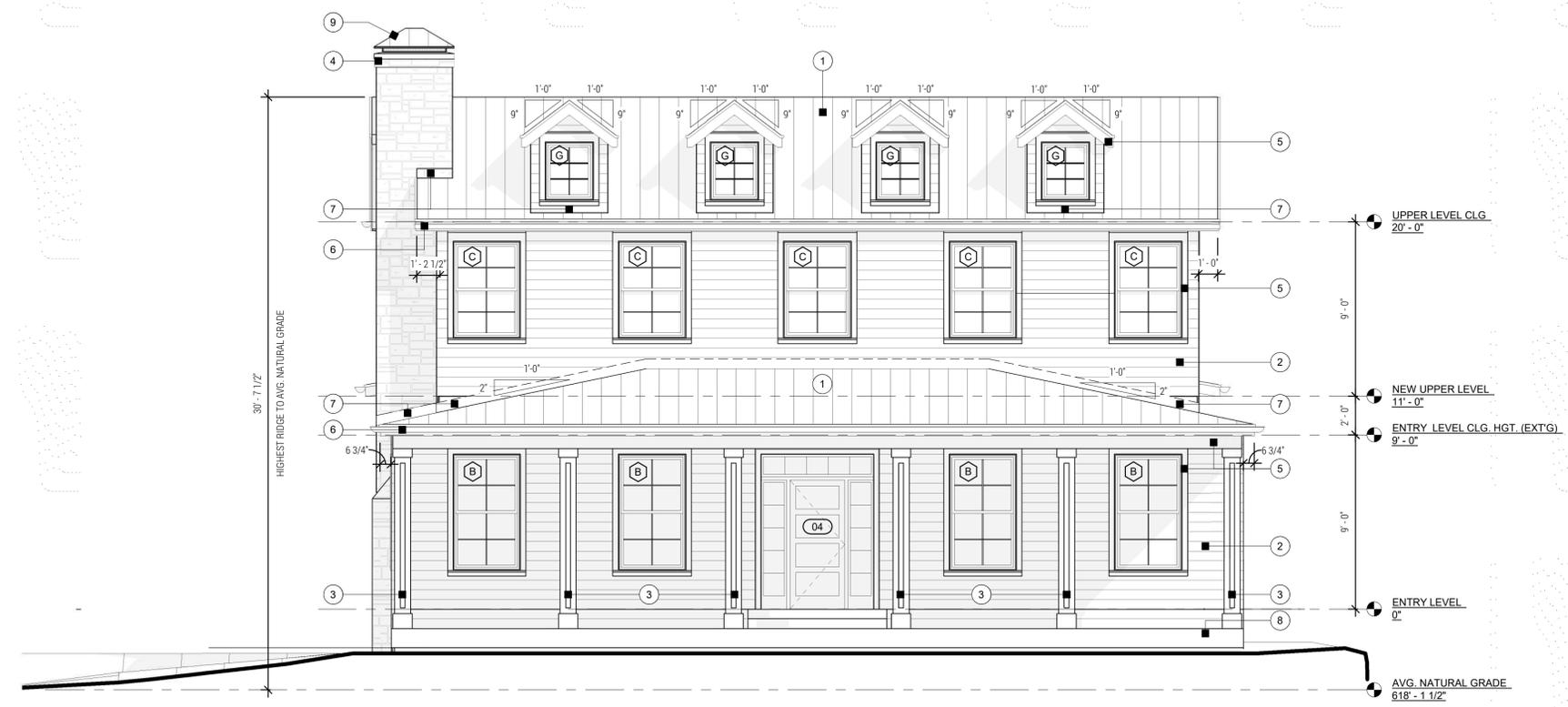
A-201

KEYED NOTES

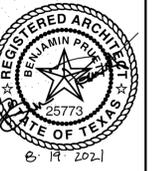
- 1 STANDING SEAM METAL ROOF.
- 2 PAINTED HARDIE PLANK ARTISAN LAP SIDING, MITER OUTSIDE CORNERS.
- 3 WOOD COLUMNS, PER STRUCTURAL DRAWINGS, CLAD W/ PAINTED HARDIE TRIM.
- 4 EXISTING CHIMNEY MASONRY, TYP. STONE MASONRY VENEER TO MATCH AT NEW.
- 5 PAINTED HARDIE TRIM, TYP.
- 6 6" PAINTED HALF-ROUND GUTTER AND DOWNSPOUTS, TYP.
- 7 FLASHING, TYP.
- 8 PARGE EXPOSED CONCRETE, TYP.
- 9 METAL CHIMNEY CAP, TYP.
- 10 CODE COMPLIANT WOOD HANDRAIL AND WOOD BALLUSTERS, LAYOUT AND DESIGN PER OWNER'S SELECTION.
- 11 CONCRETE STEPS TO GRADE.



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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No.	Description	Date

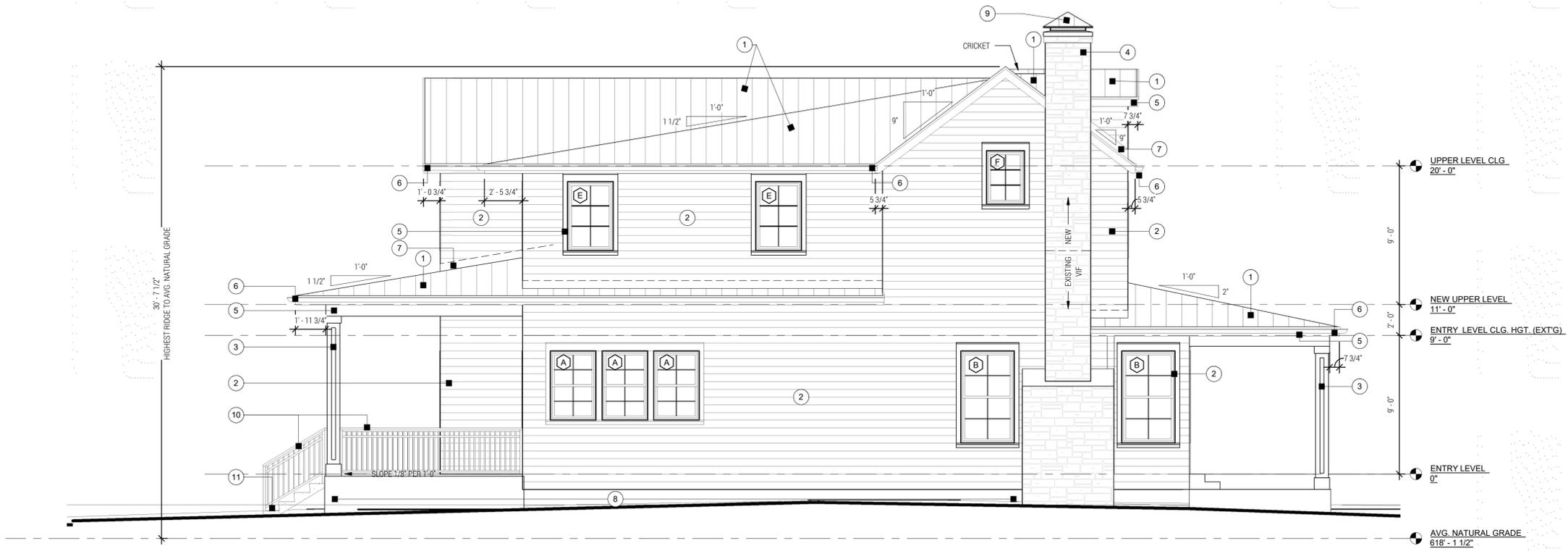
EXTERIOR
ELEVATIONS

A-202

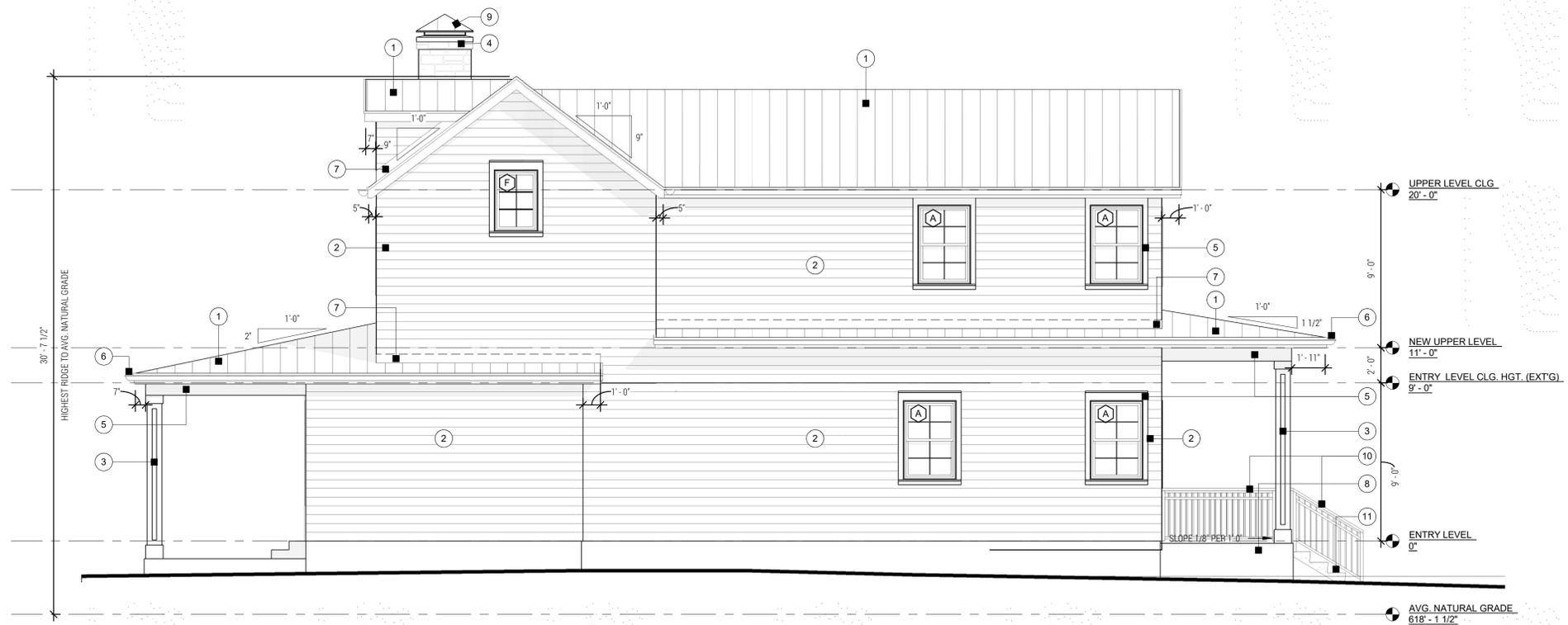
KEYED NOTES

- 1 STANDING SEAM METAL ROOF.
- 2 PAINTED HARDIE PLANK ARTISAN LAP SIDING; MITER OUTSIDE CORNERS.
- 3 WOOD COLUMNS, PER STRUCTURAL DRAWINGS; CLAD W/ PAINTED HARDIE TRIM.
- 4 EXISTING CHIMNEY MASONRY, TYP. STONE MASONRY VENEER TO MATCH AT NEW.
- 5 PAINTED HARDIE TRIM, TYP.
- 6 6" PAINTED HALF-ROUND GUTTER AND DOWNSPOUTS, TYP.
- 7 FLASHING, TYP.
- 8 PARGE EXPOSED CONCRETE, TYP.
- 9 METAL CHIMNEY CAP, TYP.
- 10 CODE COMPLIANT WOOD HANDRAIL AND WOOD BALLUSTERS, LAYOUT AND DESIGN PER OWNER'S SELECTION.
- 11 CONCRETE STEPS TO GRADE.

NOTE: REFER TO SHEET A-002 FOR GENERAL NOTES AND SPECIFICATIONS



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

SEE A-002 FOR GENERAL NOTES

LEGEND

-  NEW CONSTRUCTION (FRAMING & FINISH)
-  EXT'G. CONSTRUCTION TO REMAIN (FRAMING & FINISH)



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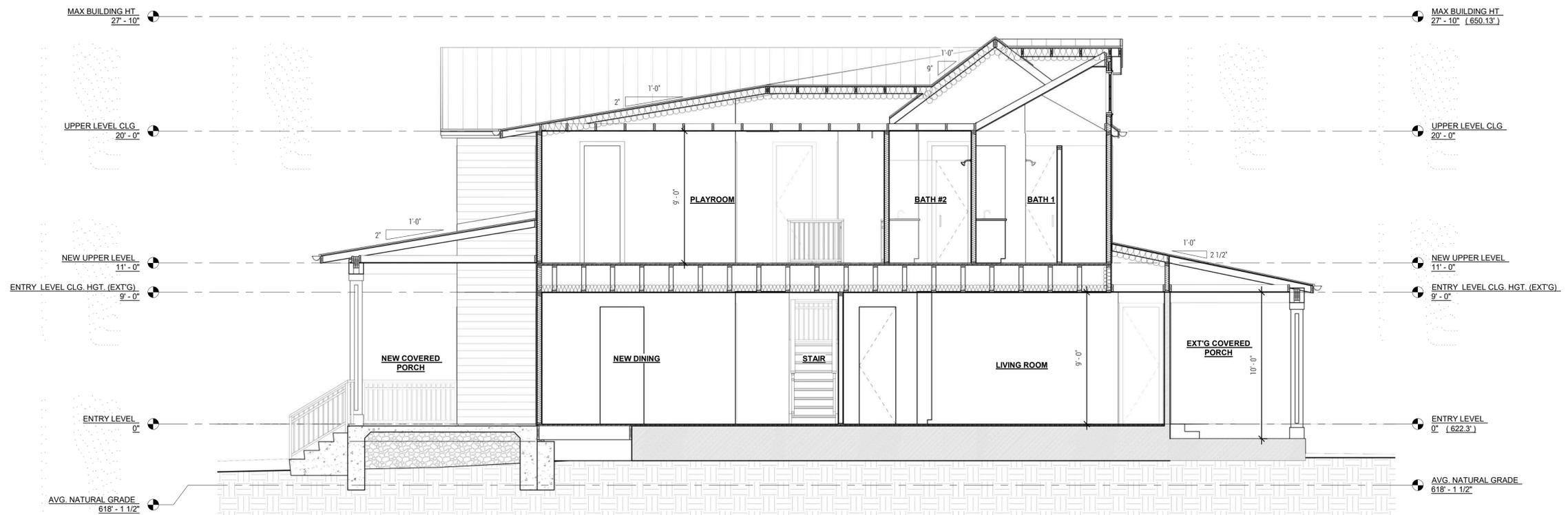
ISSUED FOR PERMIT
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DRAWN: BP/HW/MB
SCALE: AS NOTED

No.	Description	Date

BUILDING SECTIONS

A-301



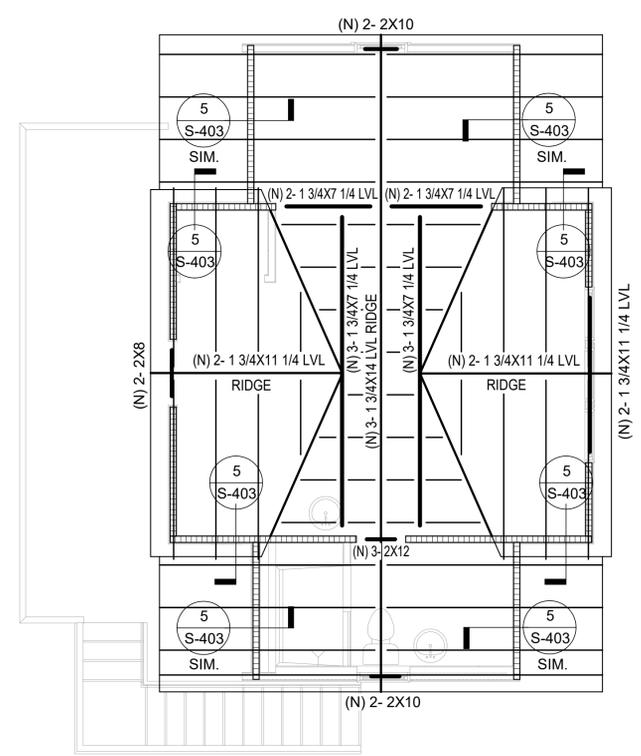
1 BUILDING SECTION 01
SCALE: 1/4" = 1'-0"



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 Project # 9210007



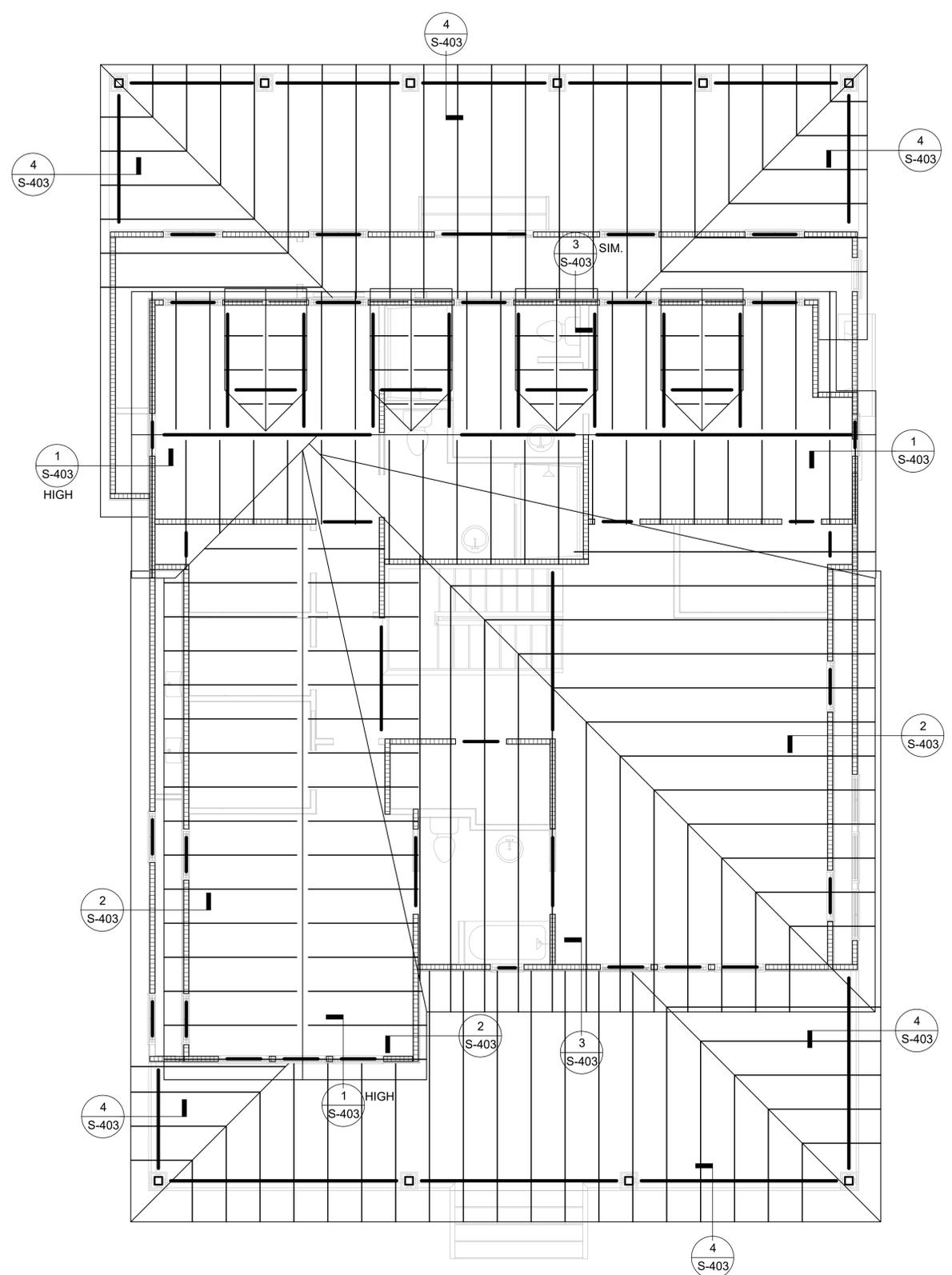
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1 ROOF FRAMING PLAN - GARAGE
 SCALE: 1/4" = 1'-0"

PLAN NOTES:

1. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF ROOF SLOPES, HIPS, VALLEYS, AND RIDGES NOT SPECIFICALLY DIMENSIONED.
2. VERIFY AND COORDINATE ALL DIMENSIONS W/ ARCHITECTURAL DRAWINGS.
3. SEE STRUCTURAL NOTES FOR WALL FRAMING SIZES, SPACING, AND SPECIES.
4. ALL STICK FRAMING FOR CANOPIES, PORCHES, AND OVERHANGS ARE 2x6 @ 24"O.C., UNLESS NOTED OTHERWISE.
5. ALL OVERBUILD FRAMING MEMBERS ARE 2x6 @ 24"O.C., UNLESS NOTED OTHERWISE.
6. ROOF DIAPHRAM SHALL BE INSTALLED AS DIAPHRAM AS DEFINED BY BUILDING CODE.



2 ROOF FRAMING PLAN - HOUSE
 SCALE: 1/4" = 1'-0"

PLAN NOTES:

1. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF ROOF SLOPES, HIPS, VALLEYS, AND RIDGES NOT SPECIFICALLY DIMENSIONED.
2. VERIFY AND COORDINATE ALL DIMENSIONS W/ ARCHITECTURAL DRAWINGS.
3. SEE STRUCTURAL NOTES FOR WALL FRAMING SIZES, SPACING, AND SPECIES.
4. ALL STICK FRAMING FOR CANOPIES, PORCHES, AND OVERHANGS ARE 2x6 @ 24"O.C., UNLESS NOTED OTHERWISE.
5. ALL OVERBUILD FRAMING MEMBERS ARE 2x6 @ 24"O.C., UNLESS NOTED OTHERWISE.
6. ROOF DIAPHRAM SHALL BE INSTALLED AS DIAPHRAM AS DEFINED BY BUILDING CODE.

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PERMIT SET

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No.	Description	Date

ROOF FRAMING PLANS

S-104