

## Allen, Amber

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**From:** Vincent Huebinger [REDACTED]  
**Sent:** Wednesday, August 18, 2021 3:17 PM  
**To:** Sadowsky, Steve; Allen, Amber  
**Cc:** Dane Wilkins  
**Subject:** RE: Item D-6 2501 Inwood Demo  
**Attachments:** Hugh McMath 1.JPG  
  
**Importance:** High

Steve, just left you and Amber a VM. It is indeed a very interesting house but we are not finding the Mid-century modern aspects on 2501 Inwood based on the industry (architectural) standards. Yes there are some pronounced windows but no lines and angles established in this front elevation or roof. Most mid-century modern houses built in 1950-60's had had lines with open spaces and pronounced split level roofs. The exterior wood is an odd combination and is not repairable. We are preparing some backup material for Landmark commissioners to try to emphasize the lack of element for this agenda. I have another hearing on Monday evening in Grand Prairie, therefore Dane Wilkins out of our office will be on the live line of the meeting. I am assuming that the postponement policy by staff will be granted (since it always is) and this is the last item on the agenda. Knowing the process, I believe you will be requesting postponements at the beginning of the hearing?

We did find 2502 Inwood went to your landmark commission in 2018 and was allowed to be demo'd and rebuilt as a combination of mid-century and eclectic. Others on that block were also demo'd.

Regarding Hugh McMath, he was a very impressive tenured professor and acting director for a few years. The most we have found on him are his international trips to Monterrey, his thesis at MIT and some other articles.

We can agree to postpone in light of your mention of Ned Cole and Plan con, which we did not discover in our research. The only thing we know about Ned Cole is that he may have been a student of Professor McMath. We also need to finish the structural walk Monday morning for the interior. From the exterior, Mike McIntyre has already found very disturbing damage & conditions, to be documented by the next hearing. We can include his preliminary exterior findings sometime tomorrow morning in the backup. According to his daughter, Hugh did not design the house.

Let us know the best way we should proceed and your thoughts on if Laura Burkhart would benefit on having some architectural renderings available next month? She may be able to get someone to prepare something for that time frame.

Thanks

*Vincent G. Huebinger*

Vincent Gerard & Assoc. Inc  
1715 S. Capital Texas Hwy, Suite 207  
Austin, Texas 78746  
[REDACTED]

---

**From:** Sadowsky, Steve <Steve.Sadowsky@austintexas.gov>  
**Sent:** Tuesday, August 17, 2021 1:55 PM  
**To:** Vincent Huebinger [REDACTED] Allen, Amber <Amber.Allen@austintexas.gov>  
**Cc:** Dane Wilkins [REDACTED]  
**Subject:** RE: Item D-6 2501 Inwood Demo

Steve Sadowsky  
Historic Preservation Officer  
City of Austin, Texas  
974-6454

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**From:** Vincent Huebinger [REDACTED]  
**Sent:** Tuesday, August 17, 2021 1:47 PM  
**To:** Sadowsky, Steve <[Steve.Sadowsky@austintexas.gov](mailto:Steve.Sadowsky@austintexas.gov)>; Allen, Amber <[Amber.Allen@austintexas.gov](mailto:Amber.Allen@austintexas.gov)>  
**Cc:** Dane Wilkins [REDACTED]  
**Subject:** RE: Item D-6 2501 Inwood Demo

I will let the owner know. Thanks Steve.

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**From:** Sadowsky, Steve <[Steve.Sadowsky@austintexas.gov](mailto:Steve.Sadowsky@austintexas.gov)>  
**Sent:** Tuesday, August 17, 2021 1:37 PM  
**To:** Vincent Huebinger [REDACTED]; Allen, Amber <[Amber.Allen@austintexas.gov](mailto:Amber.Allen@austintexas.gov)>  
**Cc:** Dane Wilkins [REDACTED]  
**Subject:** RE: Item D-6 2501 Inwood Demo

Vince:

I am going to recommend postponement of your application to September. There was a lot more to the history of this house than I thought.

Steve Sadowsky  
Historic Preservation Officer  
City of Austin, Texas  
974-6454

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**From:** Vincent Huebinger [REDACTED]  
**Sent:** Monday, August 16, 2021 5:12 PM  
**To:** Allen, Amber <[Amber.Allen@austintexas.gov](mailto:Amber.Allen@austintexas.gov)>; Sadowsky, Steve <[Steve.Sadowsky@austintexas.gov](mailto:Steve.Sadowsky@austintexas.gov)>  
**Cc:** Dane Wilkins [REDACTED]  
**Subject:** RE: Item D-6 2501 Inwood Demo

Yes Ma'am, Dane received it. I will get you our info as soon as possible.

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**From:** Allen, Amber <[Amber.Allen@austintexas.gov](mailto:Amber.Allen@austintexas.gov)>  
**Sent:** Monday, August 16, 2021 3:16 PM  
**To:** Vincent Huebinger [REDACTED]; Sadowsky, Steve <[Steve.Sadowsky@austintexas.gov](mailto:Steve.Sadowsky@austintexas.gov)>  
**Cc:** Dane Wilkins [REDACTED]  
**Subject:** RE: Item D-6 2501 Inwood Demo

Hi Vincent,

I just sent out an email with this information and more about the upcoming HLC meeting on Monday to all applicants. Let me know if you did not receive it.

Otherwise, all backup material is due as soon as possible so both staff and the Commissioners can review them prior to the meeting. I will be uploading all received backup first thing Thursday morning online. The last deadline to upload backup documents is Sunday, August 22<sup>nd</sup> at noon.

## Amber Allen

Planner II, Historic Preservation Office  
City of Austin – Housing & Planning Department

T: 512.974.3393

E: [Amber.Allen@austintexas.gov](mailto:Amber.Allen@austintexas.gov)

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**From:** Vincent Huebinger [REDACTED]  
**Sent:** Monday, August 16, 2021 12:05 PM  
**To:** Sadowsky, Steve <[Steve.Sadowsky@austintexas.gov](mailto:Steve.Sadowsky@austintexas.gov)>; Allen, Amber <[Amber.Allen@austintexas.gov](mailto:Amber.Allen@austintexas.gov)>  
**Cc:** Dane Wilkins [REDACTED]  
**Subject:** Item D-6 2501 Inwood Demo

\*\*\* External Email - Exercise Caution \*\*\*

Steve/Amber – when is our deadline for us to get all our info to you for the backup material and our presentation?  
Thanks

*Vincent G. Huebinger*

Vincent Gerard & Assoc. Inc  
1715 S. Capital Texas Hwy, Suite 207  
Austin, Texas 78746  
[REDACTED]

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# Historic Landmark Commission

September 27, 2021

Proposed Demolition Permit 2501 Inwood Austin Texas

Prepared for



By **Vincent Gerard & Associates, Inc.**

Land Planning, Development & Zoning Consultants

1715 South Capital Of Texas Highway, Suite 207

Austin, Texas 78746

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# Architectural Summary

## **\*Structure – “Midcentury Modern” by Definition *MidCentury Modern Preservation Society-***

Glass and large windows (some), straight flat lines (no), open and split level Spaces (no), minimal Ornamentation & furniture with many build-ins (shelves), immersed in nature (Yes).

Residential Structure does not meet Typical Midcentury Modern

***Further – numerous additions and extensions occurred post 1948***





## Examples of Midcentury Modern

Multiple Lines/Windows/Open Space/Levels

Historic Landmark Commission • Austin Texas - 2501 Inwood





Historic Landmark Commission • Austin Texas - 2501 Inwood



# Hugh McMath

## UT School of Architecture Deans, Past & Present

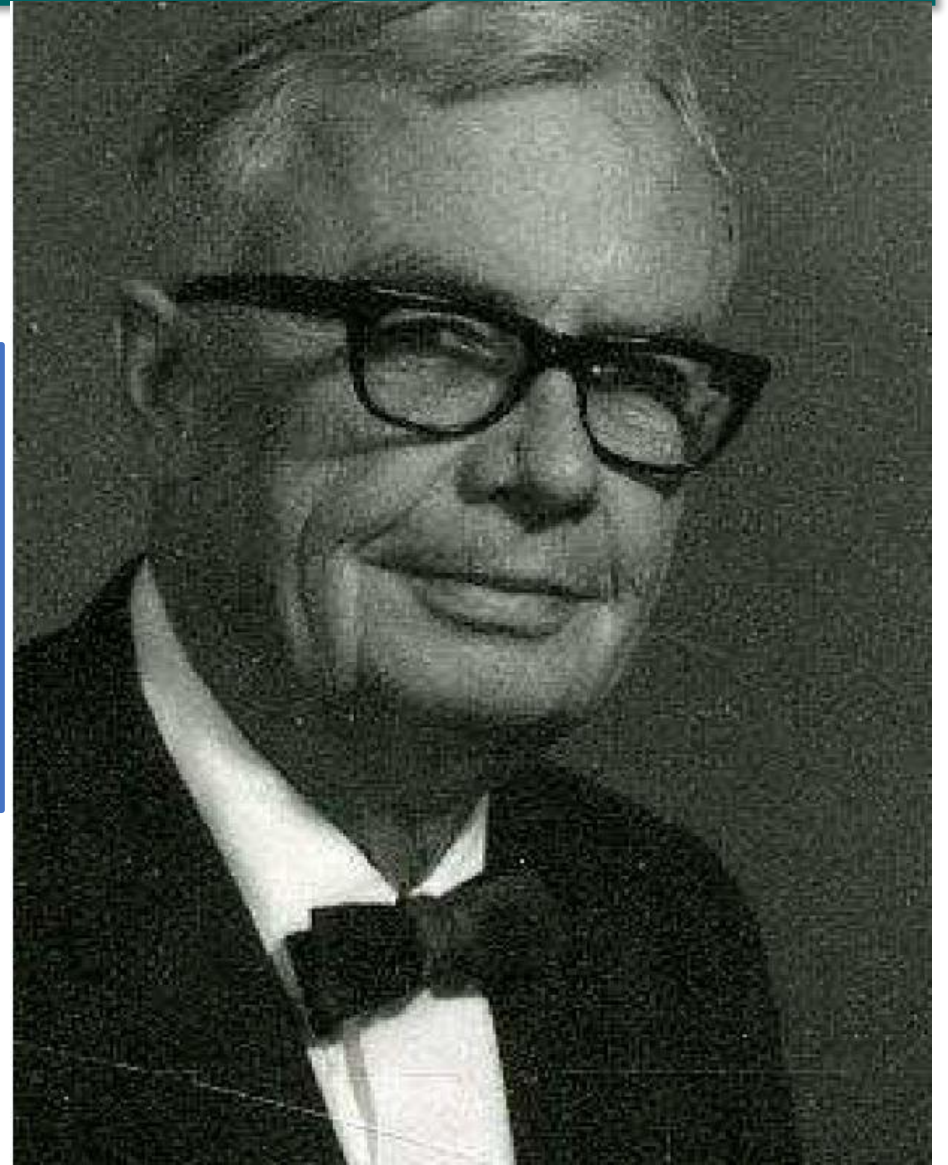
1910-May 1912: Hugo F. Kuehne, Chairman  
June 1912-August (?) 1927: F.E. Giesecke, Chairman  
September (?) 1927-May 1928: T.U. Taylor, Acting Chairman  
June 1928-May 1935: Goldwin Goldsmith, Chairman  
June 1935-May 1946: Walter T. Rolfe, Chairman  
June 1946-June 1950: Hugh McMath, Chairman  
July 1950-August 1951: Robert Talley, Acting Director  
September 1951-June 1955: Harwell Hamilton Harris, Director★  
July 1955-July 1956: Hugh McMath, Acting Director★  
August 1956-August 1967: Philip D. Creer, Dean  
September 1967-August 1968: Alan Y. Taniguchi, Director★  
September 1968-May 1972: Alan Y. Taniguchi, Dean  
June 1972-July 1973: Sinclair Black, Acting Dean★  
August 1973-December 1975: Charles Burnette, Dean  
January 1976-August 1976: John A. Gallery, Acting Dean  
September 1976-1992: Harold (Hal) Box, Dean  
1992-July 2001: Larry Speck, Dean★  
August 2001-May 2016: Frederick (Fritz) Steiner, Dean  
June 2016-present: Elizabeth Danze, Interim Dean

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# Hugh McMath

Chairman 1946-50, Acting Chair 1955-56.  
Would make many trips to Monterrey Mexico  
Developed courses in the Pre-Hispanic and colonial  
architecture of Mexico,  
Is listed as a consultant/Architect for the Instituto Tecnológico  
of Monterrey Mexico



# Ned Cole

Builder & Developer, President of Fabricon in 1950's.  
He was an officer (Treasurer) along 4 others in Plancon (builders)  
Sold Hugh McMath two Lots on Inwood Place.  
Started a Prefabrication Company (Fabricon) in East Austin – cabinets and shelves,  
Key player in developing the “Air Conditioned Village” in Austin  
Moved to Baton Rouge LA in the 1961.

Is 2501 Inwood His best example of architecture?

What other Ned Cole Homesites been restored/preserved?

Plancon had 3 other partners, did Ned Cole actually build this?



**NEW INDUSTRY**—Ned Cole, left, president of one of Austin's newest industries, Fabricon, discusses expansion plans of the Fabricon, with Dr. Frank Jessen, chief consulting engineer of Austin Area Economic Development Foundation. A post-war industry, Fabricon manufactures special wall cabinet and shelf units for home construction, and Cole pointed out that production is under way here for buildings as far away as Shreveport, La., and Oklahoma City.—(Neal Douglass Photo).



Fabiricon Shelves  
The current owner  
Would like to  
donate  
the existing shelves  
& closet in the  
McMath House  
To the Austin  
Historical Society  
Or the University  
Of Texas.





# John McIntyre PE Report

## 5.2 House Foundation

**Additions:** The foundation is a combination of several additions. There are no plans to indicate the reinforcing and thickness of the slab on grade foundation. There are no permits listed for the various additions on the City of Austin AB+C permit portal. Several of the foundation additions appear to be DIY "old world" stone rubble and mortar style configurations (photo 36).

**Floor Level:** The finish floor was observed to be over 2" out of level by a rough ZipLevel elevation survey. The grades were generally lower at the outside perimeter of the foundation and higher at the middle. Given the numerous foundation additions and the rubble mortar type of construction, it will be very difficult to raise the foundation edges.

**Finish floor grade separation:** The foundation is not 6" above the adjacent finished grade along the rear and right side of the house as required by code. The tops of exterior planters have been constructed too close to the finish floor elevation (photo 12, 18, 20, 41) – to overflow the planter walls, water will be at finish floor.

**Chimney:** There is settlement and cracks in the fireplace and chimney foundation and stone masonry. The fireplace foundation addition appears to have been built over the concrete planter wall that was in place at the time of this (unpermitted) addition.

Much of the exterior electrical work appears to be DIY installations that do not conform to code and present safety/fire hazards. The ground rod assembly at the rear hose bibb does not conform to code and represents a possible shock hazard to the domestic water piping system.

To perform a substantial renovation to this house would require removing most of the house to bare studs to build back to current codes. Many of the water damaged studs would have to be replaced. Windows and doors would have to be removed and replaced. Siding and WRB (Weather Resistant Barrier – like Tyvek or similar) would have to be replaced. Exterior insulation would be needed to meet current wall insulation requirements. Grading a drainage would need revisions to drain properly. The foundation is likely unable to be easily leveled. Exterior wall waterproofing below grade would need to be excavated and re-installed. Roof overhangs would need additional structure or shortening to comply with structural requirements.

In short, there would not be enough of the original structure left to be worth keeping. Our recommendation would be to demolish the existing house and start over with structures of known sound integrity and code compliance.

## 8 REPORT LIMITATIONS

The opinions expressed in this report are the result of readily visible and observable conditions and available information at the time of this report and represent a reasonable



# Summary

\*2501 Inwood Does not meet all the criteria for a Historic Structure,

\*Interesting homesite - 1 Bedroom House, but does not fit into Midcentury Modern,  
Numerous add-ons and additions,

Hugh McMath was certainly a mainstay in the UT School of Architecture however he was not a TITAN  
as some of the others who came afterward,

Ned Cole was a substantial builder in Austin and Key Figure in Air Conditioned Village  
His Fabricon company, pre-manufactured shelves and cabinets were being introduced all over the country,  
His work product, McMath's Cabinets and shelves, have been offered to be preserved by the owner,

John McIntyre PE Report unquestionably opined that the structure. **is not restorable.**



# McIntyre & McIntyre Incorporated

Architects + Engineers + Consultants

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512.219-9200 | [www.mmibuildings.com](http://www.mmibuildings.com) | TBPE #F4730

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## McMath Residence 2501 Inwood Place Austin, Texas 78703



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## Condition Observations

MMI Job #: 21031

Report Date: August 19, 2021

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## 1 BACKGROUND

Address: McMath Residence  
2501 Inwood Place  
Austin, Texas 78703

Legal Lot 9 and E 37.5 Ft. of lot 8  
Description: Inwood Park Subdivision

Prop I.D.: 112823

Jurisdiction: City of Austin / Full Purpose Annexation  
County: Travis County

## 2 SCOPE OF REPORT

It is the intent of this report to provide a summary of observations and evaluations of the conditions of the residence at 2501 Inwood Place, Austin, Texas 78703.

The opinions expressed in this report are derived from site reviews, plans, reports, photographs, reference material, building codes and information provided to McIntyre & McIntyre, Inc. (MMI) as well as professional experience in engineering design and construction.

The opinions in this report are based on readily visible conditions and available information at the time of the site visit. Destructive testing is beyond the scope of this report unless specifically noted otherwise.

## 3 EXISTING SITE AND SOIL CONDITIONS

**Location:** This site is located near the intersection of Exposition and Enfield Roads in central west Austin (photo 0).

**Orientation:** For purposes of this report, the front of the house will be considered as facing Northwest.

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**Soil present:** The NRCS (USDA Natural Resource Conservation Service) soil maps for this site indicate the site is located in the Fredericksburg Soil Group on shallow soils underlain by limestone, which is confirmed by visible outcroppings throughout the area.

**Geology:** The site is located in the Balcones Fault zone (photo 00), in the transition area between the east/low side of the fault zone (i.e., part of the ancient seashore) and the uplifted west side of the fault zone.

**Topography:** The TCEQ (Texas Commission on Environmental Quality) topographic map indicates that the general terrain slopes toward the Southeast.

**Movement potential:** Anticipated soil movement at this site is low with shallow topsoil over limestone bedrock. Shelf rock is visible at the bottom of the creek under the driveway bridge.

#### 4 EXISTING CONSTRUCTION

The following is a brief description of the construction materials and configurations currently in place:

**Roof:** The existing roof is a blend of modified bitumen (garage and flat portion of house) and shallow slope shingles at rear of house.

**Foundation:** The foundation is a conglomeration of a concrete slab on grade (presumed to be conventionally reinforced because of the age as casting) plus several additions that appear to be composed of (unreinforced) stone rubble masonry (such as under the chimney, for example – photo 15).

**Exterior walls:** The exterior wall assembly (from exterior toward interior) is  $\frac{3}{4}$  lap and gap wood siding, felt paper, 2x4 wood studs and  $\frac{1}{4}$ " wood paneling. The presence or rating of wall reinforcing could not be determined without destructive testing (which was beyond the scope of this report). Stem walls at the NW utility room are CMU at the lower portion.

**Windows:** The windows are all single pane clear glass (photo 20) in metal frames with no thermal breaks (aka "industrial style"). One window and door on the southeast side of the family room are jalouse type slatted operable windows (photo 61).



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**Interior walls:** Interior walls are drywall or ¼" wood paneling to either side of 2x4 wood studs.

**Flooring:** The interior floors are Saltillo tile throughout, presumably on a thick set mortar bed.

**Ceilings:** Ceilings are drywall to the underside of ceiling joists.

**Fireplace:** The stone masonry fireplace in the front family room appears to have been added sometime after the original construction, although this is not definitive.

## 5 DISCUSSION OF ISSUES

### 5.0 Site

**Bridge:** The surface planking at the wooden driveway bridge entering this property is near the end of its useful lifetime and should be replaced. The stone masonry abutments supporting each end of the driveway bridge has missing mortar and erosion and should be repaired prior to imposing loads on the bridge.

**Steps:** Steps from the garage to the front door are not uniform and the handrail is deteriorated (and very loose). The steps do not conform to code uniformity requirements.

There is no handrail at the four step fight up to the left rear patio from the left front of the house. Badly rusted bolts protruding from the left side of the left rear patio indicate that the guard rail at the patio to grade drop (over 24" in some places) is missing. The existing bolts are so badly deteriorated, they cannot be reused to a new guard attachment.

**Drainage:** The area rises to the back and right of the property. Drainage is routed from the rear right and rear of property, around the back of the property, through two drainage pipes the exit on the left side of the lot (photo 28). These pipes are easily clogged with debris and in the event of overflow, water may rise above finish floor level.

**Patio:** The patio at the left rear side of the house appears composed of square concrete sections that used to have 2x lumber in the section joints (photo 25). There are holes for what appears to have been column anchors (photo 26) that pose a safety hazard. This creates a very uneven and unsafe walk surface.

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Guardrails around the southeast perimeter drop off are missing (photo 53-54). A column at the left rear of the property has already been patched at the base (photo 29), is rotting again and no longer bears on the ground.

## 5.1 Garage

**Roof:** There is readily visible rot at the center of the garage roof overhang. There was active water ponding in the roof above this rot area. The overhead door is in need of repair as well. From casual observation, it appears that water is ponding at several locations on the garage roof.

**Garage floor/grade separation:** Soil grade is above the finish floor on three sides of the garage (photo 7-8). Water stains on the walls and floor and rot at the base of all walls within the garage (photo 9) indicate long term water infiltration to the garage interior. There is rot at the garage overhead door as well (photo 3).

## 5.2 House Foundation

**Additions:** The foundation is a combination of several additions. There are no plans to indicate the reinforcing and thickness of the slab on grade foundation. There are no permits listed for the various additions on the City of Austin AB+C permit portal. Several of the foundation additions appear to be DIY "old world" stone rubble and mortar style configurations (photo 36).

**Floor Level:** The finish floor was observed to be over 2" out of level by a rough ZipLevel elevation survey. The grades were generally lower at the outside perimeter of the foundation and higher at the middle. Given the numerous foundation additions and the rubble mortar type of construction, it will be very difficult to raise the foundation edges.

**Finish floor grade separation:** The foundation is not 6" above the adjacent finished grade along the rear and right side of the house as required by code. The tops of exterior planters have been constructed too close to the finish floor elevation (photo 12, 18, 20, 41) – to overflow the planter walls, water will be at finish floor.

**Chimney:** There is settlement and cracks in the fireplace and chimney foundation and stone masonry. The fireplace foundation addition appears to have been built over the concrete planter wall that was in place at the time of this (unpermitted) addition.

### 5.3 House Superstructure

**Siding:** The wood siding is in poor condition around the exterior of the house from long term neglect (Photo 55, for example). For example, the siding is rotted at the room addition adjacent to the fireplace (photo 14, 16). There is, additionally, a roof leak at this room corner (photo 69). The bottom edge of siding is rotting where it is not held off the adjacent flatwork (photo 47).

The older siding is oriented vertically and the newer siding is installed horizontally.

**Exterior wood columns:** The wood column at the rear left bedroom corner is not bearing (it is loose) at the base of the column (photo 29).

Left side wood porch columns are bearing directly on concrete without an air space as required by code (photo 27).

**Roof overhang:** The roof overhang on the right side appears to have been extended by scabbing on an additional 3 feet (roughly) to the original overhang (photo 30). The overhang joists are now over-spanned and excessively deflecting (photo 31).

**Walls:** There is rot and a water leak in the room addition next to the chimney (photo 69). There is rot in the wall outside the chimney and there is likely mold present at this location. There is a roof leak at the room to the NW corner of the chimney (photo 69). There are water stains that indicates leaks at the utility/laundry room (photo 63-66) and the hall bathroom (photo 67-68).

Since destructive testing is beyond the scope of this report, we cannot verify if the exterior walls are insulated. If present, however, it would be R-11 and would not conform to current R-15 requirements.

There are several wall penetrations that are improperly flashed (photo 37, 47) and are allowing moisture penetration.

**Windows:** Windows are all single pane clear lites set in metal frames without thermal breaks (photo 59-60). There are jalouse windows and doors at the left side of the house (photo 61). None of the windows conform to current IECC requirements for a conditioned house space.



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A number of the windows do not meet the minimum 20"x24" opening required for safety exit in case of an emergency.

**Roof / Ceilings:** The 2x6 joists at the flat roofs only allow R-19 batt insulation which does not comply with IECC roof insulation requirements over conditioned spaces.

**Roofs:** The sloped and shingled roof at the rear portion of the house has a very low slope. It is likely that this roof was originally installed as a low slope "tar and gravel" roof that was later shingled. The slope appears minimal for shingle application which typically requires at least a 3:12 pitch or steeper.

## 5.4 Electrical

**Service Entrance:** The electric service enters near the left front corner of the house (photo 43). The overhead service entrance does not comply with current AE requirements and will have to be revised during remodeling (insufficient ground clearance).

**Grounding Electrode:** There is a ground rod and copper wire attached to a hose bibb at the rear of the house (photo 44). This is not in conformance to NEC requirements and can lead to potential energizing of the copper water pipes throughout the house.

**Wiring:** There is much DIY wiring (photo 45-46) and lighting (photo 45, 48) present at the roof soffits that does not conform to NEC requirements. Junction boxes, wiring devices, wiring and fixtures are not damp rated or installed to outdoor conditions (photo 45-48).

An outdoor receptacle at the SE side of the patio is badly rusted and does not conform to current NEC requirements (wrong cover, badly rusted box, not waterproof installation).

There is no arc-fault protection at the living area outlets as required by current code.

## 5.4 Plumbing

**Sanitary Sewer:** It is presumed that the sanitary sewer piping is cast iron as PVC was not used until the mid-1970's. As such, this pipe is at its 50-year service life and may require replacement in the near future.

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There is some PVC pipe visible at the exterior of the utility room (photo 47) which is part of an addition after the original construction.

**Domestic Water:** The water lines appear to be copper (from visible stub outs at sinks and hose bibbs).

**Natural Gas:** The gas meter is located at the left front corner of the house in a submerged hole that appears to have no drainage (photo 41). The gas meter configuration indicates that the masonry planter was added after original construction (photo 42). The original foundation edge is visible at the hose side of the gas meter recess.

## 5.5 HVAC

Central air conditioning and heating was added at some point after original construction. The present condensing unit (outdoors) is about 10 years old and nearing the end of its service life (typically 10-12 years). The attic ductwork was not readily accessible. No secondary condensate drain was noted on site and the air handler drain pan was not accessible to determine if there was a float switch.

## 6 CONCLUSIONS

The bridge at the drive entrance requires substantial abutment and deck repair to be safe and serviceable for the intended use.

The garage has visible rot at the front side of the roof and fascia as well as at the base of interior walls. The soil around three sides of the perimeter is above finished floor, is not properly waterproofed and had resulted in obvious leaks to the garage interior. In addition, the flat roof is ponding water.

Drainage at the rear of the house is subject to clogging and consequent water infiltration. There are several areas with insufficient grade/finish floor separation.

Columns supporting roof extensions not bear properly or are not bearing at all. The patio has several safety code violations (guardrails, stairs, rough surface and holes), has a very uneven walk surface and expansion joints have rotted away (leaving trip hazards).

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The exterior of this house has been poorly maintained and will require major renovation to restore integrity. A number of wall penetrations are poorly flashed or missing flashing. Several roof/wall conditions are not properly flashed and are leaking. Siding is not elevated from adjacent flatwork and planters, and is rotting. Siding has suffered from long term neglect and is deteriorating.

The house has had several additions that bear on foundations of dubious quality. The foundation has settled and would require lifting to restore a flat surface to ASIC Guideline<sup>1</sup> recommendations. The problem with leveling operations is that some of the additions are not likely to accept the point support of piers (for example) without causing damage and uneven lifting or increased damage to the various sections. The reinforcement thickness of the original foundation may not be sufficient to withstand jacking forces either.

Much of the exterior electrical work appears to be DIY installations that do not conform to code and present safety/fire hazards. The ground rod assembly at the rear hose bibb does not conform to code and represents a possible shock hazard to the domestic water piping system.

To perform a substantial renovation to this house would require removing most of the house to bare studs to build back to current codes. Many of the water damaged studs would have to be replaced. Windows and doors would have to be removed and replaced. Siding and WRB (Weather Resistant Barrier – like Tyvek or similar) would have to be replaced. Exterior insulation would be needed to meet current wall insulation requirements. Grading a drainage would need revisions to drain properly. The foundation is likely unable to be easily leveled. Exterior wall waterproofing below grade would need to be excavated and re-installed. Roof overhangs would need additional structure or shortening to comply with structural requirements.

In short, there would not be enough of the original structure left to be worth keeping. Our recommendation would be to demolish the existing house and start over with structures of known sound integrity and code compliance.

## **8 REPORT LIMITATIONS**

The opinions expressed in this report are the result of readily visible and observable conditions and available information at the time of this report and represent a reasonable

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<sup>1</sup> ASIC Guideline for Evaluation and Repair of Residential Structures

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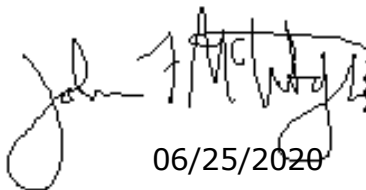
degree of engineering certainty, based on professional engineering experience with design, construction and installation of similar projects.


This report is intended as a general opinion of observations, installations, conditions, consequences and recommendations at the time of the site visit. The opinions are not a guarantee of future performance.

Should additional information become available that may affect the opinions expressed in this report, we reserve the right to review such information and if warranted, revise or amend the report accordingly.

Should you have additional questions about or require further information concerning this report, please do not hesitate to contact us.

Submitted for McIntyre and McIntyre, Inc. by:

  
06/25/2020



John McIntyre, P.E. #52646 Tx / CBP-PHTA

McIntyre & McIntyre, Inc. / Architects and Engineers / TBPE #F-4730

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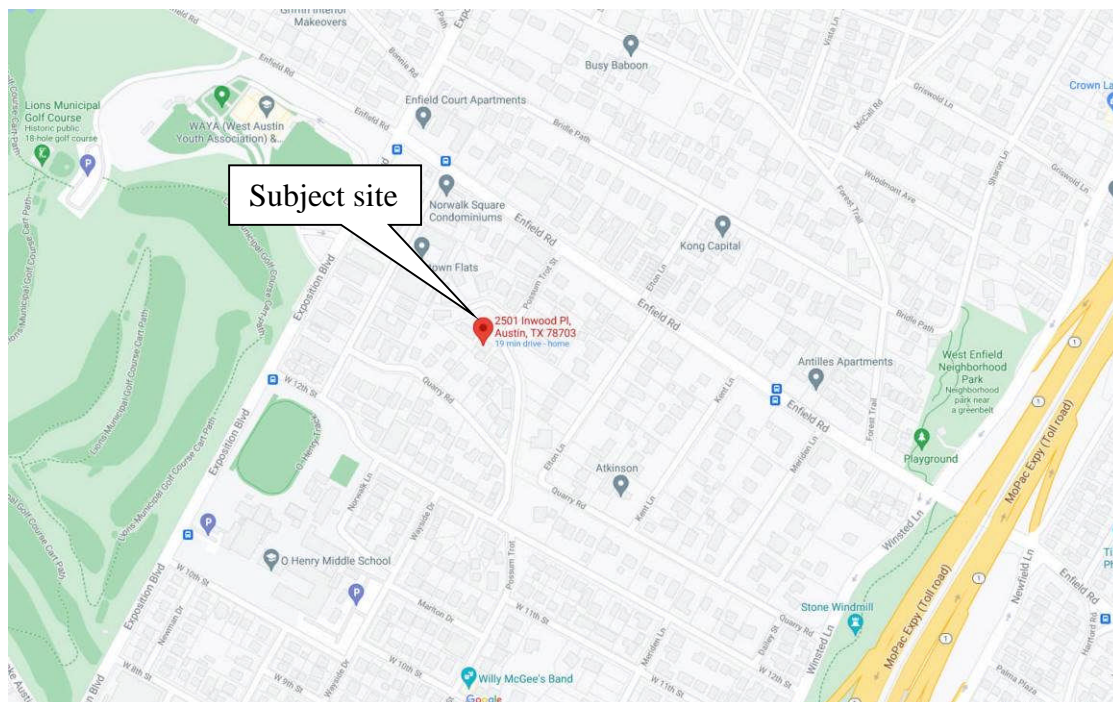
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E: [john@mmibuildings.com](mailto:john@mmibuildings.com)

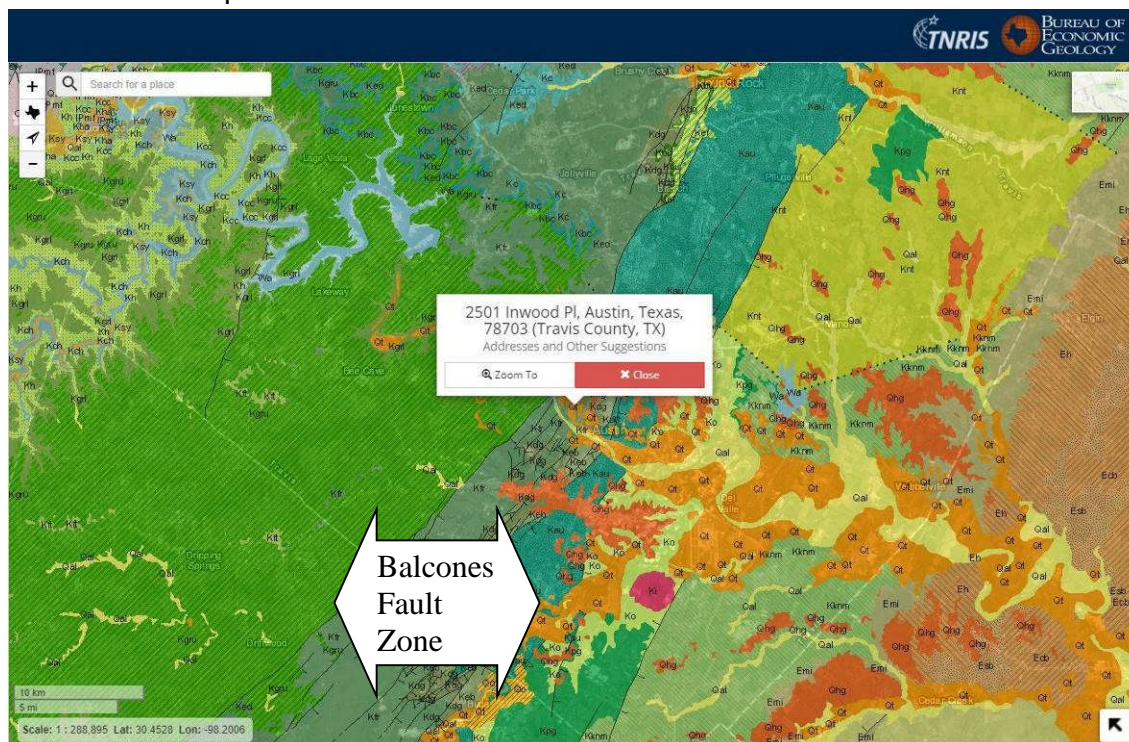
C:\\MMI\\20038\\MMI \_7730 SpicewoodSpringsPool\_U02



## 9 PICTURES

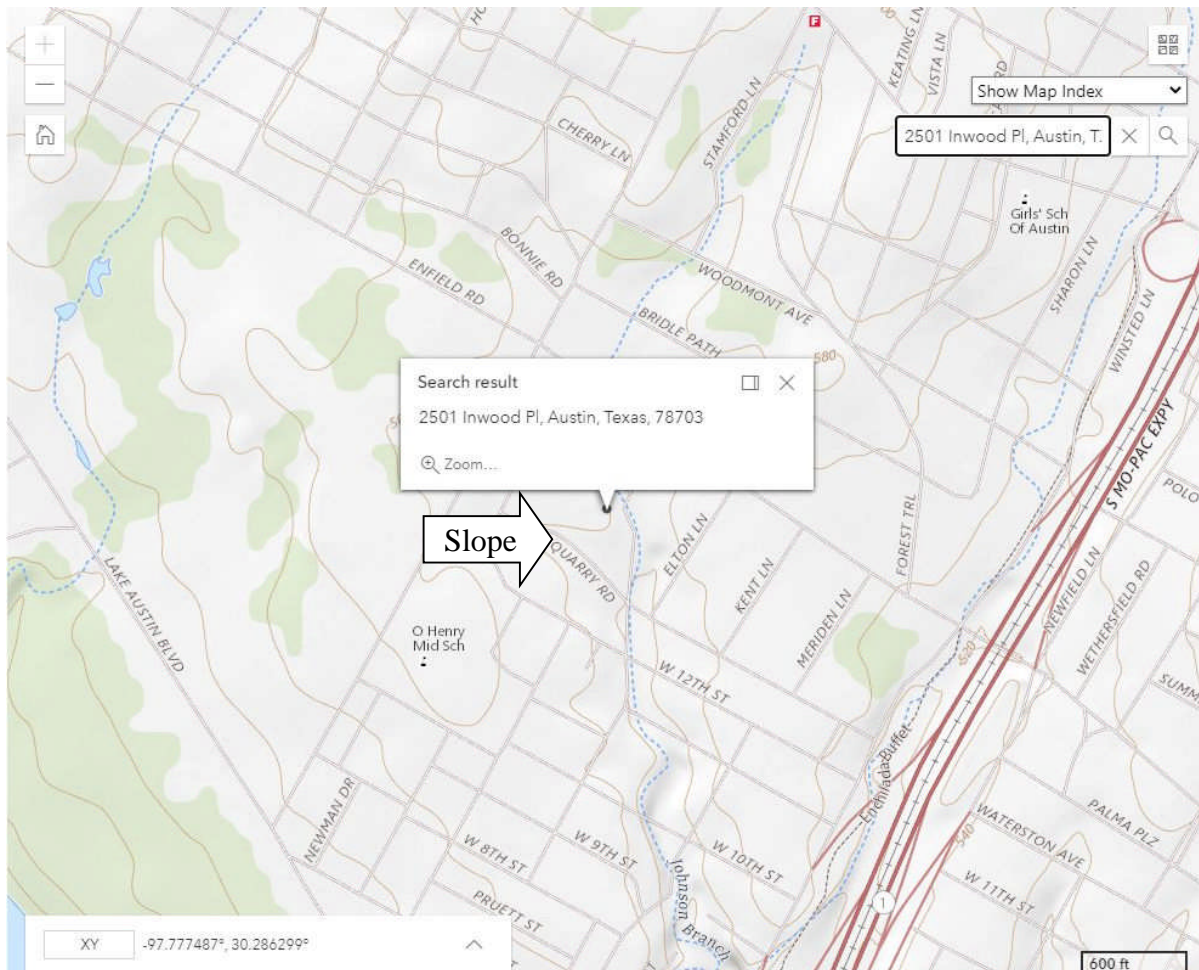


0. Location Map



00. Geologic Map

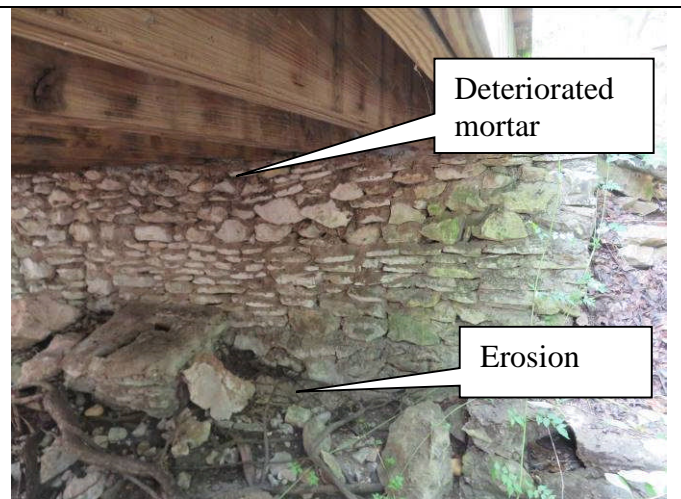




000. Topographic maps



1. Wooden drive bridge



2. Bridge abutment with erosion





3. Rot at garage front



4. Rot at garage front



5. Rot under garage roof overhang



6. Garge roof ponds water



7. Soil above garage floor grade on 3 sides



8. Soil above garage floor / water leaks





9. Rotted garage walls - typical



Uneven risers –  
loose handrail

10. Steps and handrail – garage to house



Broken  
rock &  
coarse  
mortar wall

11. Typical stone rubble wall construction



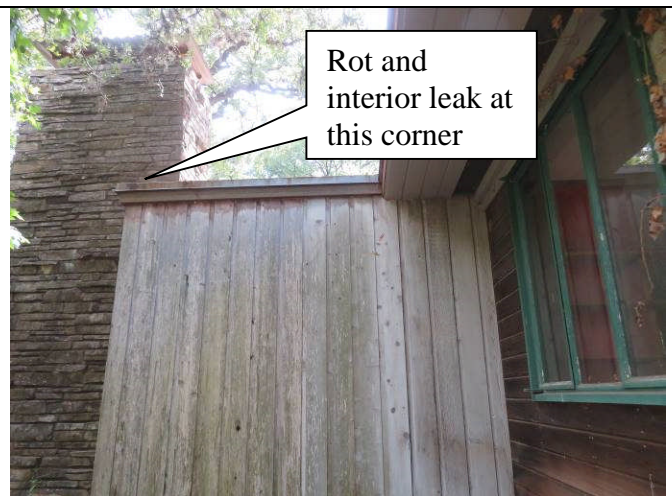
Planter  
added after  
origina  
construction  
– no  
drainage

12. Gas meter at original grade



Non-compliant  
electrical work

13. Varying soffit materials



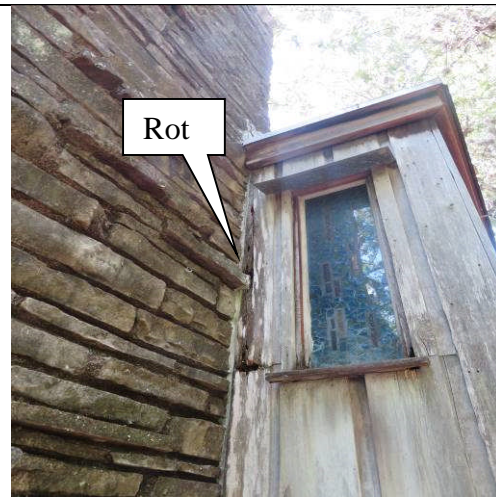
Rot and  
interior leak at  
this corner

14. Non permitted addition at fireplace





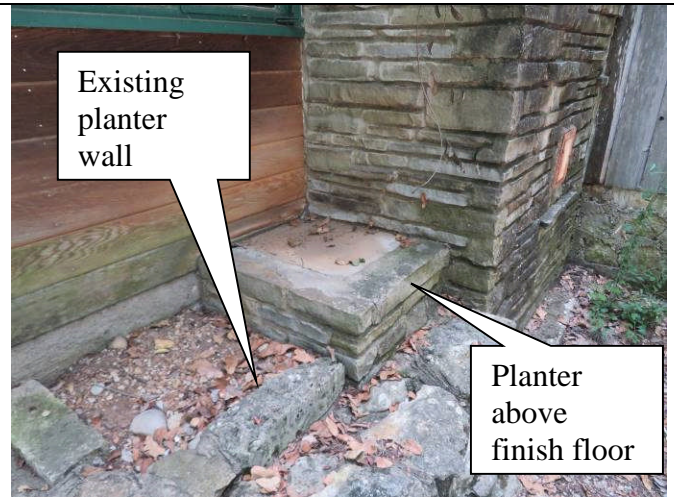
15. Foundation next to chimney



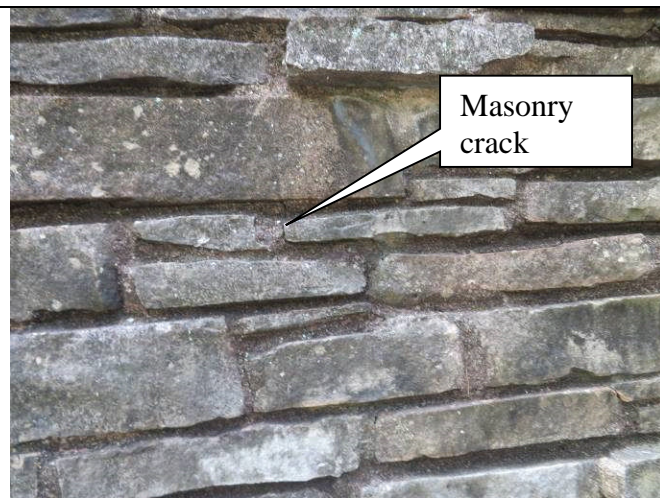
16. Wall rot & leak at "chimney" addition



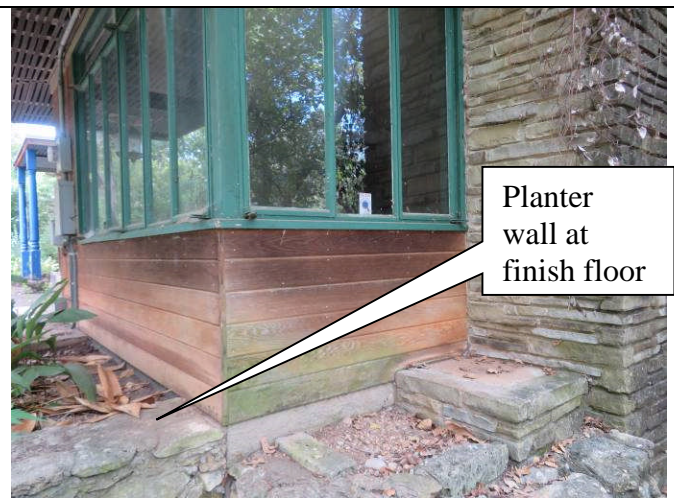
17. Chimney at front left



18. Planter extension at chimney

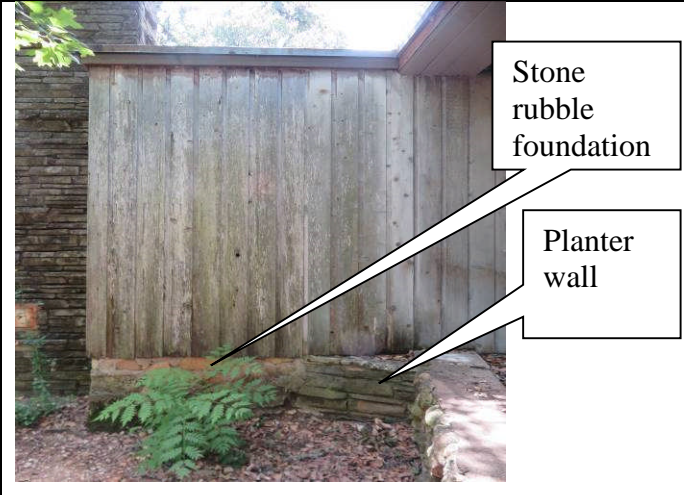



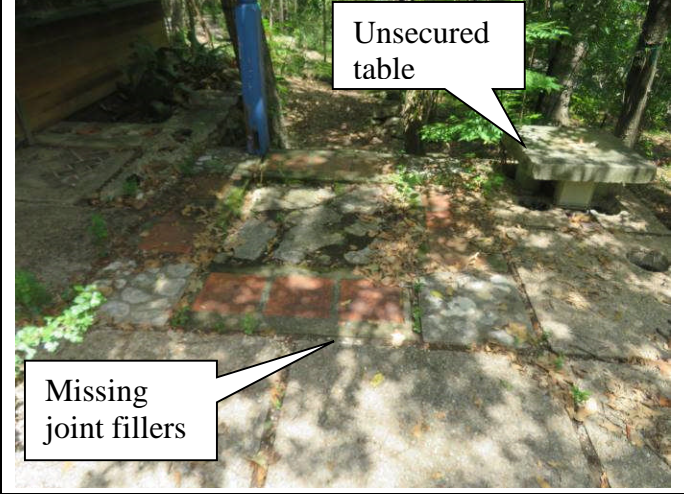



19. Masonry cracks at chimney

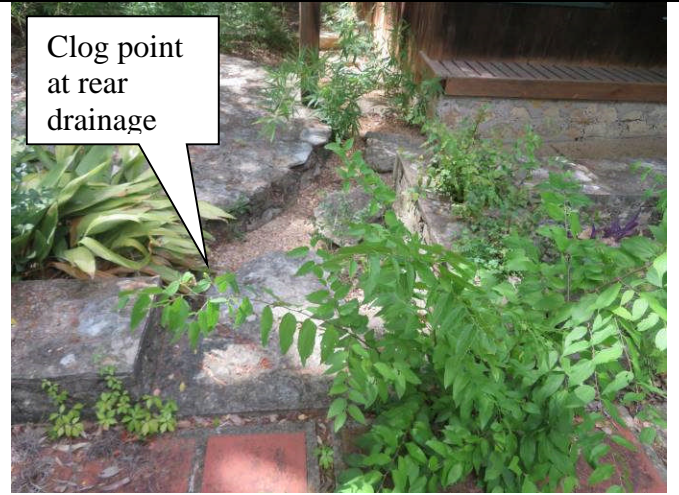
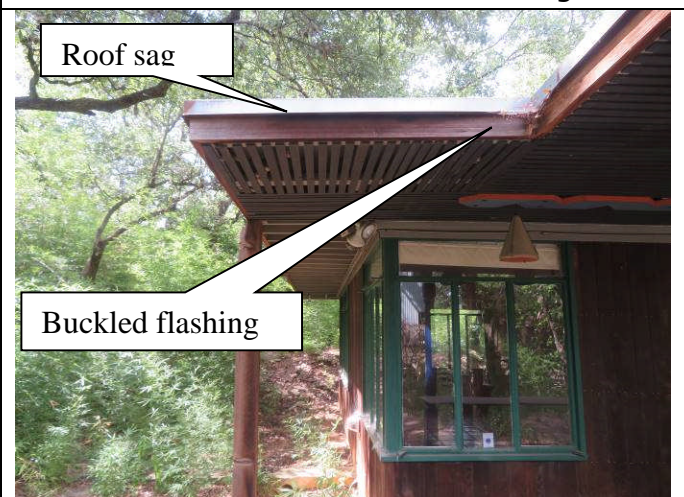



20. Deteriorated siding



	
<p>21. Room addition left of chimney</p>	<p>22. Rotted and falling down left side fence</p>
	
<p>23. No handrail at steps</p>	<p>24. Improper post bearing</p>
	
<p>25. Uneven patio and missing joint fillers</p>	<p>26. Voids at column (?) bases</p>



 <p>Column does not bear at base</p>	 <p>Clog point at rear drainage</p>
<p>27. Improper column bearing</p>	<p>28. Rear drainage channel</p>
 <p>Column base does not bear on ground – base has rotted and been replaced already</p>	 <p>Scabbed on joist extensions</p>
<p>29. Rotted column base – no bearing</p>	<p>30. Extended roof overhang</p>
 <p>Roof sag</p> <p>Buckled flashing</p>	 <p>No seals at window frames</p>
<p>31. Typical casement windows</p>	<p>32. Single un-insulated frame windows -typ</p>

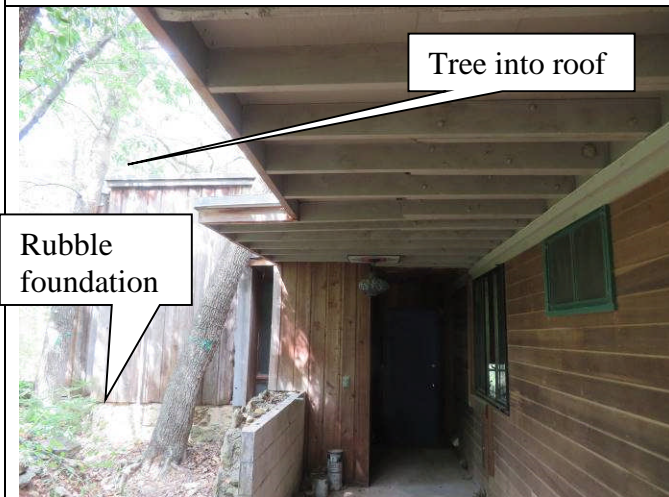




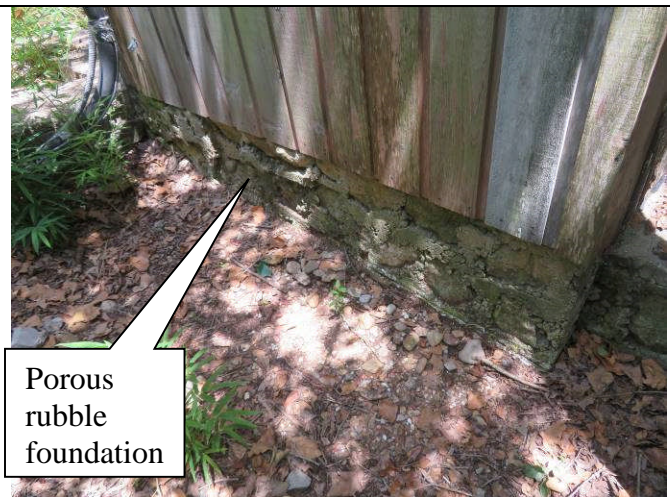
33. Shallow pitch roof at rear



34. Typ rubble filled foundation wall



35. Roof sag at extended overhang



36. Utility room – rubble foundation



37. No flashing at wall penetration

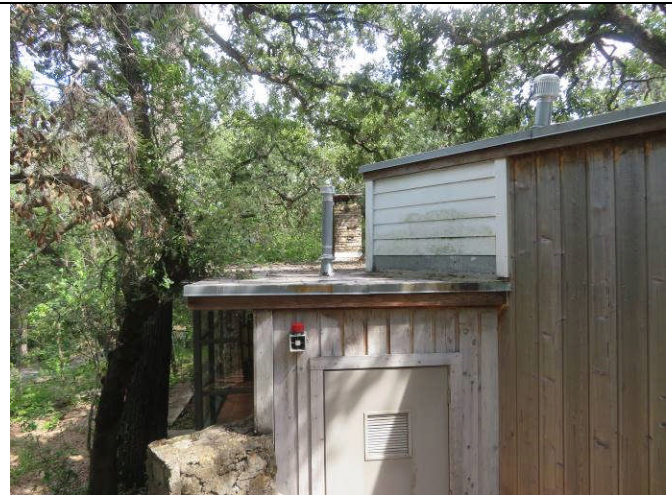


38. Rot / leaks at utility room wall base

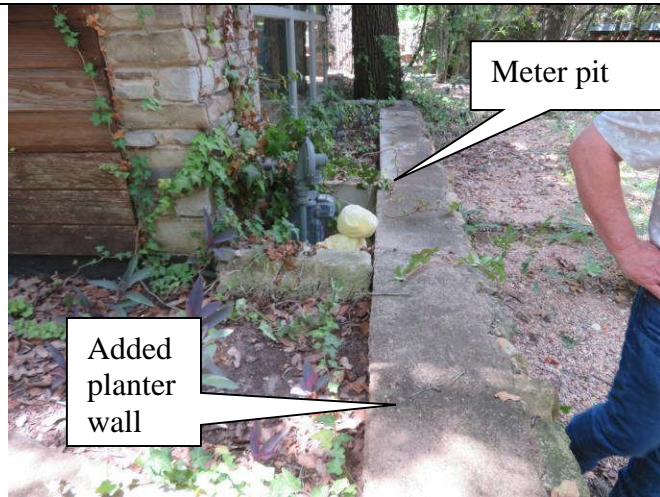




39. Rot / leaks at water heater closet



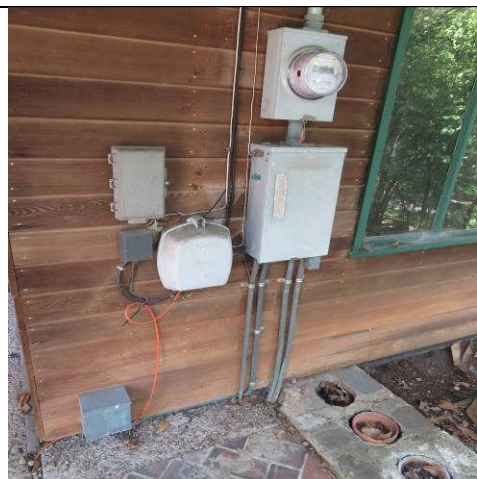
40. Roof flashing at flat roof



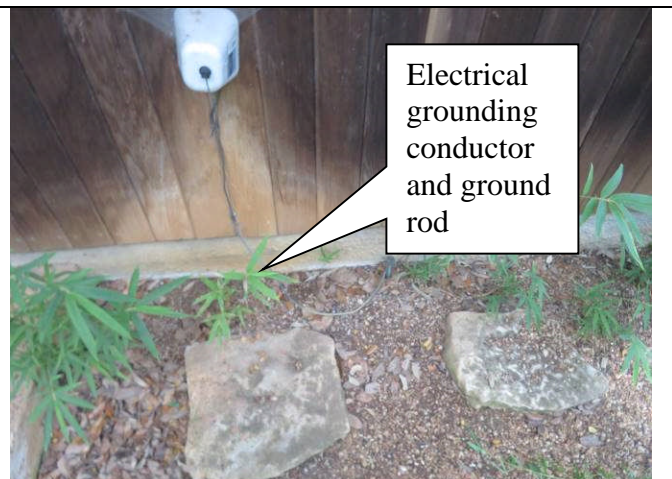
41. Gas meter at added planter



42. Gas meter pit (looking down)

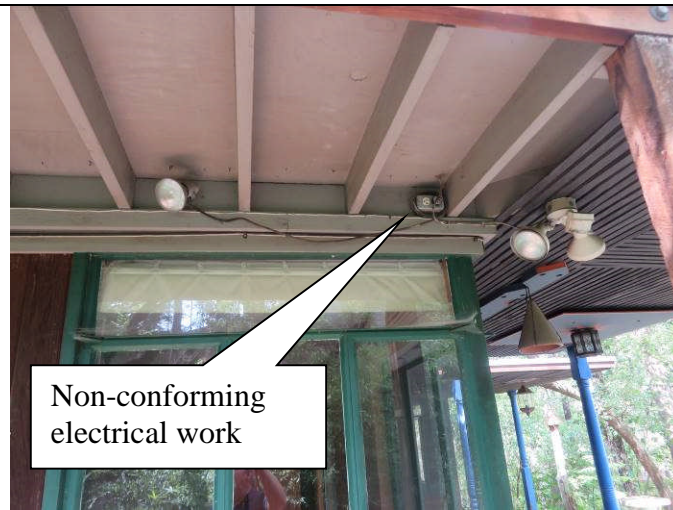


43. Electrical service entrance

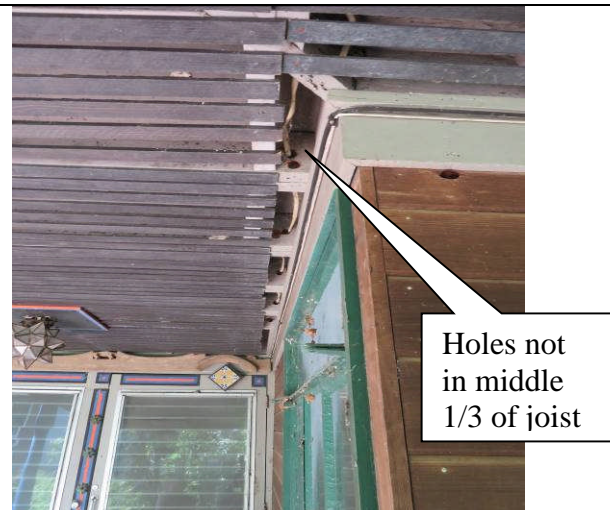


44. Ground rod at rear hose bibb

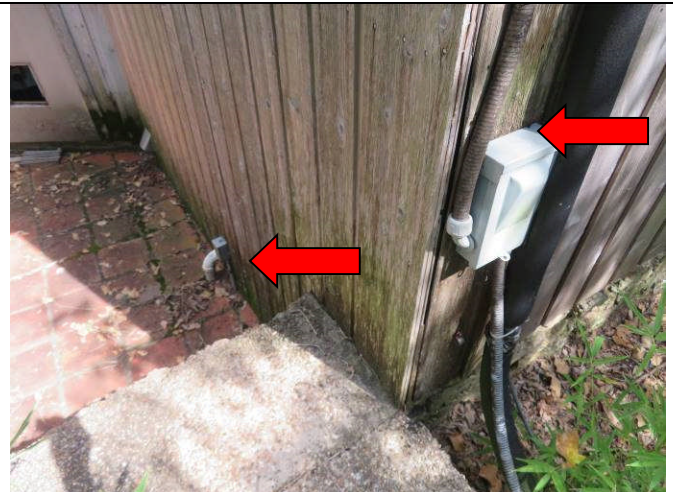




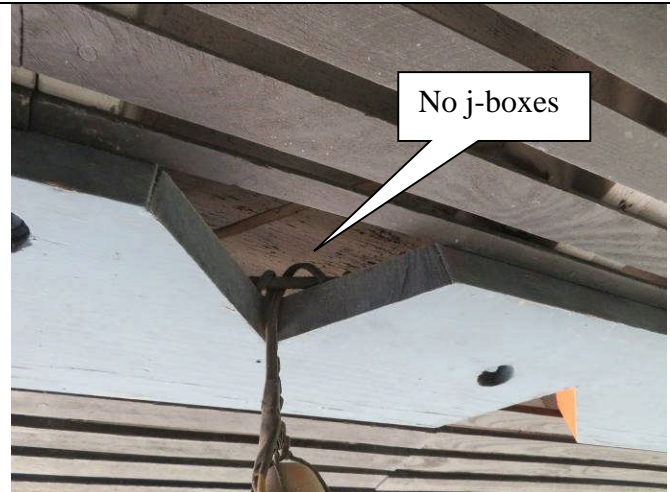
45. DIY electrical wiring and fixtures



46. improper joist boring



47. Improper wall penetrations



48. Improper wiring methods and materials


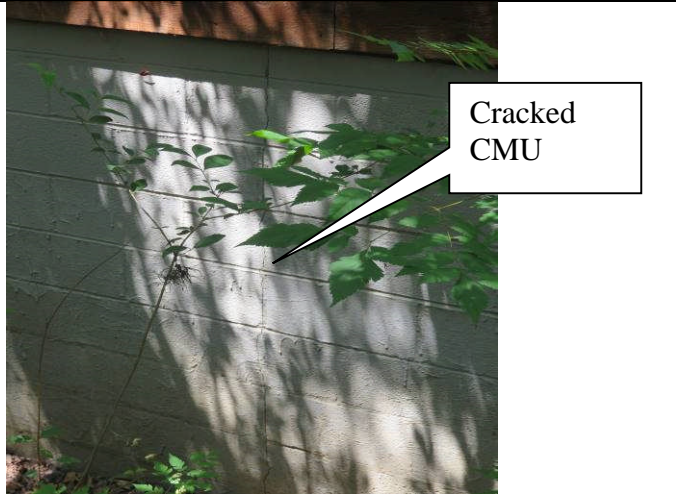






49. Badly rusted j-box at patio edge



50. Kitchen

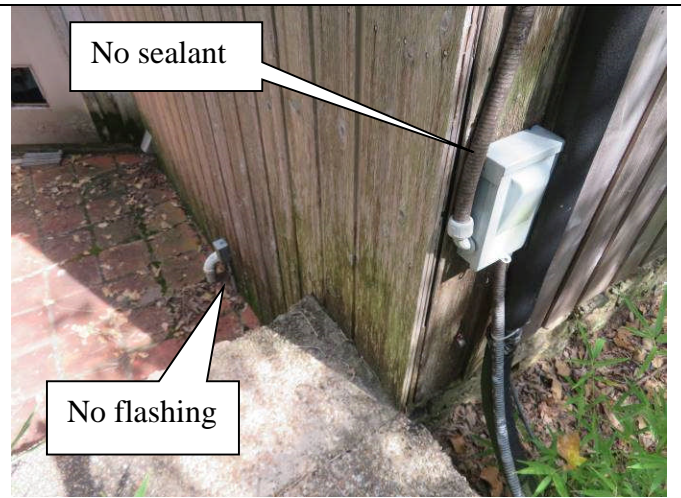


 <p>Windows do not meet 20"x24" opening size</p>	 <p>Cracked CMU</p>
<p>51. No arc fault protection at bedrooms</p>	<p>52. Crack at garage wall</p>
	 <p>Rusted anchor bolts</p>
<p>53. No guardrail at patio edge</p>	<p>54. Rusted anchor bolts at patio edge</p>
 <p>Tree growing into structure</p>	 <p>Tree bearing on roof with rot</p>
<p>55. Tree into roof/wall structure</p>	<p>56. Tree bearing on roof</p>

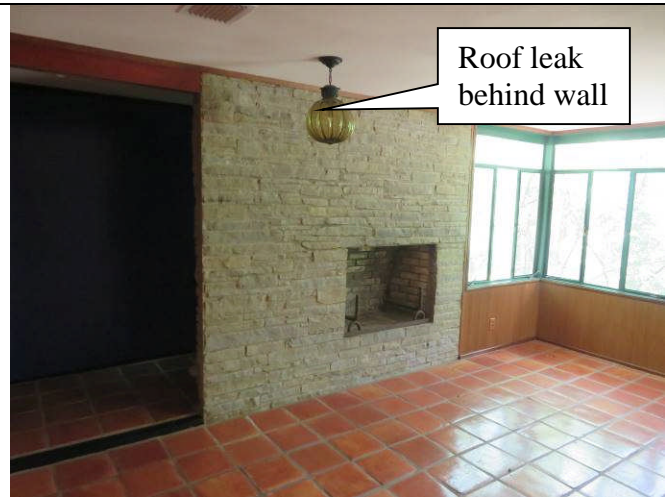




57. Light fixtures not rated for outdoor use



58. improper wall penetrations



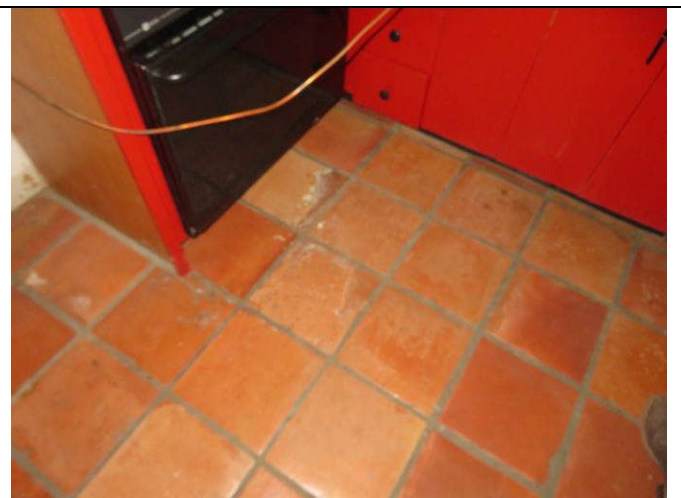
59. Settlement at fireplace



60. Single pane uninsulated window

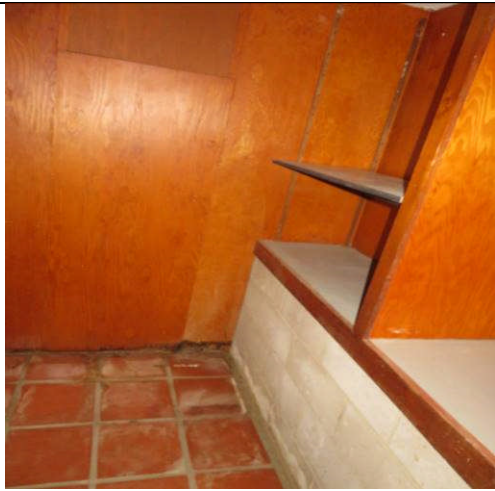


61. Jalousie window and door

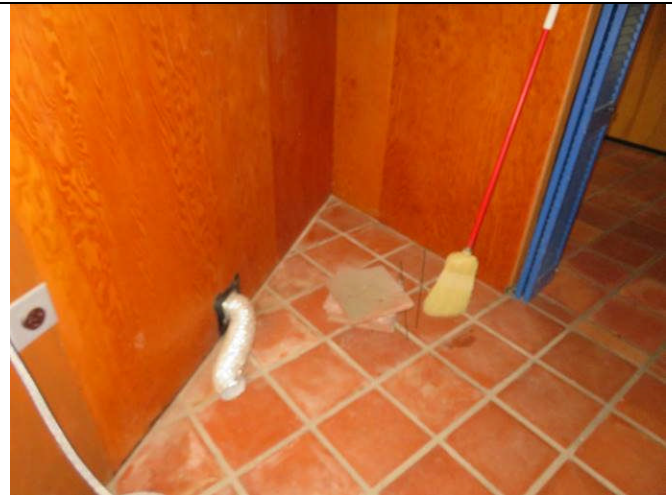


62. Water stain in kitchen





63. Water stain in utility



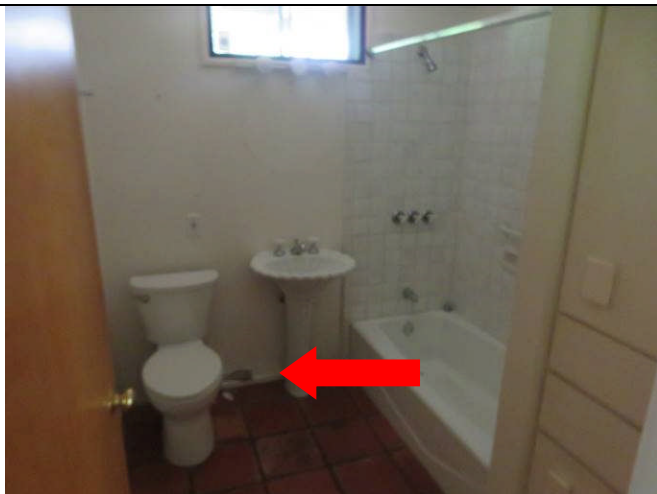
64. Water stain in utility



65. Water stain in utility



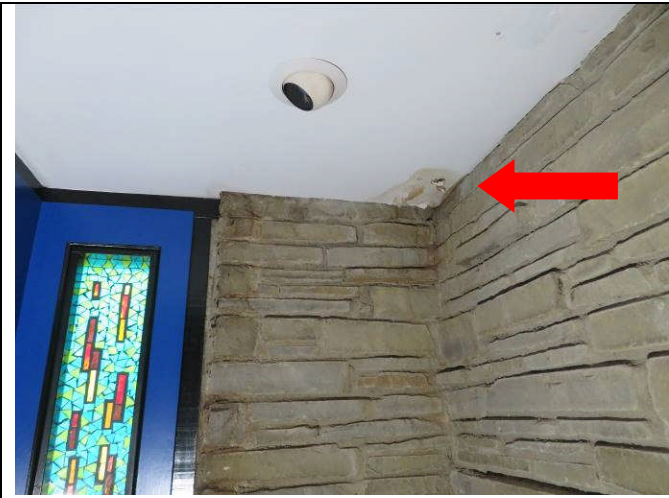
66. Water leaks at exterior wall - utility



67. Water leak at bathroom ext'r wall



68. Water damage at bathroom ext'r wall



69. Water leak at room next to chimney

70.



## PUBLIC HEARING INFORMATION

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During a public hearing, the board or commission may postpone or continue an application's hearing to a later date, or recommend approval or denial of the application. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

A board or commission's decision may be appealed by a person with standing to appeal, or an interested party that is identified as a person who can appeal the decision. The body holding a public hearing on an appeal will determine whether a person has standing to appeal the decision.

An interested party is defined as a person who is the applicant or record owner of the subject property, or who communicates an interest to a board or commission by:

- delivering a written statement to the board or commission before or during the public hearing that generally identifies the issues of concern (*it may be delivered to the contact person listed on a notice*); or
- appearing and speaking for the record at the public hearing; and
- occupies a primary residence that is within 500 feet of the subject property or proposed development;
- is the record owner of property within 500 feet of the subject property or proposed development; or
- is an officer of an environmental or neighborhood organization that has an interest in or whose declared boundaries are within 500 feet of the subject property or proposed development.

A notice of appeal must be filed with the director of the responsible department no later than 14 days after the decision. An appeal form may be available from the responsible department.

For additional information on the City of Austin's land development process, please visit our website: [www.austintexas.gov/abc](http://www.austintexas.gov/abc)

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**Case Number: PR-21-105009 - 2501 INWOOD PL**  
**Contact: Amber Allen, (512) 974-3393**  
**Public Hearing: Historic Landmark Commission, August 23, 2021**

☒ I am in favor  
☐ I object

Your Name (*please print*)

Your address(es) affected by this application

Signature

Date

Comments:

If you use this form to comment, it may be returned to:  
City of Austin Housing and Planning Department  
Historic Preservation Office, ATTN: Amber Allen  
P.O. Box 1088  
Austin, TX 78767-8810  
E-mail: [preservation@austintexas.gov](mailto:preservation@austintexas.gov)

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**Contact: Amber Allen, (512) 974-3393**  
**Public Hearing: Historic Landmark Commission, August 23, 2021**

☐ I am in favor  
☒ I object

Anthony C. Woodbury 2502 Quarry Rd  
Your Name (please print) Your address(es) affected by this application

Anthony C Woodbury 8/14/2021  
Signature Date

Comments: IT is a shame to demolish this beautiful mid-century modern house, which is also beautifully situated on its lovely sloping wooded lot. I oppose demolishing it - it is far better to preserve and if (absolutely necessary) add to this house. Demolition is also likely to despoil this lovely lot.

If you use this form to comment, it may be returned to:  
City of Austin Housing and Planning Department  
Historic Preservation Office, ATTN: Amber Allen  
P.O. Box 1088  
Austin, TX 78767-8810  
E-mail: [preservation@austintexas.gov](mailto:preservation@austintexas.gov)

City of Austin

AUG 18 2021

NHCD / AHFC



## PUBLIC HEARING INFORMATION

Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. However, if you do attend, you have the opportunity to speak FOR or AGAINST the proposed development or change. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

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Written comments must be submitted to the board or commission (or the contact person listed on the notice) before the public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, the Case Number and the contact person listed on the notice. Correspondence and information submitted to the City of Austin are subject to the Texas Public Information Act (Chapter 552) and may be published online.

**Case Number: PR-21-105009 - 2501 INWOOD PL**  
**Contact: Amber Allen, (512) 974-3393**  
**Public Hearing: Historic Landmark Commission, Sep. 27, 2021**

☐ I am in favor  
☒ I object

Judy Rock 2520 Quarry Rd 78703  
Your Name (please print) Your address(es) affected by this application (optional)

Judy Rock 9-22-2021  
Signature Date

Comments: If this property is demolished, just another structure will  
take its place. It needs to remain a historic landmark that reflects  
the history of the area and the city of Austin

If you use this form to comment, it may be returned to:

City of Austin Housing & Planning Department  
Historic Preservation Office, ATTN: Amber Allen  
P.O. Box 1088  
Austin, TX 78767  
Or e-mail to: [preservation@austintexas.gov](mailto:preservation@austintexas.gov)