





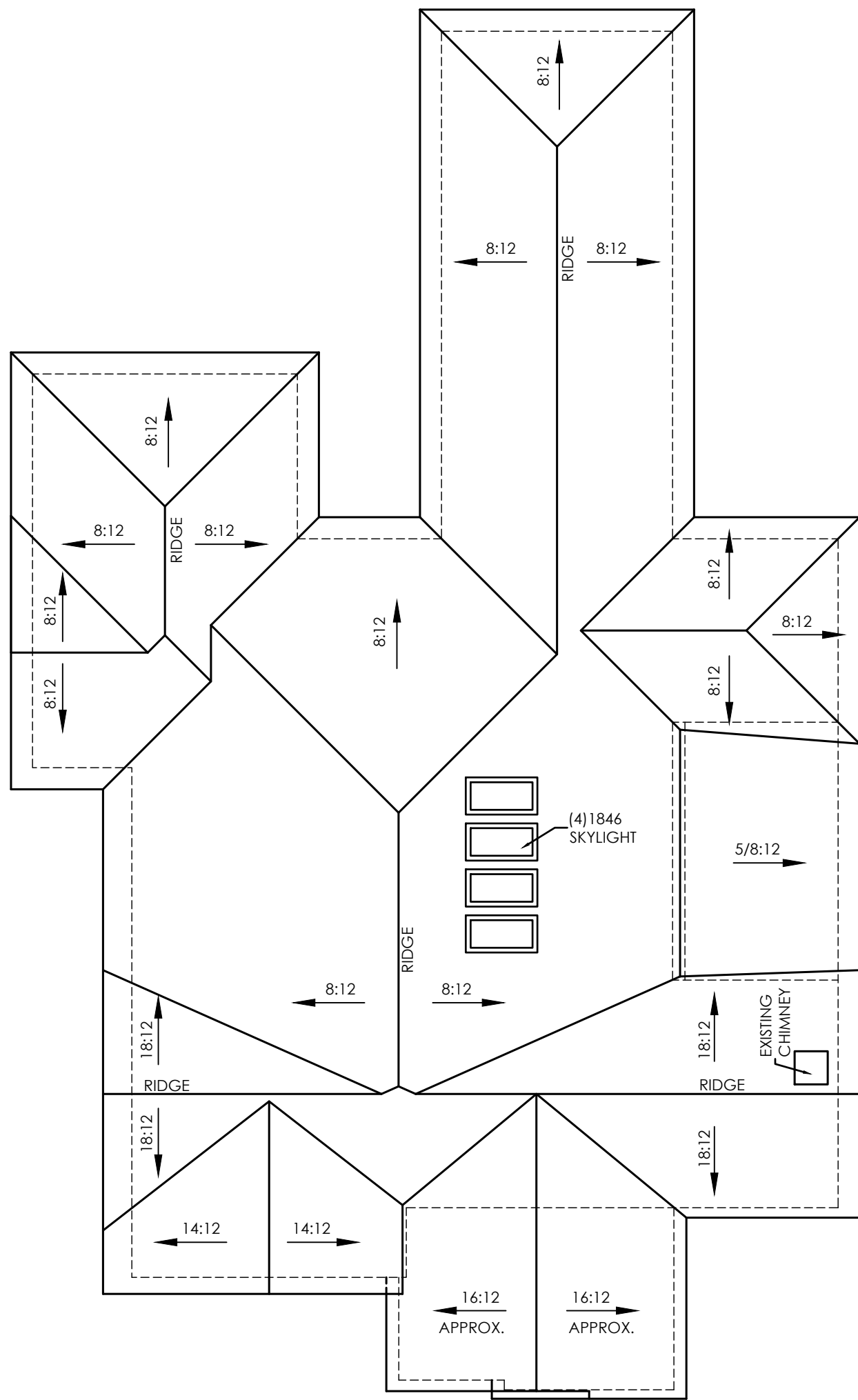




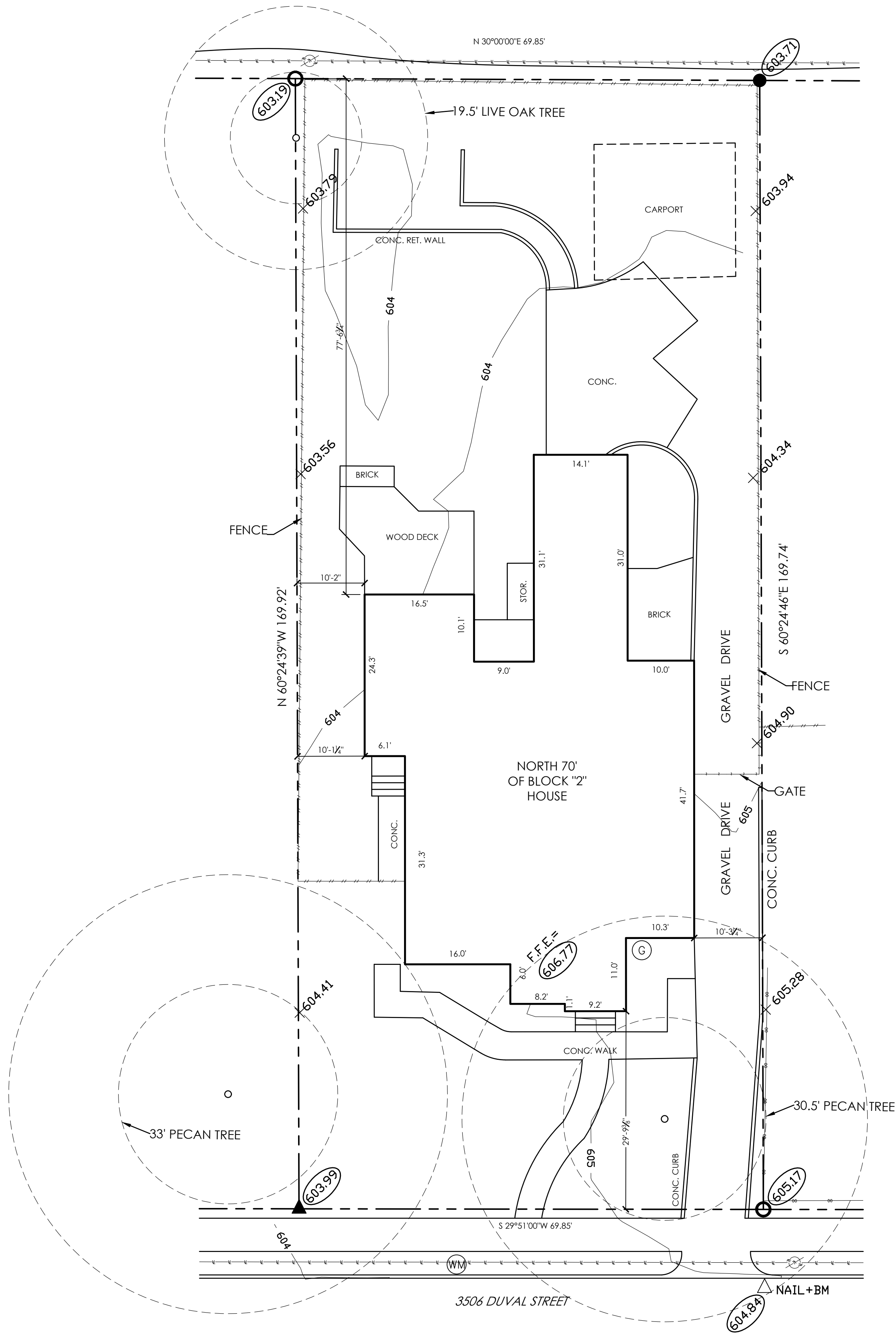








2 ROOF PLAN- EXISTING
SCALE: 1/8"=1'-0"



1 SITE PLAN-EXISTING
SCALE: 3/32"=1'-0"

GENERAL INFORMATION

LOCATION:
3506 DUVAL ST.
AUSTIN, TX 78705

OWNER: ANDY & CAROL LIU

LEGAL DESCRIPTION:
70X170FT LOT 2 WARD ADDN

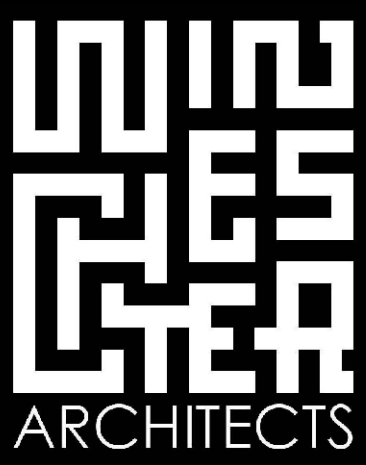
CONTRACTOR:
FORMBY CONSTRUCTION
(512)599-0281

DRAWING INDEX

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EX2	EXISTING EXTERIOR ELEVATIONS
EX3	EXISTING EXTERIOR ELEVATIONS
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A3	NEW 2ND FLOOR PLAN, & 2ND FLOOR DEMO'D PLAN
A4	NEW ELEVATIONS & NEW ROOF PLAN
A5	NEW ELEVATIONS
A6	NEW INTERIOR ELEVATIONS
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A8	MC. MANSION TENT
E1	NEW 1ST FLOOR ELECTRICAL PLAN
E2	NEW 2ND FLOOR & ADE ELECTRICAL PLAN

EXISTING AREAS

1ST FLOOR HEATED	2036	SF
2ND FLOOR HEATED	711	SF
(EXCLUDE 177 S.F. HABITABLE ATTIC)		
TOTAL HEATED	2745	SF
FRONT PORCH	177	SF
GARAGE	261	SF
SUN ROOM	156	SF
STORAGE	11	SF
1ST FLOOR UNDER ROOF	2641	SF
2ND FLOOR UNDER ROOF	888	SF
TOTAL UNDER ROOF	3529	SF



WINCHESTER ARCHITECTS
201A NORTH MAIN STREET, BRYAN, TEXAS 77803 - 979-823-4039

SITE PLAN, & ROOF PLAN

LIU RESIDENCE
WINCHESTER ARCHITECTS PROJECT NUMBER: 21002A
3506 DUVAL ST.
AUSTIN, TX 78705



08/12/2021

DRAWN SH.M.

CHECKED NW

DATE 08/12/2021

REVISIONS

SHEET

SP1

1 OF 1



1 FRONT (EAST) ELEVATION- EXISTING
SCALE: 1/4"=1'-0"



2 REAR (WEST) ELEVATION- EXISTING
SCALE: 1/4"=1'-0"



WINCHESTER ARCHITECTS
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2ND FLOOR PLAN- EXISTING

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AUSTIN, TX 78705



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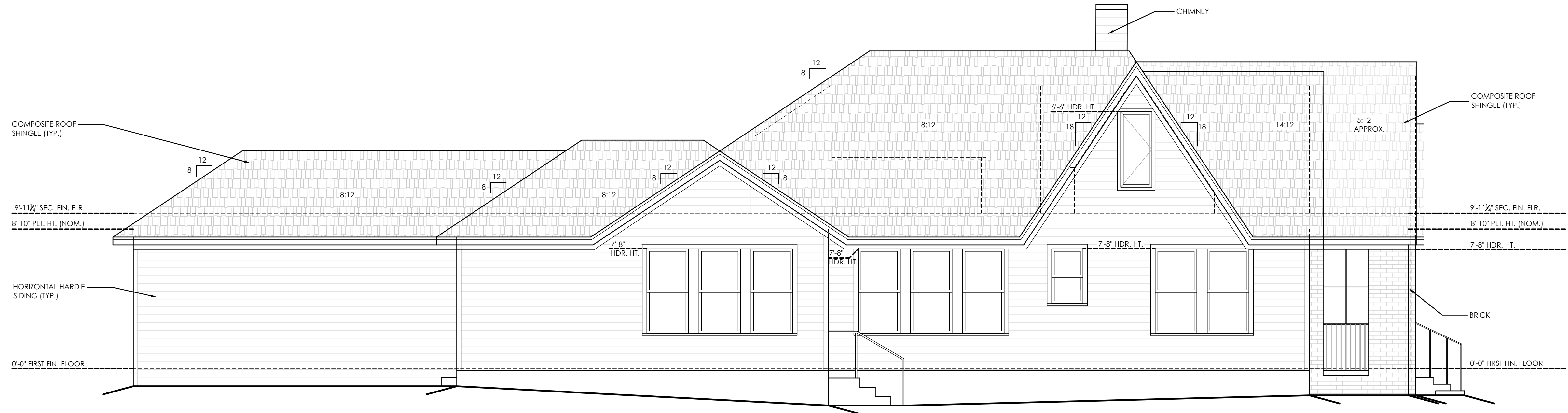
DATE 08/12/2021

REVISIONS

SHEET

EX2

2 OF 3



1 LEFT (SOUTH) ELEVATION- EXISTING
SCALE: 1/4"=1'-0"



2 RIGHT (NORTH) ELEVATION- EXISTING
SCALE: 1/4"=1'-0"



WINCHESTER ARCHITECTS

201A NORTH MAIN STREET, BRYAN, TEXAS 77803 - 979-823-4039

EXTERIOR ELEVATIONS- EXISTING

LIU RESIDENCE
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3506 DUVAL ST.
AUSTIN, TX 78705



08/12/2021

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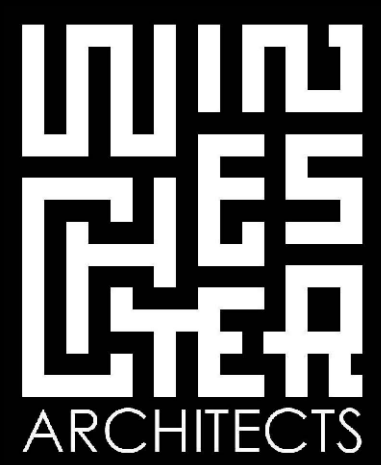
REVISIONS

SHEET

EX3

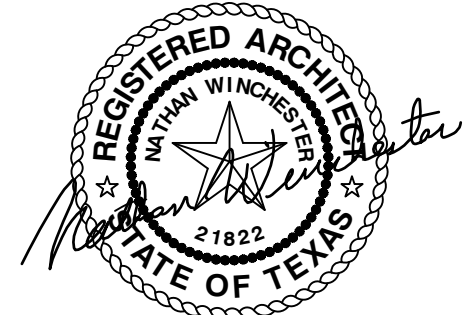
3 OF 3

- GENERAL NOTES:
- REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE ARCHITECT PRIOR TO ORDERING MATERIALS AND/OR COMMENCING CONSTRUCTION.
 - PROVIDE GUTTERS AT ALL HORIZONTAL ROOF EDGES. VERIFY LOCATION OF DOWN SPOUTS W/ OWNER AND CONTRACTOR AT SITE.
 - VERIFY ALL DIMENSIONS AT JOB SITE.
 - DO NOT SCALE DRAWINGS.
 - ALL STUDS ARE 16" O.C.
 - WINDOWS SIZES NOTED ARE NOMINAL UNIT SIZES. VERIFY ACTUAL ROUGH OPENING DIMENSIONS W/ MFR.
 - ALL STUDS ARE #2 SPF NOT TO EXCEED 19% MOISTURE CONTENT.
 - ALL DIMENSIONS SHOWN ARE FROM OUTSIDE OF STUD TO OUTSIDE OF STUD W/ BLOCKING @ MIDSPAN.
 - ALL HEADER SPACERS TO BE CONTINUOUS 7/16" OSB.
 - USE 7/16 OSB SHEATHING W/ HOUSE WRAP @ ALL EXTERIOR WALLS AS REQUIRED.
 - CEILING HEIGHTS ARE NOTED @ FLOOR PLANS & ELEVATIONS.
 - HEADER HEIGHTS ARE NOTED ON ELEVATIONS.
 - WHERE POSSIBLE, TERMINATE ANY AND ALL ROOF VENTS ON REAR ROOF PLANE OR SIDEWALLS AS REQUIRED.
 - PROVIDE SPRAY FOAM INSULATION AT ALL EXTERIOR WALLS & AT ROOF RAFTERS.
 - PROVIDE SOUND INSULATION @ ALL RESTROOMS, PLUMBING WALLS & BETWEEN FLOORS AS REQUIRED.
 - VERIFY ANY FINISH CHANGES W/ OWNER.
 - ALL FLOORING SHALL BE REPLACED.
 - PROVIDE DECKED AREA IN ATTIC. VERIFY SIZE AND LOCATION IN FIELD WITH OWNER.
 - VERIFY ALL RETURN AIR LOCATIONS IN FIELD PRIOR TO FRAMING.
 - DIMENSIONS GIVEN ARE BASED ON EXISTING CONDITIONS. VERIFY EXISTING CONDITION PRIOR TO ORDERING MATERIALS & COMMENCING CONSTRUCTION.
 - WATER HEATER TO BE LOCATED IN ATTIC INSTALLED OVER A PAN WITH A DRAIN TO EXTERIOR.
 - PROVIDE PAVERS FROM GARAGE TO HOUSE DECK.
 - RE-ROOF ENTIRE STRUCTURE.
 - REPLACE ALL EXISTING WINDOW.
 - REPLACE ALL INTERIOR DOORS.
 - PROVIDE WOOD CLAD ALUM. WINDOWS.
 - STAINED WOOD CABS EXPECT ISLAND & BAR.
 - ALL COUNTERS SHALL BE QUARTZ U.N.O. EXPECT BAR COUNTER (BAR COUNTER SHALL BE WOOD)
 - PROVIDE SEPARATE WATER, ELECTRICITY, & GAS METER FOR A.D.U.
 - REPLACE ALL EXISTING SIDING EXCEPT EXISTING FRONT BRICK.



WINCHESTER ARCHITECTS
201A NORTH MAIN STREET, BRYAN, TEXAS 77803 - 979-823-4039

NEW SITE PLAN, ENVIR. DETAIL, & AREA CAL.
LIU RESIDENCE
WINCHESTER ARCHITECTS PROJECT NUMBER: 21002A
3506 DUVAL ST.
AUSTIN, TX 78705



DRAWN	SH.M
CHECKED	NW
DATE	08/12/2021

REVISIONS

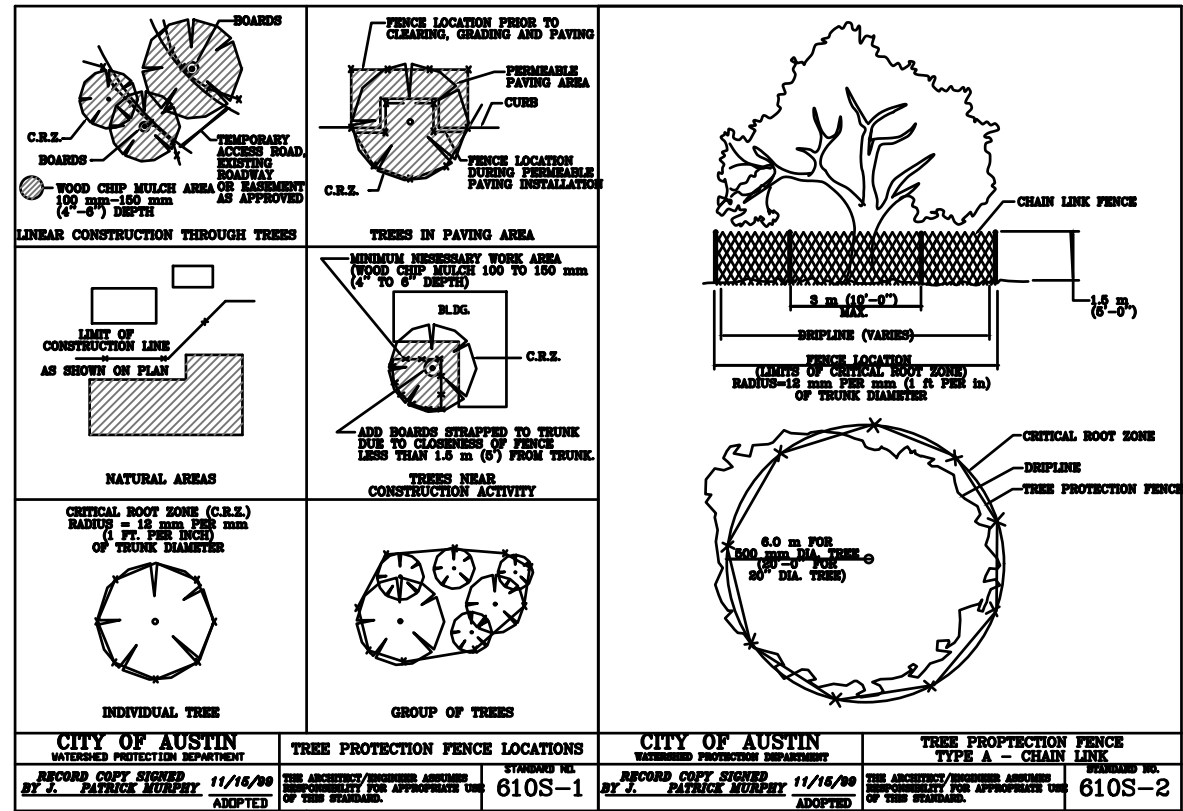
SHEET
A1
1 OF 8

AREA DESCRIPTION		EXISTING	DEMO'D	NEW/ADD	TOTAL
FIRST FLOOR CONDITIONED AREA					
SECOND FLOOR CONDITIONED AREA	2036 S.F.	1473 S.F.	2154 S.F.	2717 S.F.	
(EXCLUDE 177 S.F. HABITABLE ATTIC)	711 S.F.	711 S.F.	913 S.F.	913 S.F.	
A.D.U FLOOR CONDITIONED AREA	-	-	550 S.F.	550 S.F.	
BASEMENT	-	-	-	-	
COVERED PARKING (GARAGE)	261 S.F.	261 S.F.	721 S.F.	721 S.F.	
COVERED PATIO	-	-	-	-	
COVERED PORCH	177 S.F.	-	374 S.F.	551 S.F.	
COVERED WALKWAY	-	-	-	-	
BALCONY	-	-	-	-	
OTHER (DETACHED SHED)	-	-	-	-	
TOTAL BUILDING COVERAGE					
	2474 S.F.	1734 S.F.	3249 S.F.	3989 S.F.	
DRIVEWAY					
SIDE WALKS/ STEPS	2437 S.F.	2437 S.F.	655 S.F.	655 S.F.	
UNCOVERED PART OF STAIRCASE	364 S.F.	127 S.F.	-	237 S.F.	
UNCOVERED WOOD DECK (AT 50%)	-	-	39 S.F.	39 S.F.	
AC PADS	9 S.F.	9 S.F.	27 S.F.	27 S.F.	
OTHER (POOL COPING, RET. WALLS)	41 S.F.	41 S.F.	-	-	
TOTAL SITE COVERAGE					
	2851 S.F.	2614 S.F.	721 S.F.	958 S.F.	
POOL	-	-	-	-	
SPA	-	-	-	-	
TOTAL LOT AREA					
	11863 S.F.				
<u>BUILDING COVERAGE INFORMATION</u>					
EXISTING BUILDING COVERAGE					
	2474 S.F.		% OF LOT SIZE		%
PROPOSED BUILDING COVERAGE					
	3989 S.F.		33.6 % OF LOT SIZE		%
<u>IMPERVIOUS COVERAGE INFORMATION</u>					
MAX IMPERVIOUS COVERAGE					
	5338 S.F.				
EXISTING IMPERVIOUS COVER					
	5325 S.F.		44.8 % OF LOT SIZE		-%
PROPOSED IMPERVIOUS COVER					
	4947 S.F.		41.7 % OF LOT SIZE		%
IMPERVIOUS FRONT YARD COVER					
	415 S.F.		23.7 % OF REQ'D FRONT YARD		%
<u>GROSS FLOOR AREA</u>					
EXISTING					
FIRST FLOOR	2036 S.F.	1473 S.F.	2154 S.F.	-	2717 S.F.
SECOND FLOOR	711 S.F.	711 S.F.	913 S.F.	-	913 S.F.
(EXCLUDE 177 S.F. HABITABLE ATTIC)					
THIRD FLOOR	-	-	-	-	-
BASEMENT	-	-	-	-	-
ATTIC	-	-	-	-	-
GARAGE (ATTACHED)	261 S.F.	261 S.F.	-	-	-
(DETACHED)	-	-	-	-200 S.F.	721 S.F.
CARPORT (ATTACHED)	-	-	-	-	-
(DETACHED)	-	-	-	-	-
ACCESSORY BUILDING(S) (ATTACHED)					
(DETACHED)	-	-	-	-	550 S.F.
CEILING ABOVE 15 FEET					
	-	-	-	-	-
<u>TOTAL GROSS FLOOR AREA</u>					
					4701 S.F.
(TOTAL GROSS FLOOR AREA/LOT SIZE) X 100 = F.A.R.					
					39.6 %

3 AREA CALCULATION

2 ENVIRONMENTAL DETAIL

SCALE: N.T.S.

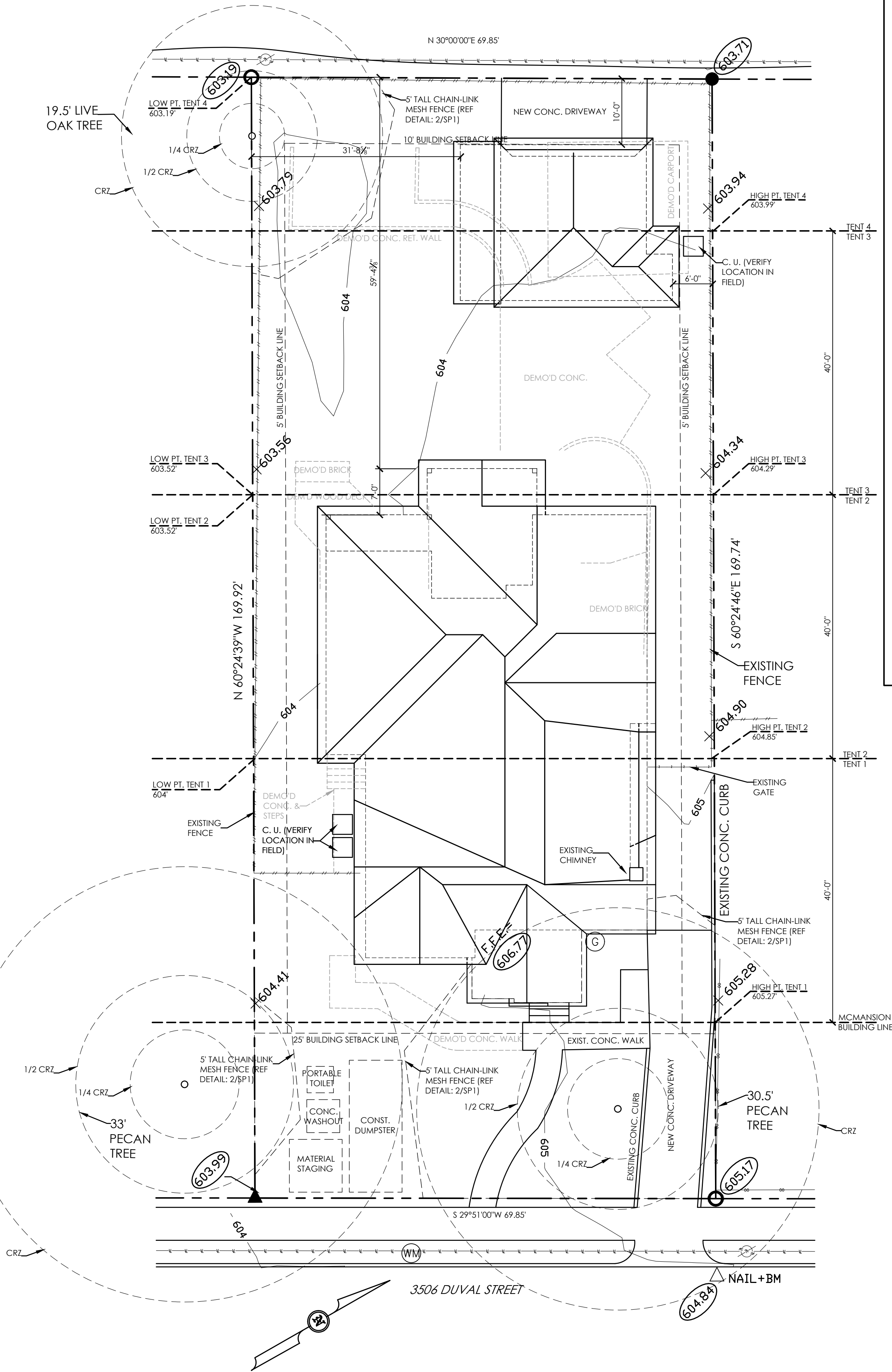


NOTE:
DEMOLITION IN THE 1/4 AND 1/2 CRITICAL ROOT ZONES OF PROTECTED TREES MUST BE DONE WITH HAND TOOLS.

NOTE:
CONCRETE LINE PUMP: WRAP CONNECTIONS OF CONCRETE LINE PUMP W/PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS AND TREES.

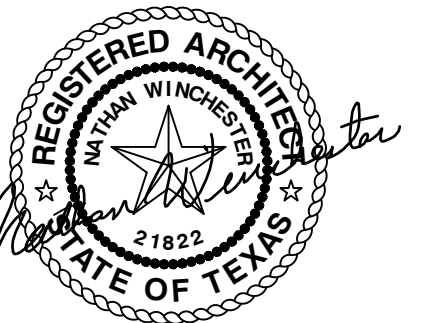
- TREE PROTECTION NOTES:
- SEE DETAILS ON SHEET A1 FOR TREE PROTECTION DETAILS.
 - TREE PROTECTION IS REQUIRED ON ALL TREES THAT HAVE ANY ROOT DISTURBANCE (INCLUDING FOOT TRAFFIC) AS INDICATED ON PLANS. IF IT IS NOT PRACTICAL TO FENCE THE ENTIRE ROOT ZONE, AN 8" LAYER OF MULCH IS REQUIRED AND THE TRUNK MUST BE PROTECTED WITH PLANKS STRAPPED TO TRUNK AS INDICATED ON SHEET SP-2.
 - ANY AREAS TO BE TRENCHED THAT ARE INSIDE C.R.Z. MUST BE AIR SPADED BY A CERTIFIED ARBORIST FOR THE TOP 30" TO AVOID CUTTING ROOTS 1.5" + IN DIAMETER. PAID RECEIPT OF WORK WILL BE REQUIRED BY TREE INSPECTOR.
 - NO TRENCHING IN CRITICAL ROOT ZONE.

NOTE:
THE PROPOSED STRUCTURE DOES NOT ENCR OACH ON ANY TREES ON THIS OR ANY ADJACENT LOTS OTHER THAN AS SHOWN.



1 NEW SITE PLAN

SCALE: 3/32"=1'-0"



12/2021

RAWN SH.M

CHECKED	NW
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DATE	08/12/2021
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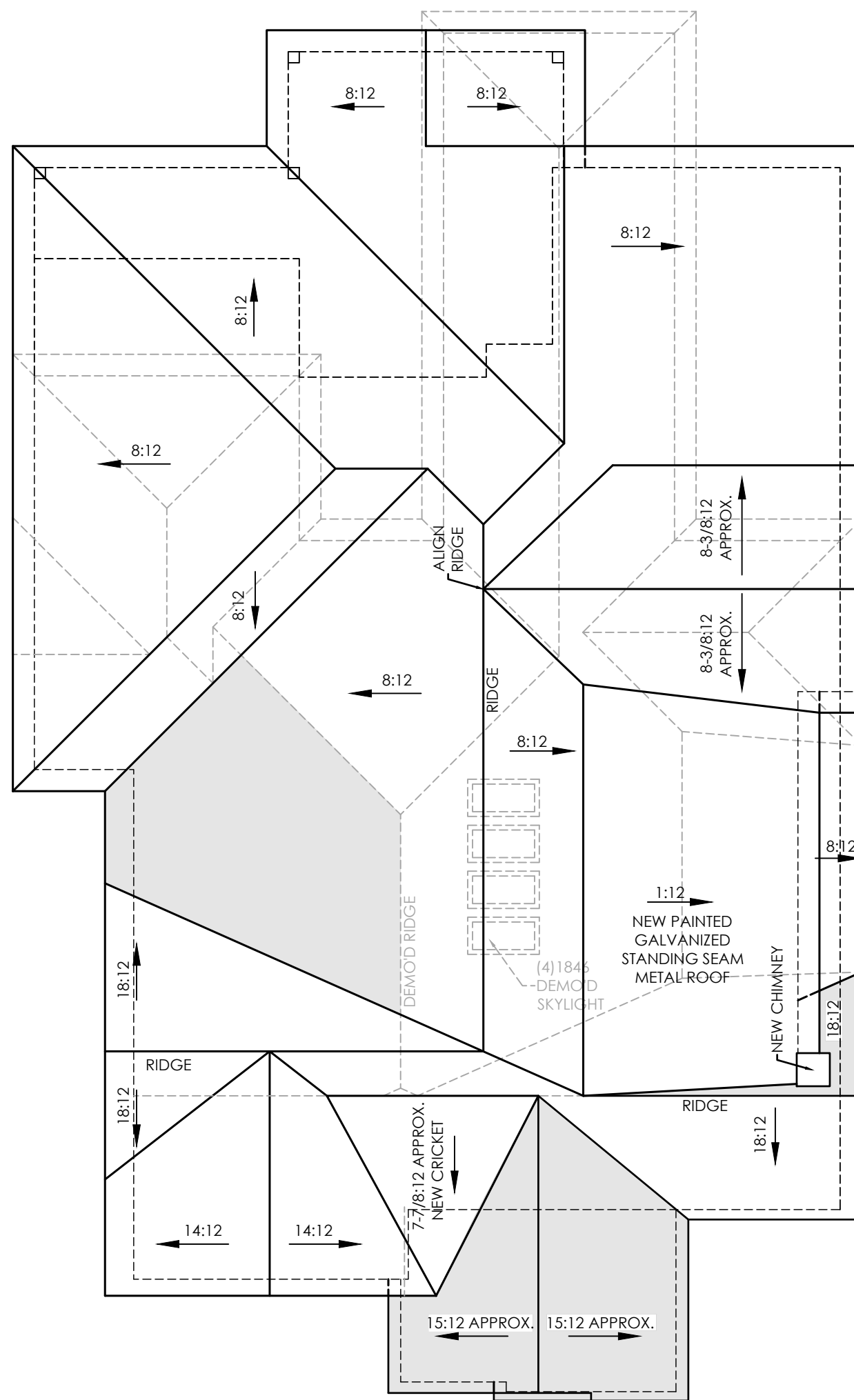
REVISIONS

ANSET

▲ ▲

A4

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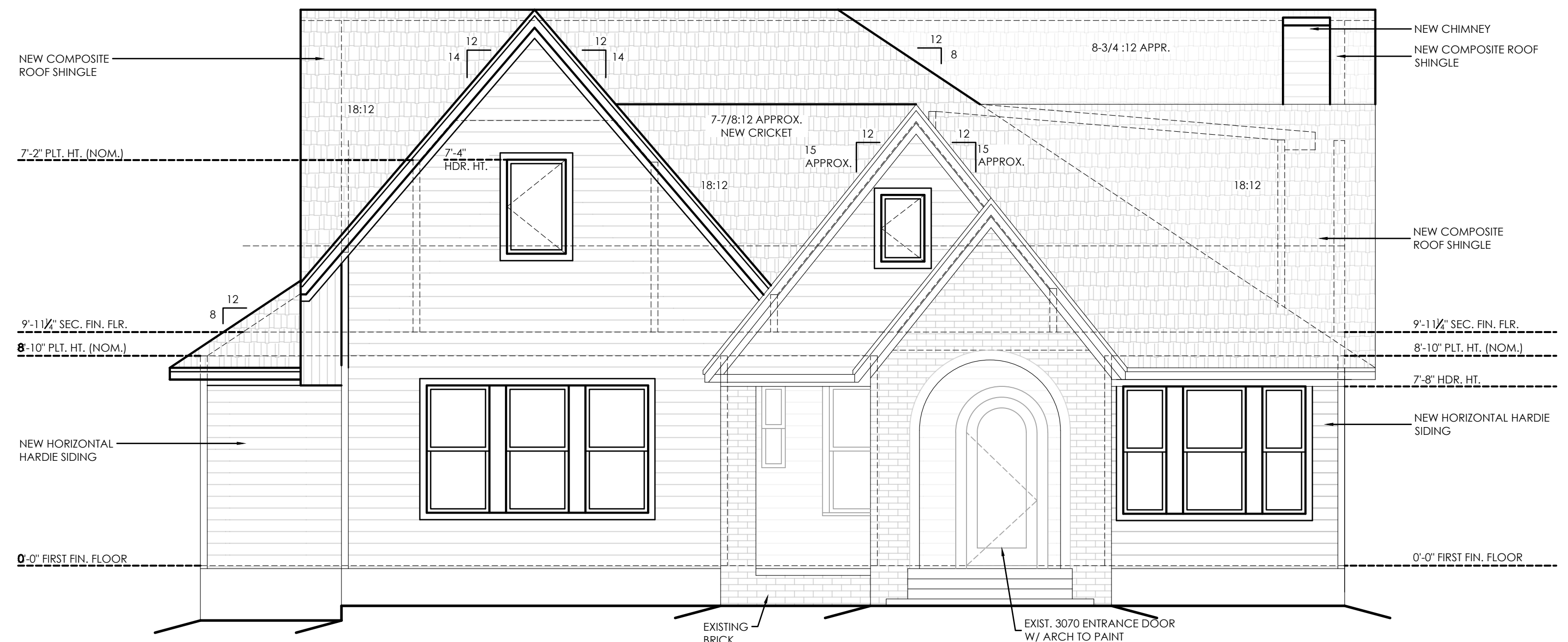


3 NEW ROOF PLAN

SCALE: 1/8"=1'-0"

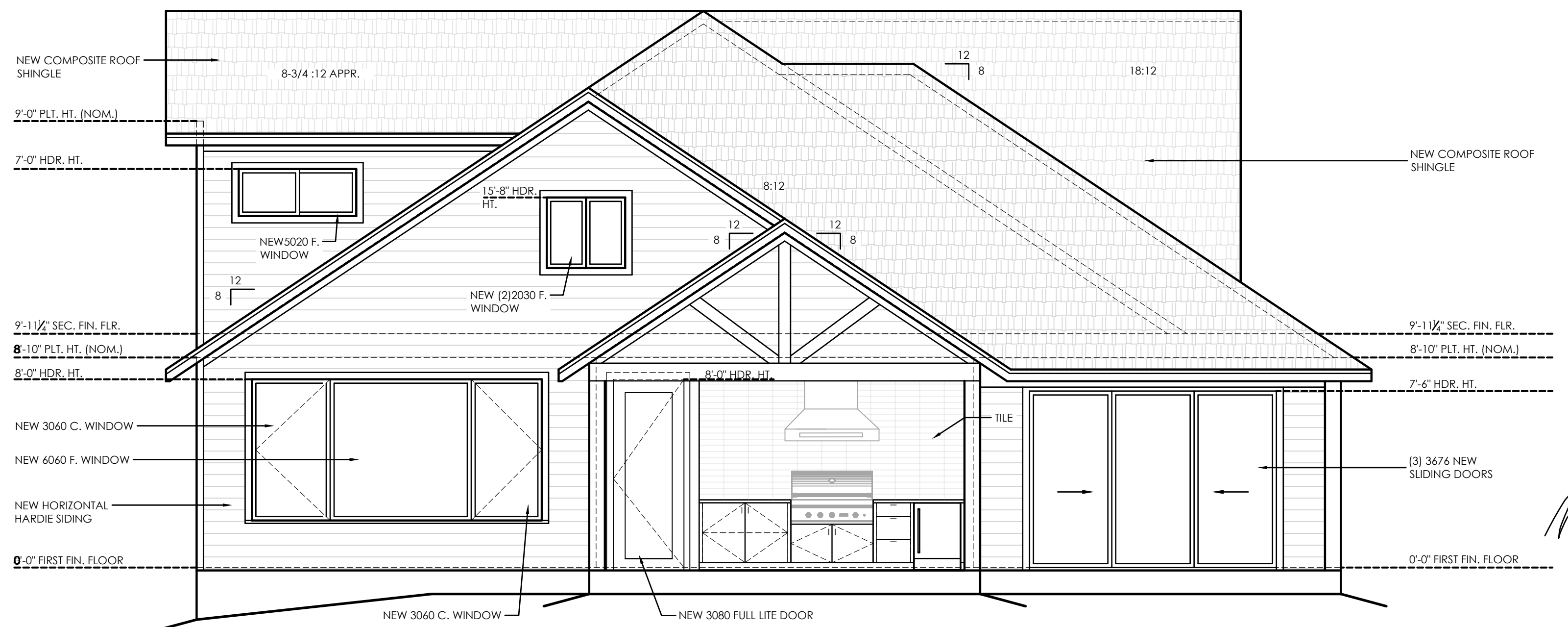
ROOF LEGEND:

- EXISTING TO BE REMAIN ☒
- NEW ROOF ☐
- EXISTING ROOF TO BE REMOVED ---



1 FRONT (EAST) ELEVATION- NEW
SCALE: 3/16"=1'-0"

SCALE: 3/16"=1'-0"

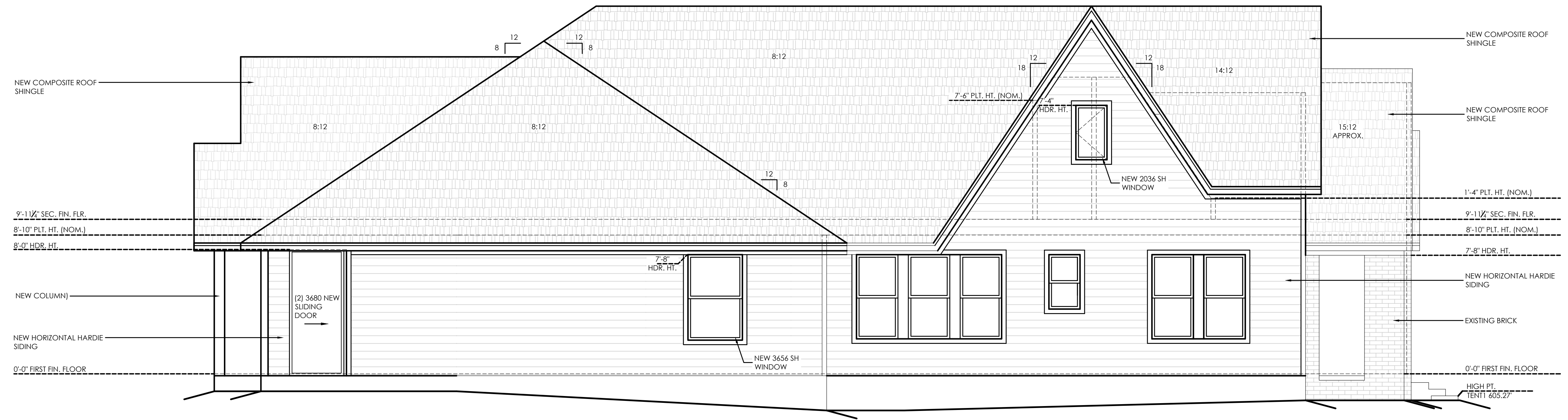


2 REAR (WEST) ELEVATION- NEW

SCALE: 1/4"=1'-0"

ELEVATION LEGEND:

- EXISTING TO BE REMAIN
- NEW



This architectural elevation drawing illustrates the proposed exterior of a building, detailing roof, siding, and window modifications. The drawing includes the following elements and annotations:

- Roof:** The roof is shown with a gabled section on the left and a hipped section on the right. Annotations include "NEW PAINTED GALVANIZED STANDING SEAM METAL ROOF", "NEW COMPOSITE ROOF SHINGLE", and various pitch notations (14:12, 8:12, 12, 8-3/8, 12, 8, 15:12 APPROX., 8:12). Ridge heights are specified as "9'-0\" PLT. HT. (NOM.)", "8'-0\" PLT. HT. (NOM.)", and "7'-0\" HDR. HT.".
- Windows:** The facade features several windows:
 - Three small, square, double-hung windows in the upper left section, labeled "NEW (3) 3040 C. WINDOW".
 - A larger, double-hung window in the upper right section, labeled "NEW (2) 3040 C. WINDOW".
 - A double-hung window in the lower left section, labeled "NEW (2) 3056 SH WINDOW".
 - A double-hung window in the lower right section, labeled "NEW 3056 SH WINDOW".
- Siding and Exterior Features:**
 - "NEW COMPOSITE ROOF SHINGLE" is indicated for the upper roof sections.
 - "EXISTING BRICK" is shown on the lower left portion of the facade.
 - "NEW HORIZONTAL HARDIE SIDING" is proposed for the lower right portion of the facade.
 - A "NEW CHIMNEY" is located on the upper left roofline.
 - A "NEW COLUMN" is shown supporting the lower right portion of the structure.
- Floors and Levels:** Horizontal dashed lines indicate the "9'-1 1/2\" SEC. FIN. FLR.", "8'-10\" PLT. HT. (NOM.)", "7'-8\" HDR. HT.", and "0'-0\" FIRST FIN. FLOOR".

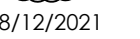
ELEVATION LEGEND:

- EXISTING TO BE REMAIN

- NEW



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REVISIONS	

A7

3

