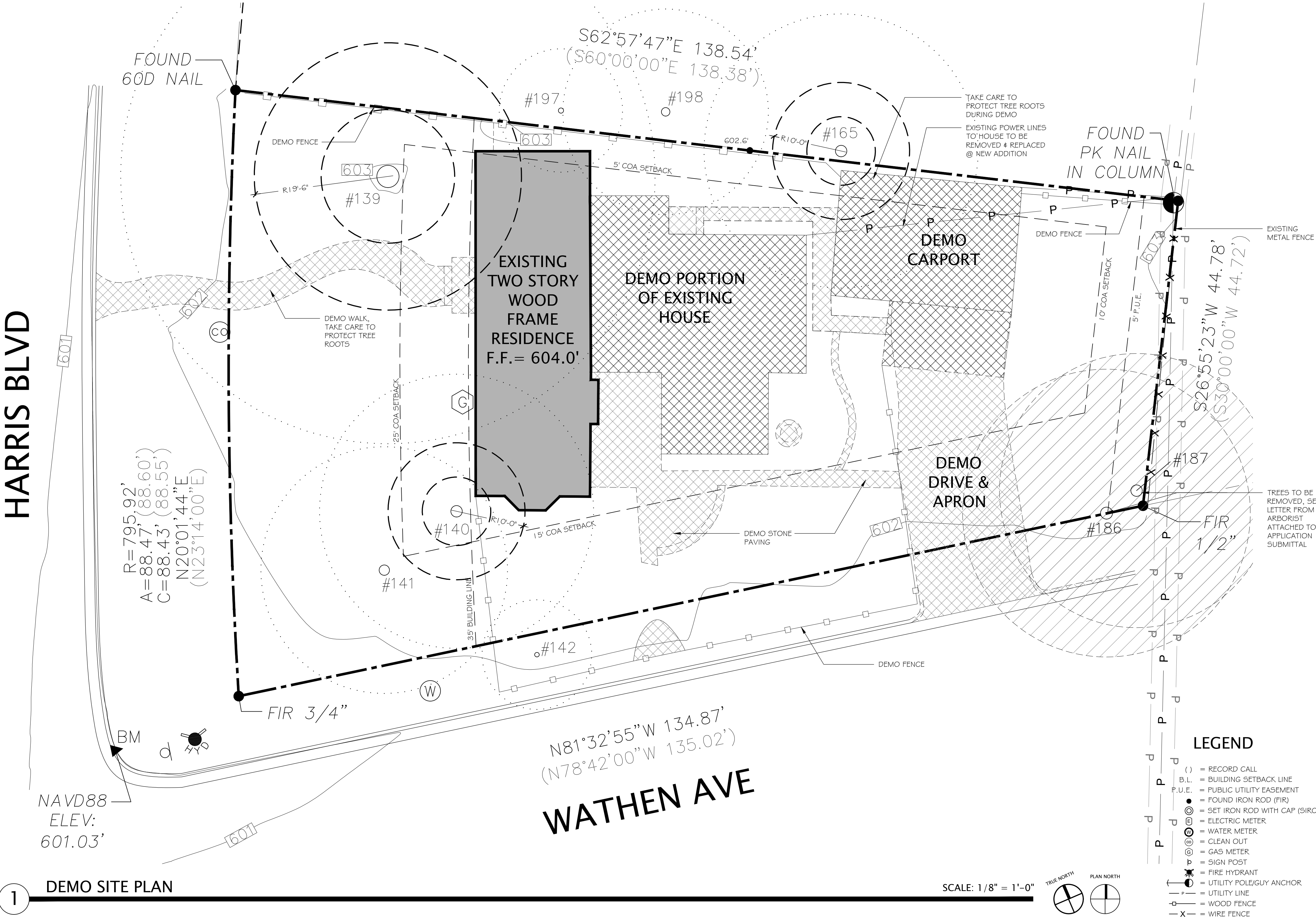
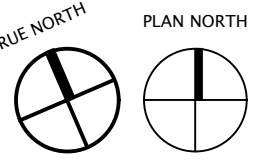


HARRIS BLVD



1 DEMO SITE PLAN

SCALE: 1/8" = 1'-0"



- LEGEND**
- () = RECORD CALL
 - B.L. = BUILDING SETBACK LINE
 - P.U.E. = PUBLIC UTILITY EASEMENT
 - = FOUND IRON ROD (FIR)
 - ⊙ = SET IRON ROD WITH CAP (SIRC)
 - ⊕ = ELECTRIC METER
 - ⊗ = WATER METER
 - ⊖ = CLEAN OUT
 - ⊙ = GAS METER
 - ⊕ = SIGN POST
 - ⊗ = FIRE HYDRANT
 - ⊕ = UTILITY POLE/GUY ANCHOR
 - = UTILITY LINE
 - = WOOD FENCE
 - X— = WIRE FENCE
 - [Hatched Box] = TO BE DEMOLISHED STRUCTURE
 - [Cross-hatched Box] = TO BE DEMOLISHED FLATWORK/PAVING

LEGAL DESCRIPTION

LOT 9, BLOCK 11, IN SECTION 2, PEMBERTON HEIGHTS, SECTIONS 2 AND 3, AN ADDITION TO THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGE 223, PLAT RECORDS OF TRAVIS COUNTY, TEXAS

ZONING

SF-3

LOT SIZE

9,016 SF

TREE SCHEDULE

TREE #	SIZE/TYPE
#139	39" LIVE OAK
#140	20" ELM
#141	18" ELM
#142	8" SPANISH OAK
#165	20" ELM
#186	21" ELM REMOVE
#187	20" ELM REMOVE
#197	9" ELM
#198	15" ELM

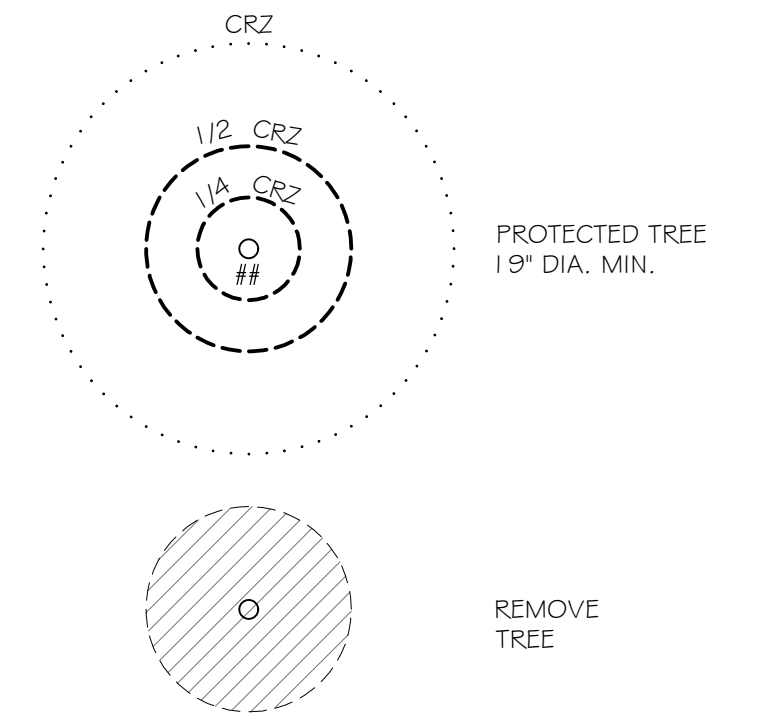
PROTECTED TREE NOTES:

- CRITICAL ROOT ZONE (CRZ) : ONE FOOT RADIUS PER ONE INCH OF TRUNK DIAMETER.
- ALL TREES & NATURAL AREAS SHOWN ON PLAN TO BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING. FENCING SHALL BE ERCTED ACCORDING TO CITY OF AUSTIN STANDARDS OF TREE PROTECTION.
- CONTRACTOR RESPONSIBLE FOR PERMIT APPROVAL FOR REMOVAL OF TREES WITH A DIAMETER OF 19" OR MORE.
- ALL EXCAVATION UNDER TREE DRIP LINE TO BE DONE BY HAND. CUT NO ROOTS WITHOUT ARBORIST CONSULTATION.
- ALL NECESSARY PRUNING BY CERTIFIED ARBORIST.
- 2X4 PLANKS REQUIRED AT TRUNKS WHERE 1/2 CRZ IS NOT FENCED COMPLETELY.
- PROVIDE 8" OF MULCH AT EXPOSED CRZ
- TRENCHING WITHIN 1/2 CRZ TO BE AVOIDED. IF REQ'D, CERTIFIED ARBORIST TO AIRSPADE FOR TOP 30" TO AVOID CUTTING ROOTS 1 1/2" OR GREATER.

SITE PLAN NOTES:

- PERFORM ALL WORK IN ACCORDANCE WITH THE CITY OF AUSTIN CODES, REGULATIONS & ORDINANCES.
- SITE PLAN IS DRAWN FROM INFORMATION ON SURVEY PROVIDED BY OWNER.
- CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
- CIVIL ENGINEERING BY OTHERS.
- TAKE PRECAUTIONS TO MAINTAIN ALL EXISTING UTILITY SERVICES.
- TAKE MEASURES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- LANDSCAPING BY OTHERS (N.I.C.)
- PROVIDE PVC PIPE SLEEVES BENEATH ALL PAVED SURFACES TO ACCOMMODATE LANDSCAPE LIGHTING, IRRIGATION & DRAINAGE.

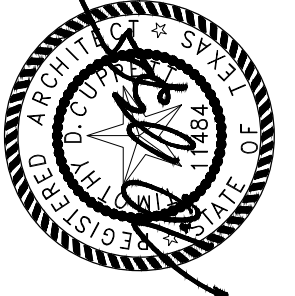
TREE LEGEND



DEMO SITE PLAN

RENOVATION / ADDITION FOR
STEPHANIE O'ROURKE &
MATT WARBURTON
25115 HARRIS BLVD.
AUSTIN, TX

ISSUE
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09.07.21



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A.100



-  = EXISTING
 = NEW CONSTRUCTION
 = BRICK PAVERS OR CONC

- () = RECORD CALL
- = BUILDING SETBACK LINE
- E. = PUBLIC UTILITY EASEMENT
- = FOUND IRON ROD (FIR)
- ⊙ = SET IRON ROD WITH CAP (SIRC)
- ⊖ = ELECTRIC METER
- Ⓜ = WATER METER
- Ⓢ = CLEAN OUT
- ⓖ = GAS METER
- Ⓟ = SIGN POST
- ⚡ = FIRE HYDRANT
- = UTILITY POLE/GUY ANCHOR
- = UTILITY LINE
- = WOOD FENCE
- = WIRE FENCE

SITE PLAN

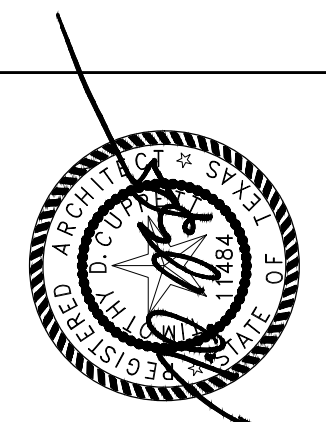
RENOVATION / ADDITION FOR
STEPHANIE O'ROURKE &
MATT WARBURTON
2515 HARRIS BLVD,
AUSTIN, TX

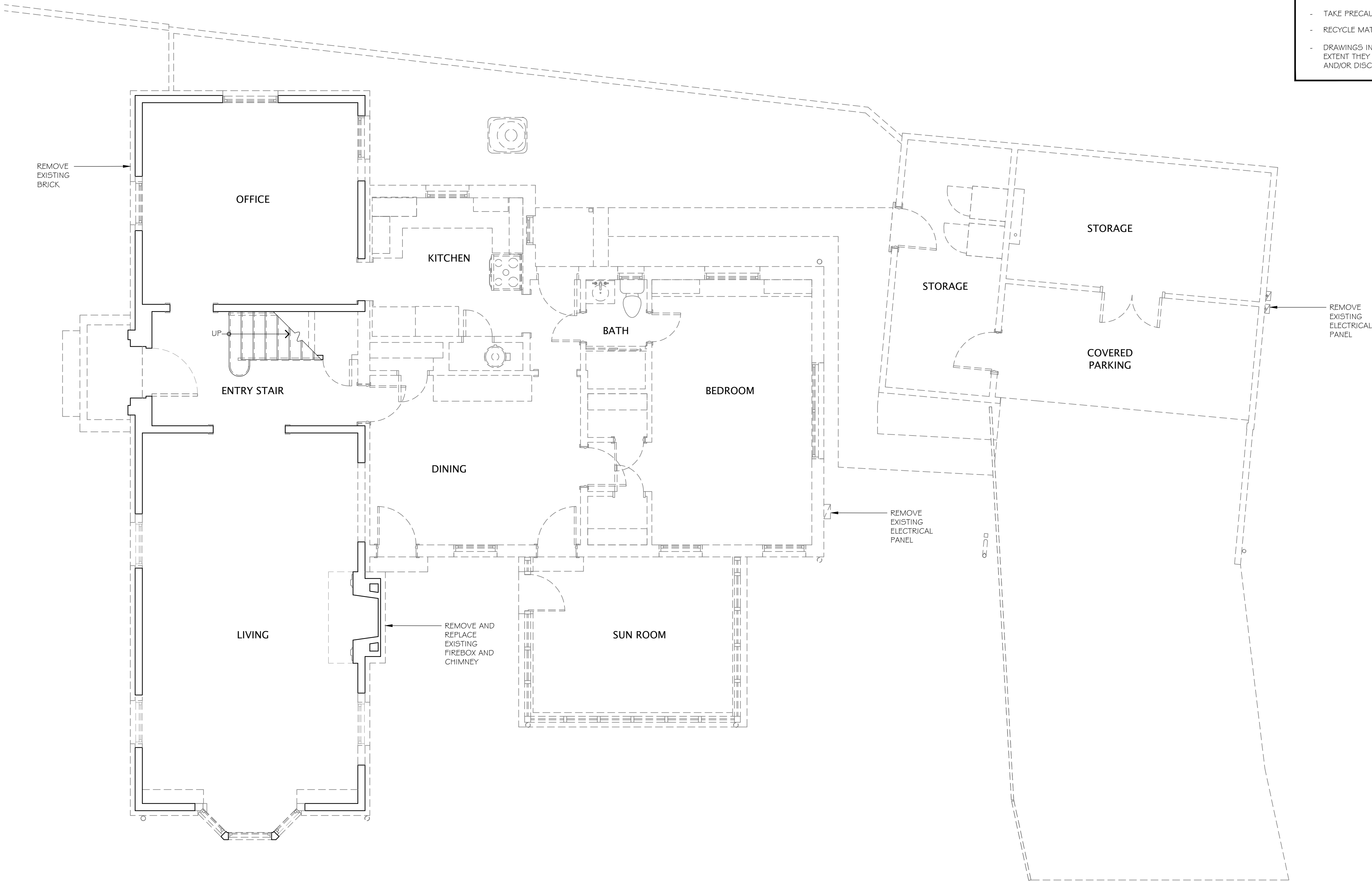
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A.101

SITE PLAN

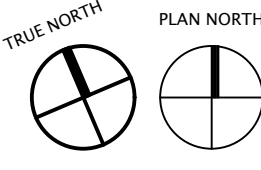
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1 FIRST FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"



DEMO PLAN KEY:

TO BE DEMOLISHED

EXISTING WALL TO REMAIN

DEMOLITION NOTES:

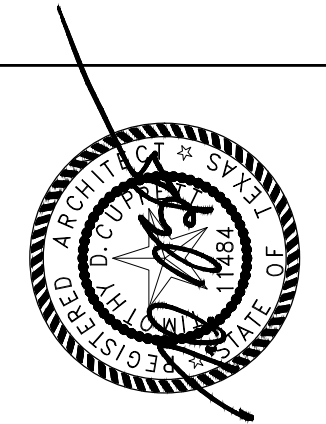
- TAKE PRECAUTION TO PROTECT EXISTING STRUCTURE. TEMP. SHORING AS REQ'D BY OTHERS.
- TAKE PRECAUTION TO MAINTAIN UTILITIES.
- RECYCLE MATERIAL WHERE POSSIBLE.
- DRAWINGS INDICATE EXISTING CONDITIONS TO THE EXTENT THEY ARE VISIBLE. REPORT DISCREPANCIES AND/OR DISCOVERIES TO ARCHITECT.

DEMO FLOOR PLAN

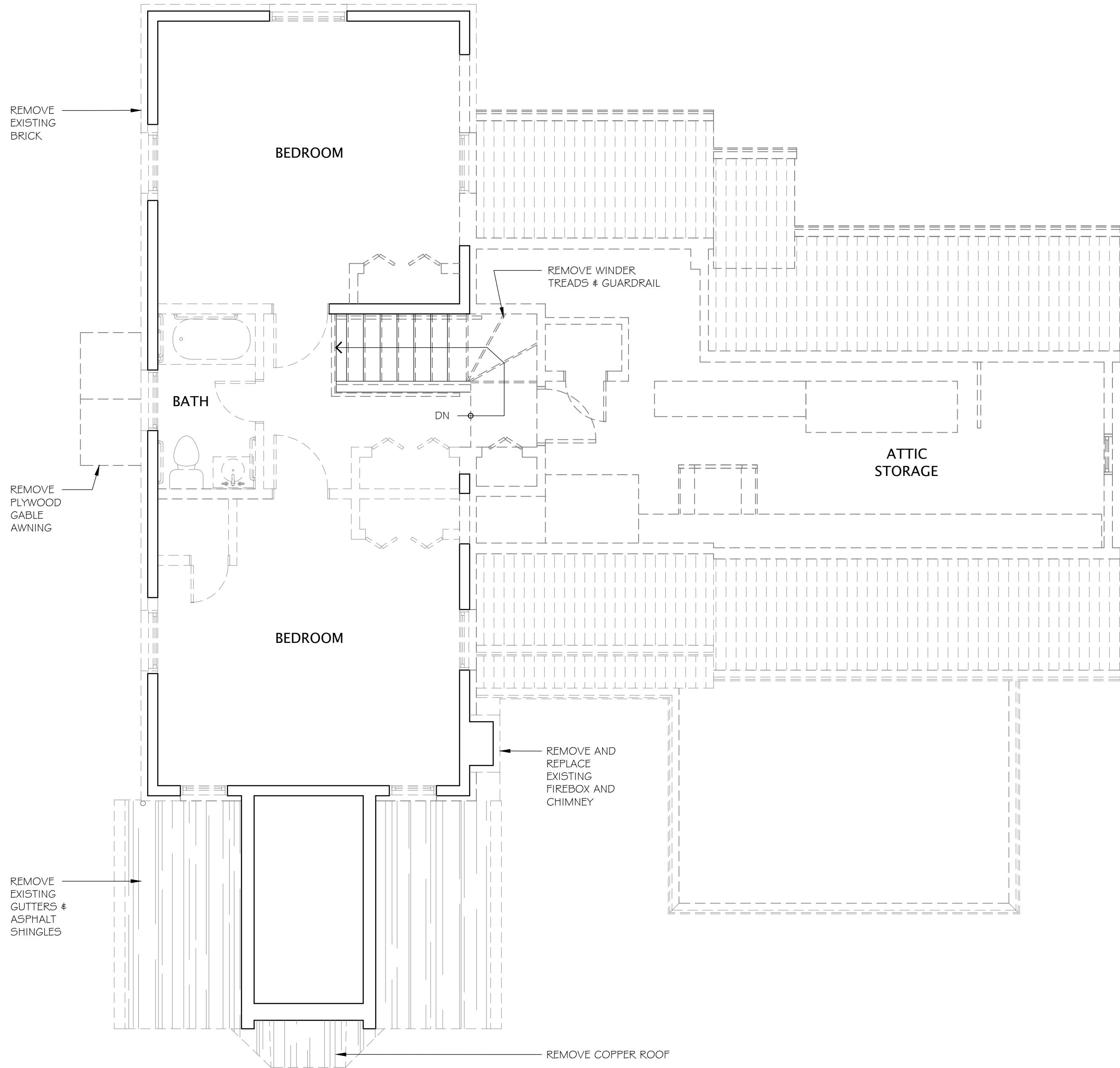
A.200

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RENOVATION / ADDITION FOR
STEPHANIE OROURKE &
MATT WARBURTON
25115 HARRIS BLVD.
AUSTIN, TX



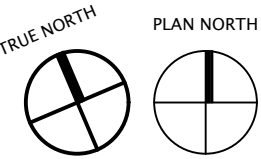
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1

SECOND FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"



DEMO PLAN KEY:

TO BE DEMOLISHED

EXISTING WALL TO REMAIN

DEMOLITION NOTES:

-

TAKE PRECAUTION TO PROTECT EXISTING STRUCTURE. TEMP. SHORING AS REQ'D BY OTHERS.

-

TAKE PRECAUTION TO MAINTAIN UTILITIES.

-

-

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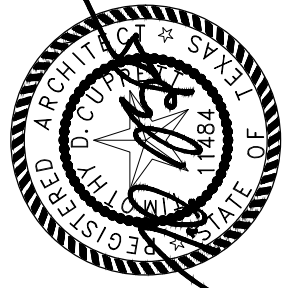
DEMO FLOOR PLAN

A.201

ISSUE
PERMIT

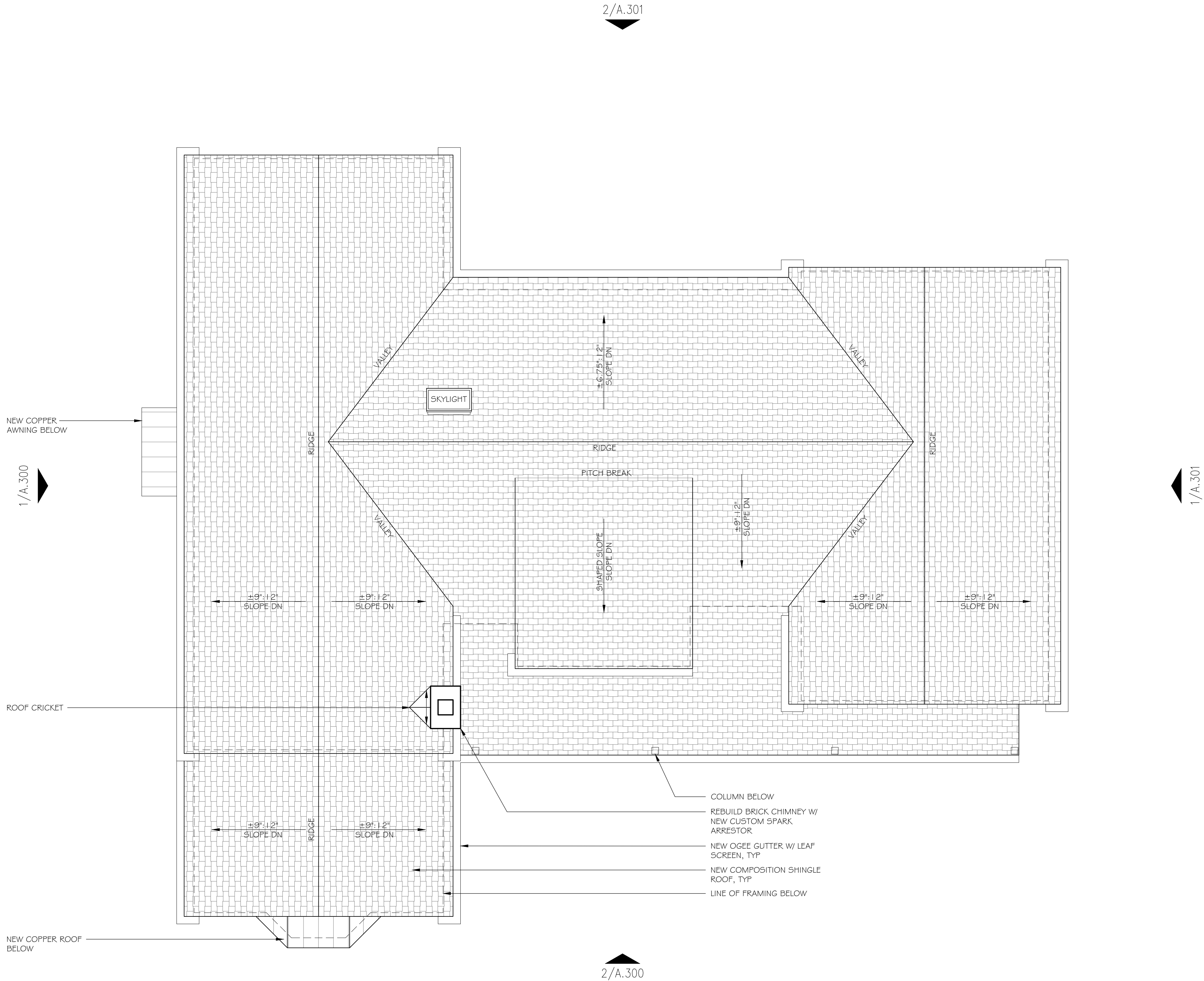
09.07.21

RENOVATION / ADDITION FOR
STEPHANIE OROURKE &
MATT WARBURTON
25115 HARRIS BLVD,
AUSTIN, TX



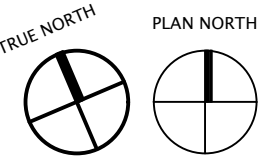
09/07/21

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1 ROOF PLAN

SCALE: 1/4" = 1'-0"

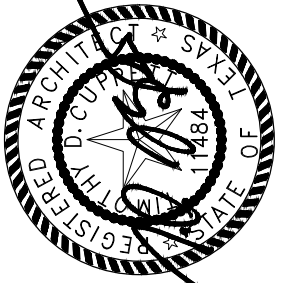


ROOF PLAN NOTES:

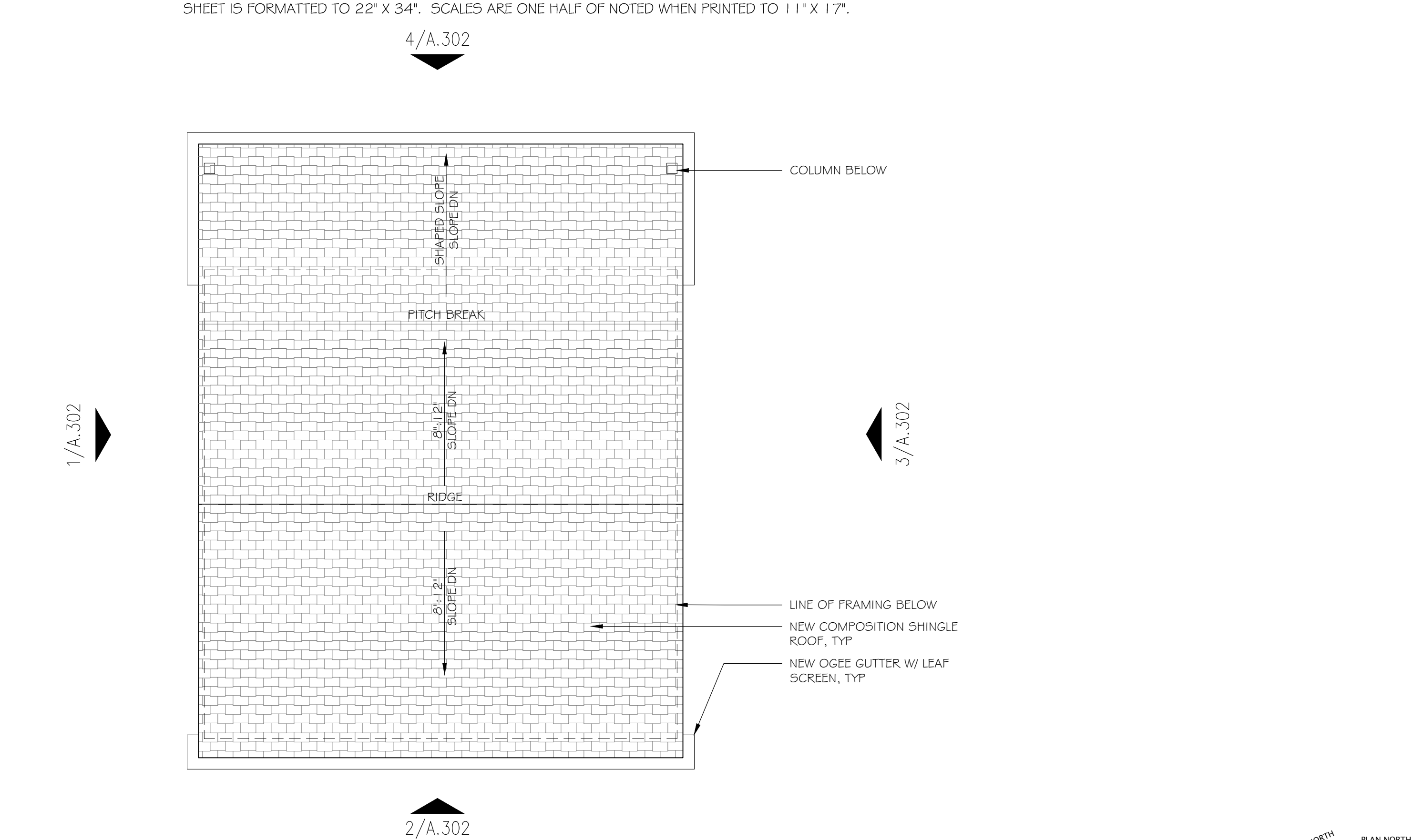
- PROVIDE & INSTALL COMPLETE ROOF SYSTEM WITH ALL FLASHING & MISC TRIM AS REQUIRED.
- ROOF PENETRATIONS TO BE GROUPED AND ORGANIZED. COORDINATE ALL ROOF PENETRATIONS WITH ARCHITECT PRIOR TO INSTALL.
- ROOF PENETRATIONS SHALL BE INSTALLED PLUMB AND FINISHED TO MATCH ROOF.

ROOF SPEC:

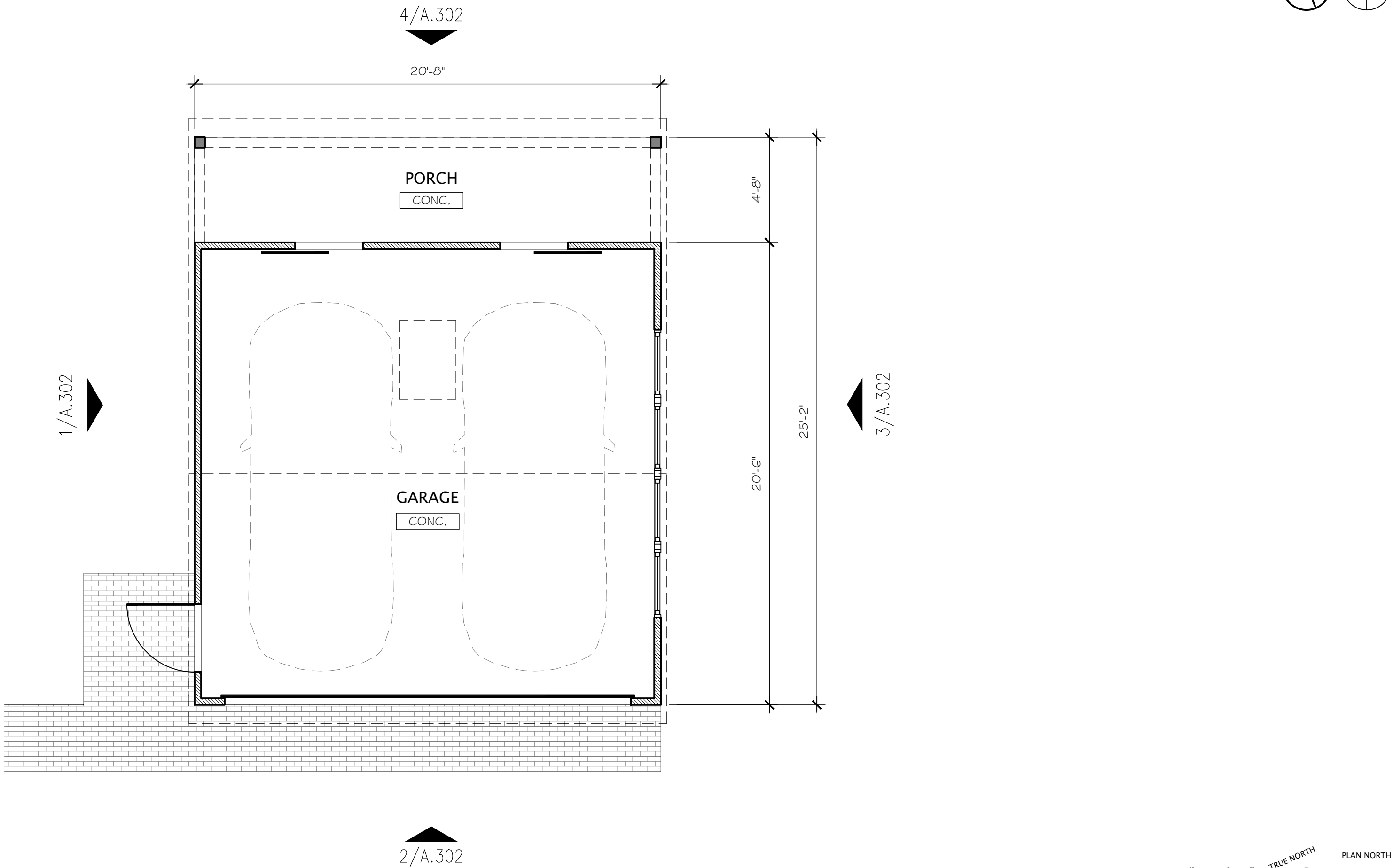
- WHOLE HOUSE TO RECEIVE NEW COMPOSITION SHINGLE ROOF, UNO



2 DETACHED GARAGE ROOF PLAN



1 DETACHED GARAGE FLOOR PLAN



ROOF PLAN NOTES:

- PROVIDE & INSTALL COMPLETE ROOF SYSTEM WITH ALL FLASHING & MISC TRIM AS REQUIRED.
- ROOF PENETRATIONS TO BE GROUPED AND ORGANIZED. COORDINATE ALL ROOF PENETRATIONS WITH ARCHITECT PRIOR TO INSTALL.
- ROOF PENETRATIONS SHALL BE INSTALLED PLUMB AND FINISHED TO MATCH ROOF.

ROOF SPEC:

- WHOLE HOUSE TO RECIEVE NEW COMPOSITION SHINGLE ROOF, UNO

FLOOR PLAN WALL KEY:

5 1/2" WOOD STUDS

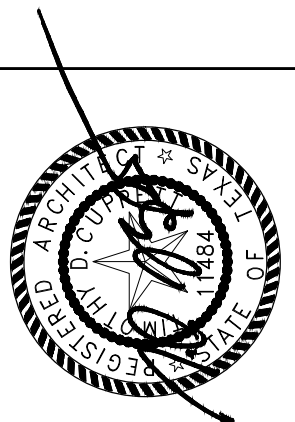
3 1/2" WOOD STUDS

EXISTING WOOD STUDS

MASONRY VENEER

GENERAL NOTES:

- PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE CODES, REGULATIONS AND ORDINANCES INCLUDING THE INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION
- ALL DIMENSIONS ARE TO FACE OF FRAMING UNO
- HOSE BIBS TO BE LOCATED AT 24" ABOVE FINISHED GRADE
- DO NOT SCALE DRAWINGS. DIMENSIONS AS INDICATED TAKE PRECEDENT OVER DRAWINGS.
- CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY FIELD CONDITIONS WHICH DO NOT PERMIT CONSTRUCTION OR INSTALLATION AS DRAWN
- PROVIDE 5/8" TYPE "X" GWB AT WALL AND CLNG IN GARAGE



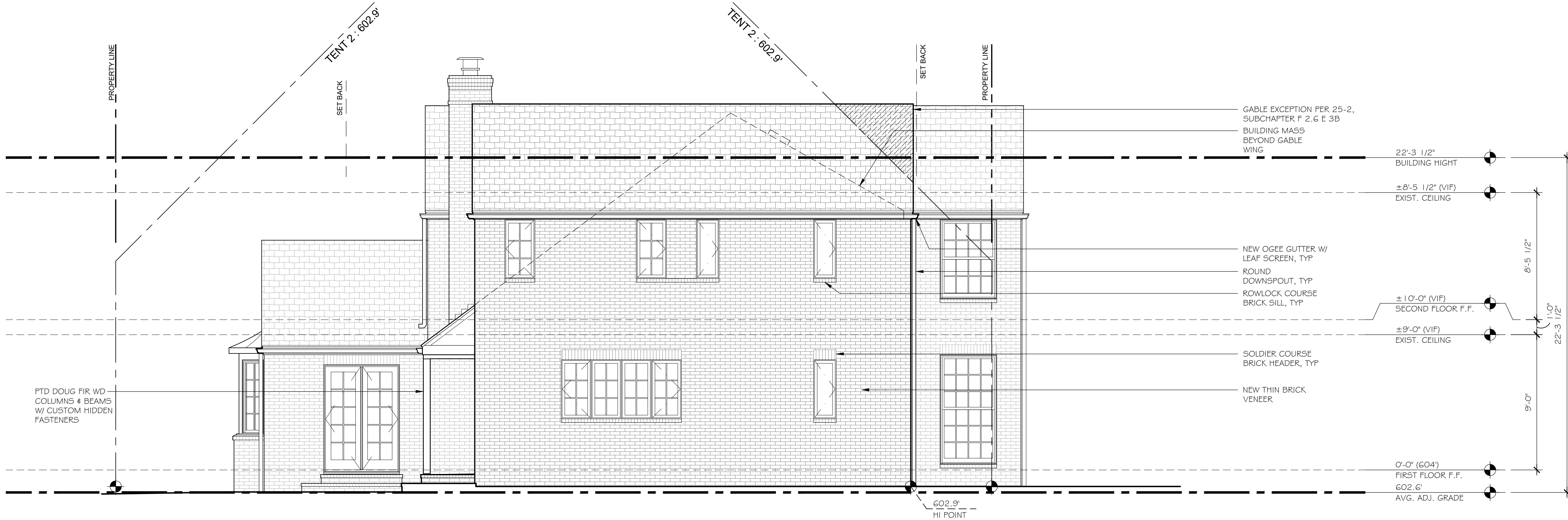


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AUSTIN, TX

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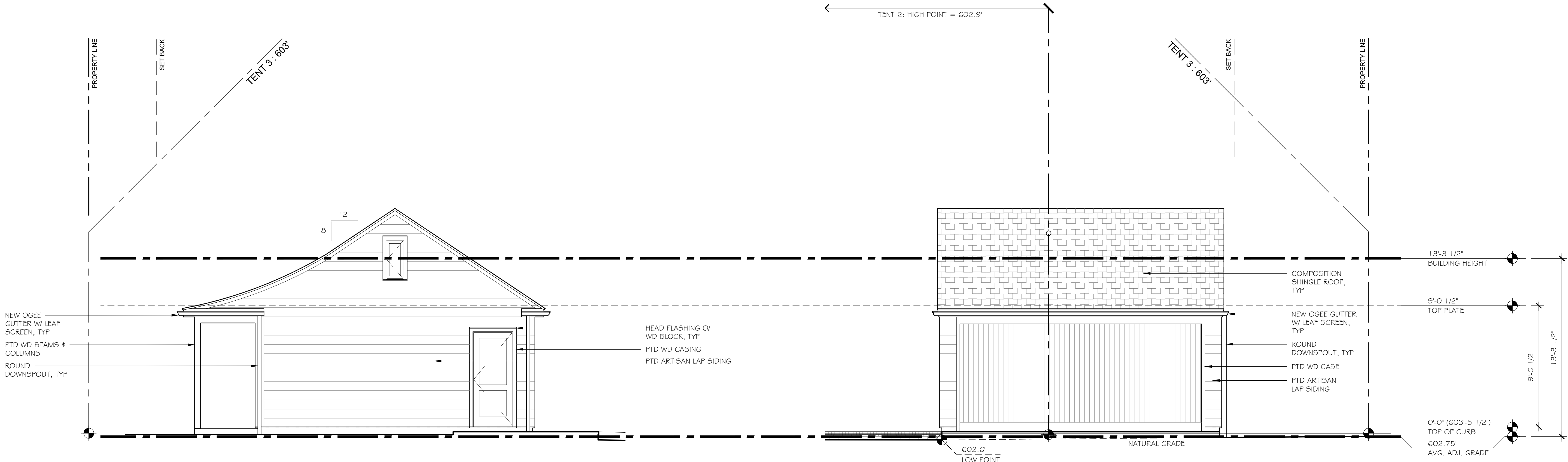
ELEVATION
A.300



1 REAR ELEVATION (EAST) SCALE: 1/4" = 1'-0"

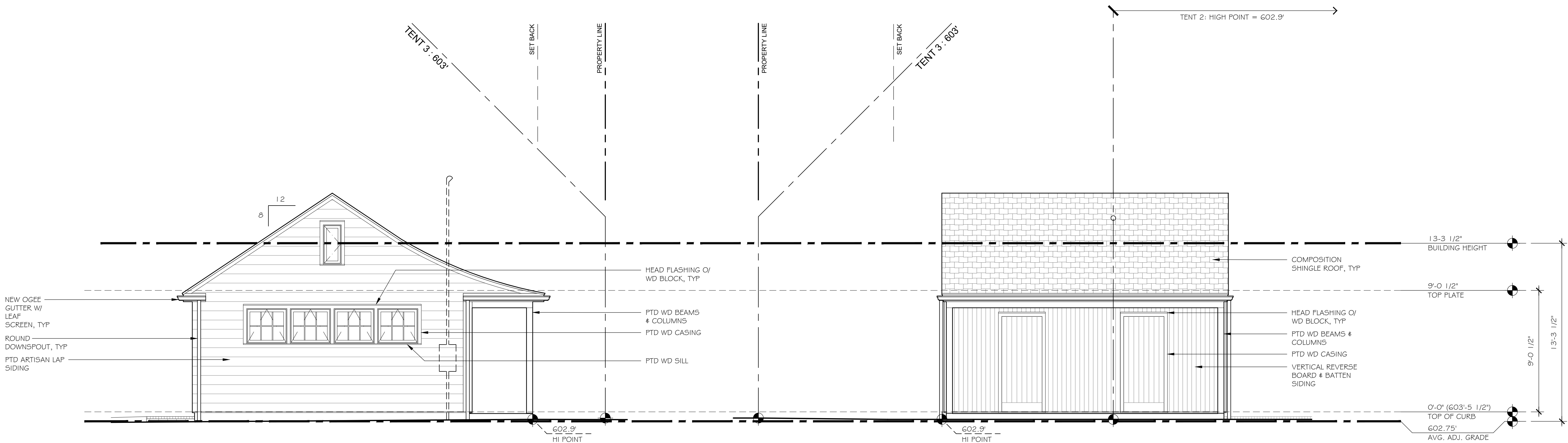


2 SIDE ELEVATION (NORTH) SCALE: 1/4" = 1'-0"



1 GARAGE SIDE ELEVATION (WEST) SCALE: 1/4" = 1'-0"

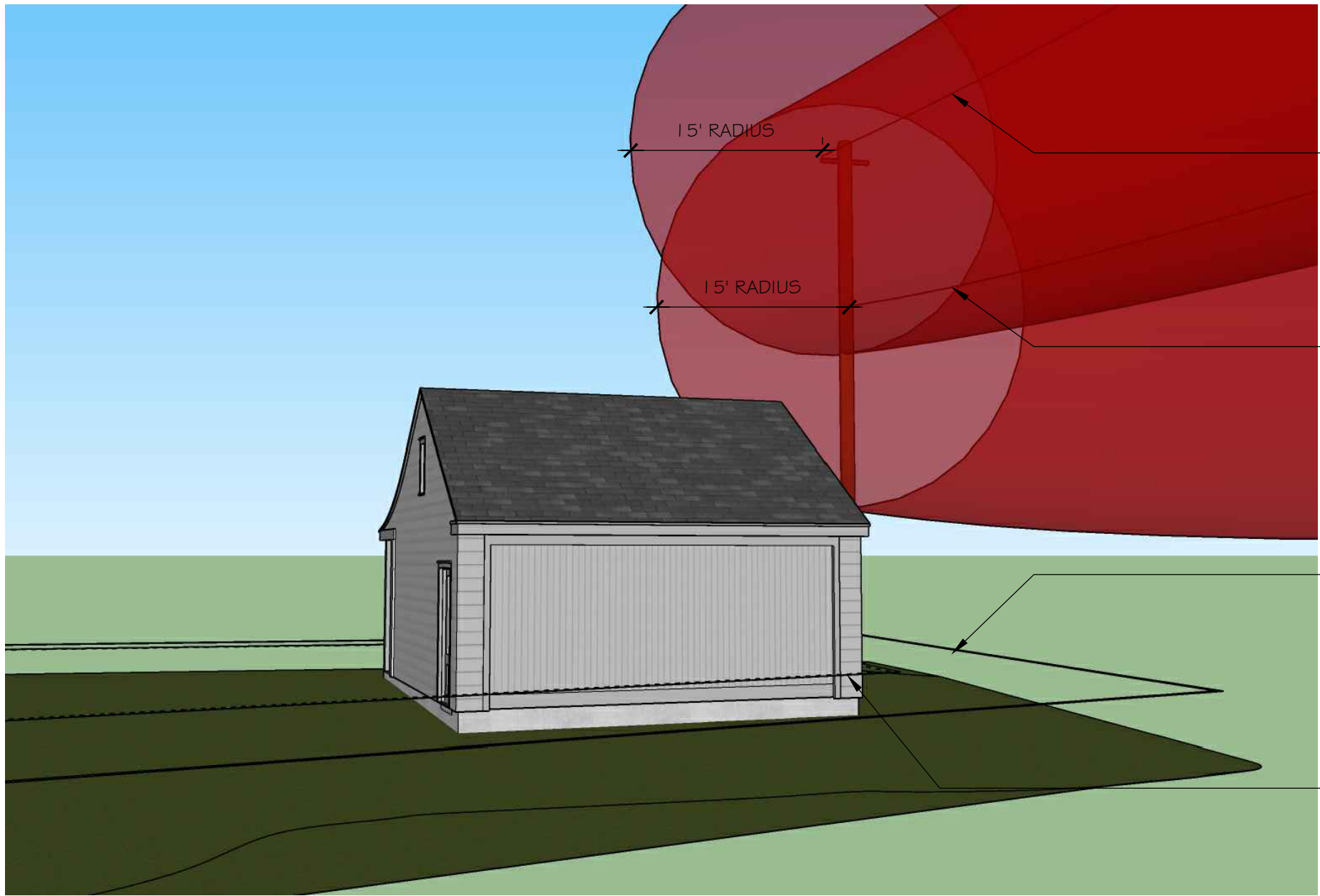
2 GARAGE FRONT ELEVATION (SOUTH) SCALE: 1/4" = 1'-0"



3 GARAGE SIDE ELEVATION (EAST) SCALE: 1/4" = 1'-0"

4 GARAGE REAR ELEVATION (NORTH) SCALE: 1/4" = 1'-0"

1 POWERLINE EXHIBIT NTS



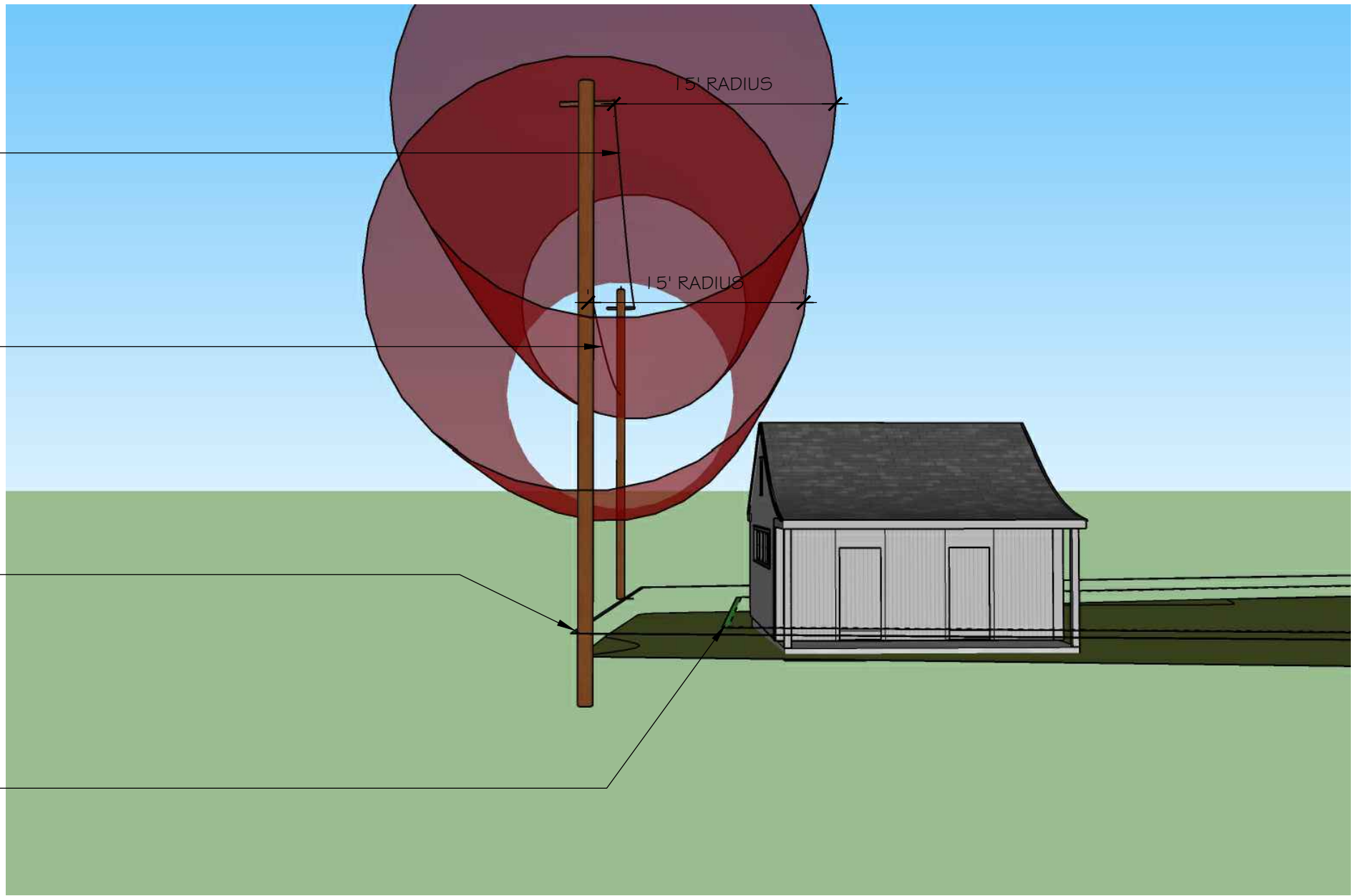
CLOSEST
POWERLINE
SURVEYED

LOWEST
POWERLINE
SURVEYED

PROPERTY LINE

REAR SETBACK

2 POWERLINE EXHIBIT NTS



POWERLINES SURVEYED BY A LICENSED
SURVEYOR. CONTRACTOR TO CONFIRM
CLEARANCES IN THE FIELD.