

**HISTORIC LANDMARK COMMISSION
PERMITS IN NATIONAL REGISTER DISTRICTS
NOVEMBER 15, 2021
HR-2021-160026
WEST LINE NATIONAL REGISTER DISTRICT
1012 SHELLEY AVE.**

PROPOSAL

Demolish rear addition on ca. 1915 house and demolish detached garage; construct new rear addition and garage with accessory dwelling unit.

PROJECT SPECIFICATIONS

- 1) Reopen previously enclosed section of the front porch. Remove infill between and restore historic box columns.
- 2) Repair and selectively replace siding and trim. Install a new stucco foundation skirt and new concrete steps to the porch.
- 3) Install new fiberglass-clad 1:1 wood windows in an existing opening on the front (east) elevation, under the restored porch, and in enlarged openings on the south elevation. Install three mulled awning windows on the north elevation. Install a new glazed front door with a transom window; replace a secondary door from the porch with a window.
- 4) Replace composition shingles with standing-seam metal roofing. Install a skylight on the south side of the roof.
- 5) Demolish existing rear addition and construct a new two-story rear addition. The addition has a low-pitched, standing-seam metal gabled roof with deep overhangs and exposed rafter tails. Cladding is fiber-cement siding, with lap siding on first floor and board-and-batten on the upper floor. The addition has fiberglass-clad casement and awning windows.
- 6) Construct a detached two-story garage and garage apartment at the rear of the parcel. The building has a similar design to the addition, with lap and board-and-batten siding, casement and awning windows, and a low-pitched gabled roof.

ARCHITECTURE

One-story pyramidal-roofed Classical Revival house clad in horizontal wood siding. A portion of the integral partial-width porch has been infilled with matching siding between the box columns, leaving a central, recessed entrance. Two doors open from the porch, with a transom over the primary door. Windows are 1:1 wood sash. Wood moulding at the tops of the box columns and window trim lends refinement to the otherwise simple house.

RESEARCH

The house at 1012 Shelley Ave. was constructed around 1915. City directories record early occupants as the families of an employee of the Austin Street Railway and a lieutenant in the Austin Fire Department.

During the 1920s, John H., Jr. and Grace Grist owned the house. Their son John R. Grist also is listed as living in the home upon reaching adulthood. John Grist, Jr. was superintendent of production plant of the E.L. Steck Company, a prominent office supply dealer and print shop. He also was an active Mason and a prize-winning competitive shooter.

Between 1932 and 1941, Roy David and America Lenora Davis owned the home. Roy Davis was the service manager of Thomson Motor Company.

STANDARDS FOR REVIEW

The City of Austin's [Historic Design Standards](#) (March 2021) are based on the Secretary of the Interior's Standards for Rehabilitation and are used to evaluate projects in National Register districts. The following standards apply to the proposed project:

Repair and alterations

3. Roofs

While there is no known precedent for metal roofing of this house, Standard 3.1 indicates that metal roofs are acceptable in historic districts. Skylights are not specifically addressed in the design standards; however, the proposed skylight is toward the rear of the side-facing roof slope and will not appreciably change the appearance of the house from the street.

4. Exterior walls and trim

The teardrop siding and window trim will be retained and selectively replaced, either due to condition or to accommodate modified window openings.

5. Windows, doors, and screens

Standards in this section emphasize retaining intact historic windows and pursuing selective replacement only when absolutely necessary due to deterioration. Per the applicant, the windows merit replacement based on their deteriorated condition.

Standard 5.5 indicates that window and door openings visible from the street should not be enlarged, moved, or enclosed. The project entails wholesale window replacement and reconfiguration of multiple openings. The new design includes paired windows on the front and south elevations, whereas historic windows are arranged singly. The grouping of three awning windows on the north elevation will be visible from the street and do not match the historic windows in their size and proportion, operation, or arrangement. Replacement of the side door on the porch with a window also does not match the historic configuration.

6. Porches

Standard 6.4 encourages maintaining the open nature of front porches. The project will remove the existing infill to restore the porch's open configuration. The historic box columns will be retained and repaired.

10. Accessory Buildings

The project entails demolition of the existing garage to accommodate the addition and new garage. Like the house, the garage is contributing to the West Line Historic District.

Residential additions

1. Location

The proposed addition is to the rear of the house and will not appreciably affect the view of the house from the street, per Standard 1.1. Standard 1.3.a indicates that additions that add a story to a historic building should be set back 15' or more from the front wall, which the proposed design considerably exceeds. Construction will entail demolition of an existing rear addition, leaving the front portion of the house intact per Standard 1.5. The project meets these standards.

2. Scale, massing, and height

While the addition does extend beyond the side wall of the house, it appears subordinate based on its placement and height, which is only slightly greater than that of the house. The historic building's overall shape as viewed from the street remains relatively unaltered, per Standard 2.2.b.

3. Design and style

While the addition has more modern elements and overall character than the historic house, it is compatible in its design, per Standard 3.1.b.

4. Roofs

The roof pitch is shallower than that of the house, and the roof form is gabled rather than hipped. Paired with a lowered first floor level, the low slope of the roof serves to limit the addition's overall height to close to that of the historic house. Roofing will be standing-seam metal to match the replaced roof on the house. The project meets these standards.

5. Exterior walls

The addition will be clad in a combination of horizontal and board-and-batten fiber-cement siding, which is a differentiated but compatible material, per these standards.

6. Windows, screens, and doors

The window and door on the street-facing elevation of the addition are of a different design but similar proportion to those of the historic house.

Residential new construction

1. Location

2. Orientation

Standards 1.3 and 2.3 indicate that new garages should follow the historic location, setback patterns, and orientation of similar buildings within the district. While the existing garage is accessed with a driveway from Shelley Ave., the new garage apartment is at the back of the lot facing the alley. Both patterns are prevalent within this block.

Other standards regarding new construction are not applicable, as the garage apartment will not be visible from the street. Its design is similar to that of the proposed addition, and it is likewise compatible with the historic house.

Summary

The design of the proposed addition and garage apartment largely meets the standards, but demolition of the contributing outbuilding and reconfiguration of window openings does not.

The project will restore the porch to its historic configuration. In response to staff feedback, the applicant has revised the proposed design to retain and repair the porch's historic box columns rather than install a single round column at the corner. This work will restore one of the house's most significant character-defining features.

STAFF COMMENTS

The house and garage are contributing to the West Line National Register District.

Designation Criteria—Historic Landmark

- 1) The building is more than 50 years old.
- 2) The building appears to retain high integrity.
- 3) Properties must meet two criteria for landmark designation (LDC §25-2-352). Staff has evaluated the property and determined that it does not meet two criteria:
 - a. *Architecture*. The building is a good example of a pyramidal cottage, with modest Classical Revival and Craftsman influences, but it is not architecturally distinguished as compared with other houses of a similar era and building form in the vicinity.
 - b. *Historical association*. The property does not appear to have significant historical associations.
 - c. *Archaeology*. The property was not evaluated for its potential to yield significant data concerning the human history or prehistory of the region.
 - d. *Community value*. The property does not possess a unique location, physical characteristic, or significant feature that contributes to the character, image, or cultural identity of the city, the neighborhood, or a particular demographic group.
 - e. *Landscape feature*. The property is not a significant natural or designed landscape with artistic, aesthetic, cultural, or historical value to the city.

STAFF RECOMMENDATION

Comment on and release the plans.

LOCATION MAP



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

NOTIFICATIONS

CASE#: HR 21-160026

LOCATION: 1012 SHELLEY AVENUE

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



1" = 292'

PROPERTY INFORMATION

Photos





Source: Applicant, 2021

Occupancy History

City Directory Research, November 2021

1959	Robert L. Bynum, owner
1957	No return
1955	Robert L. and Winnie M. Bynum, owners Accountant
1952	James E. and Eliz Maberly, renters Student, University of Texas
1949	Eugene G. Cuenod, owner Secretary, Texas State Board of Pardons and Paroles
1947	Gilbert R. Grant, renter
1944	Vacant
1941	Roy D. and America L. Davis, owners Service manager, Thomson Motor Co.
1939	Roy D. and America L. Davis, owners Service manager, Thomson Motor Co.
1937	Roy D. and America L. Davis, owners Service manager, Thomson Motor Co.
1935	Roy D. and America L. Davis, owners Service manager, Thomson Motor Co.
1932	Roy D. and America L. Davis, owners Service manager, Thomson Motor Co.
1929	John, Jr. and Grace Grist, owners Superintendent, E.L. Steck Co. John R. Grist Carpenter
1927	John, Jr. and Grace Grist, owners Superintendent, E.L. Steck Co. John Grist Carpenter
1924	John, Jr. and Grace Grist, owners Superintendent, E.L. Steck Co. John Grist
1922	John, Jr. and Grace Grist, owners Superintendent, E.L. Steck Co.
1920	Mart B. and Martha Turner, renters Lieutenant, Hose Co. No. 6, Austin Fire Department
1918	John W. and Donie L. Rodgers, owners Trainman, Austin Street Railway
1916	Address not listed

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RIFLE CLUB SHOOT RESULTS ARE CLOSE; GRIST TAKES HONOR

Many Ties Result From Close
Competition; Try-Outs at Camp
Mabry Range Sunday.

Hot competition between members of the Austin Rifle Club during Thursday night's shoot on the indoor range of the club resulted in many close scores and several ties, while the perfect shooting of John Grist, Jr., brought him first honors over H. J. Petmecky, who was one point behind. Grist's score was 100 while Petmecky's score was 99, John Callan running a close third with 97. Tom Armstrong was fourth with a total of 96 points. Arthur Nelson, Marvin Kruecz, and Dr. L. H. Kirk tied for fifth place with individual scores of 95, and Willie Warrick, Guy Graham, and Henry Schwammel for sixth with scores of

94. Several others present made strong scores but were out of the running for the places. Several new members were present at the shoot and more are joining every week, officials announce.

Thursday night's scores:

John Grist, Jr.	100
H. J. Petmecky	99
John Callan	97
Tom Armstrong	96
Marvin Kruecz	95
Arthur Nelson	95
Dr. L. H. Kirk	95
Willie Warrick	94
Guy L. Graham	94
Henry Schwammel	94
H. A. Seymour	92
Jesse Raven	91
Charles Alff	88
John Blocker	86

Members who are trying out for the team which will compete against San Antonio in the near future, will hold a practice shoot on the Camp Mabry range Sunday afternoon. The shoot will begin promptly at one o'clock, the field captain announces.

GRIST IS VICTOR

Wins Indoor Shoot
With Score 143.

John Grist, Jr., put on a startling exhibition of shooting at the practice match of the Austin Rifle club at the Little Campus indoor range last night, and captured first place.

His score in the two events, off-hand and prone, was 143, which included a 99 in the prone—19 bulls-eyes and a four.

It was the first time Grist has taken top honors on the indoor range. And since his showing in the recent state shoot was such that he is qualified to make the Texas team which will go to Camp Perry for the national shoot later, he is priming for the competition in the event he is afforded the opportunity of making the trip.

The scores on last night's shoot follow:

	75 ft.	75 ft.	
	Offhand	Prone	Total
John Grist, Jr.	44	99	143
A. D. Potter	44	97	141
T. P. Burdett	43	98	141
Jesse Raven	43	98	141
George Bissell	45	94	139
Hal Kamrath	44	94	138
G. L. Peterson	41	97	138
T. B. Kellum	41	95	136
Henry J. Bouchard	41	89	133
W. B. Smith	42	90	132
Paul D. Page, Jr.	39	89	128
C. S. Kellum	38	84	122

John Grist, Jr. was a prize-winning competitive shooter; see The Austin Statesman, 10/24/1919 and 6/29/1927

E. L. STECK FIRM MEMBER DIES

John H. Grist Jr., aged 49, a member of the E. L. Steck company firm since its establishment, and who was superintendent of the company's plant here, died at a local hospital Saturday at 7:15 a. m. following an illness that had continued over a period of several weeks.

Mr. Grist had been a resident of Austin for the past 33 years. He is survived by his wife, Mrs. Grace Grist; three sons, John R. Grist, Harold Grist and Edgar Grist; his parents, Mr. and Mrs. John Grist Sr., all of Austin; three sisters, Mrs. H. M. Clark of McCamey, Texas, Mrs. D. C. Boce of Bisbee, Ariz., and Mrs. W. H. Tilley of Austin.

Funeral services will be held from the Cook Funeral home Sunday at 5:30 p. m. with the Rev. C. M. Ashmore officiating.

Burial will be in Oakwood cemetery under the auspices of Hill City Lodge No. 456, A. F. & A. M., of which he was past worshipful master.

Honorary pallbearers will be: H. G. Donoho, Leo O. Mueller, Frank James, Carl M. Mayer, Felix Kruger, C. J. Baldwin, T. R. Eastman, Ora M. Davis, E. L. Steck, George S. Dowell, R. H. Porter and E. W. Jackson. Active pallbearers will be: Luther Thompson, J. W. Elder, R. E. Eggeling, Leslie A. Caldwell, W. B. Sullivan and George E. Lilley.

Obituary

MRS. JOHN GRIST JR.

Funeral services for Mrs. John Grist Jr., widow of the late John Grist Jr., will be held Tuesday at 2 p.m. at the Cook Funeral Home with the Rev. W. H. Arnold of Houston officiating. Mrs. Grist died early Monday morning at a local hospital following a lengthy illness. She has been a resident of Austin for the past 45 years. Survivors are three sons, John R. Grist of Austin, Dr. E. A. Grist of College Station and Harold M. Grist of San Antonio; two sisters, Mrs. Fred R. Thomas, Mrs. Charles Minton, and five grandchildren.

Pallbearers will be R. L. Allen, J. C. Murphy, James H. Green, Walter Boatright, Dr. Paul M. Moore and W. H. Lehmann. Burial will be in Oakwood Cemetery.

Obituaries for John H., Jr. and Grace Grist, The Austin Statesman, 8/22/1936 and 3/21/1949

ROY D. DAVIS

Funeral for Mr. Roy David Davis, age 73, of 2001 LaCasa Drive, will be held at 2 p.m. Sunday from Cook Funeral Home with Rev. Bill Clark officiating. Burial will follow in Memorial Hill Park.

He was a member of West Austin Baptist Church and had been a resident of Austin for 48 years. Before retiring he was service manager of both Thomson Motor Co. and the Harry Kelly Motors. He was a veteran of World War I.

He is survived by his widow, Mrs. Lenora Davis; daughter, Mrs. C. A. Bean, Jr. of San Antonio; son, R. Frank Davis of Austin; sisters, Mrs. Amanda Ponder and Mrs. Stella Hansburg, both of Austin; brothers, Ira Davis of Temple, Claude P. Davis of Lubbock, William Davis of Austin, Dean Davis of Taylor and Brooks Davis of St. Louis, Mo.; and six grandchildren.

Palbearers will be nephews of the deceased.

Obituary for Roy D. Davis, The Austin Statesman, 2/23/1969

Permits

Miss Elizabeth Hall 1012 Shelley Ave.

88
95

2

4

Shelley Hts. #2

stucco under pining

26438 11-27-44

\$75.00

day labor

none

Building permit for stucco underpinning, 1944

WATER SERVICE PERMIT

Austin, Texas

No 15975

Sec 92

Received of

Date 4-10-41Address 1012 SHELLEY - AVE.

Amount

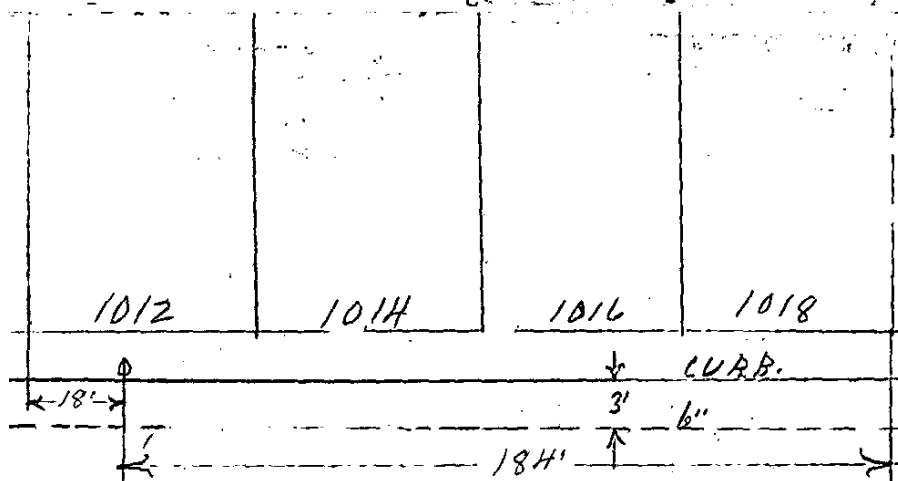
\$

Plumber

Size of Tap

Date of Connection 4-10-41Size of Tap Made 3/4"Size Service Made 3/4"Size Main Tapped 6"From Front Prop. Line to Curb Cock 1'From S Prop. Line to Curb Cock 18'Location of Meter BACK-A-CURB.Type of Box LOCKDepth of Main in St. 3'Depth of Service Line 2'From Curb Cock to Tap on Main 4.5'Checked by Engr. Dept. 6-28-41 W.E.**INDEXED**SILVESTER

No. Fittings	Size	Job No.	Req. No.
1	Curb Cock <u>5/8"</u>		
	Elbow		
1	St. Elbow <u>3/4" x 1/2" COPPER</u>		
	Bushing		
	Reducer		
	5" Pipe <u>1/2" COPPER</u>		
	Lead Comp.		
	Nipples		
1	Union <u>3/4" - 1"</u>		
	Plug		
	Tee		
1	Stop <u>1" COARP-LOCK</u>		
1	Box <u>LOCK</u>		
1	Lid <u>1"</u>		
	Valves		

SHELLEYWEST-12THAVE.STREET.