

#### 1012 SHELLEY AVE. SQUARE FOOT CALCS.

LOT SIZE: 6,597 S.F. (45% = 2,968 s.f.), (40% = 2,638 s.f.).

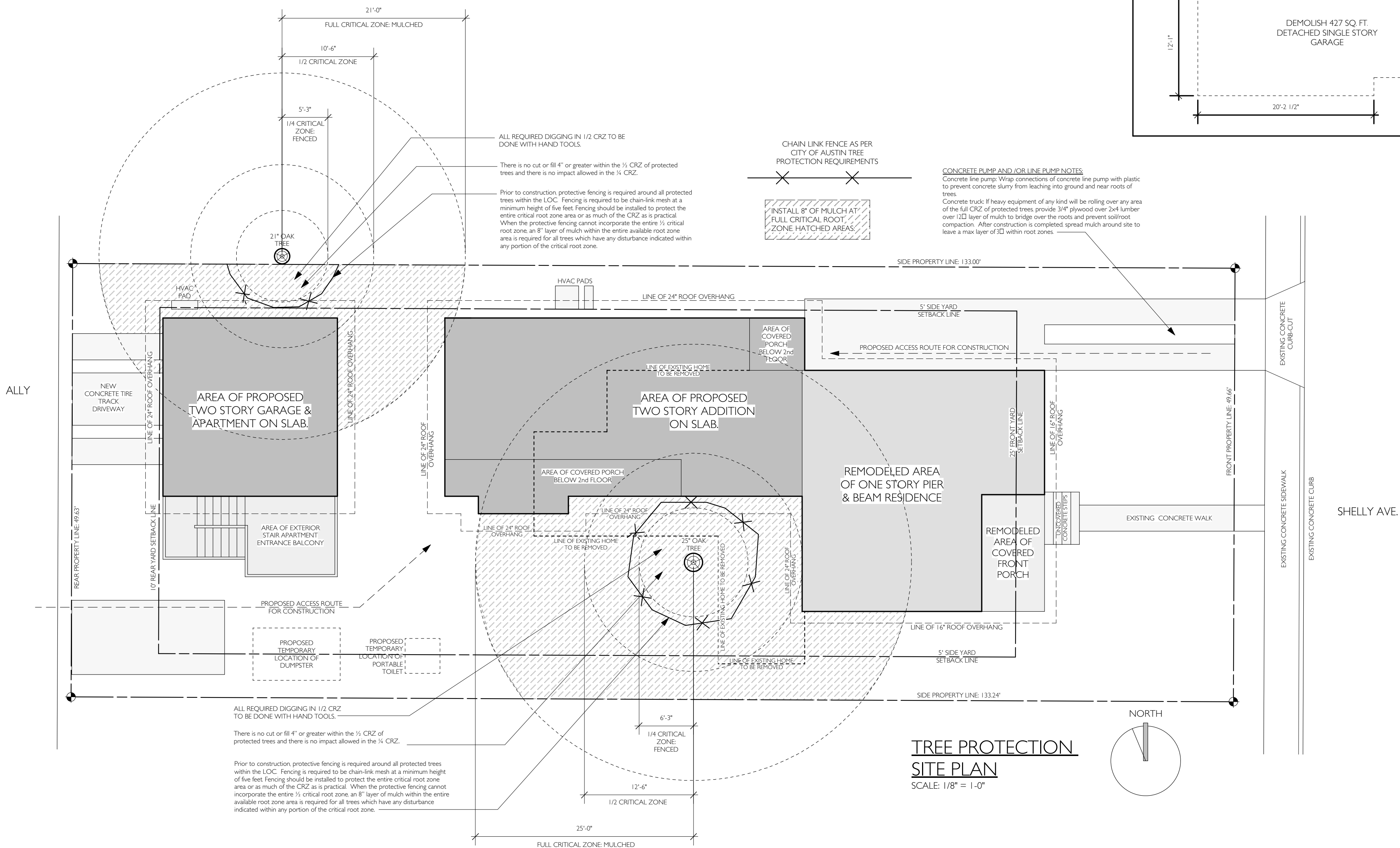
EXISTING PRIMARY RESIDENCE 1st FLOOR CONDITIONED AREA TO REMAIN: 680 s.f.  
NEW PRIMARY RESIDENCE 1st FLOOR CONDITIONED AREA: 686 s.f.  
NEW PRIMARY RESIDENCE 2nd FLOOR CONDITIONED AREA: 863 s.f.  
EXISTING PRIMARY RESIDENCE COVERED FRONT PORCH TO REMAIN: 98 s.f.  
NEW PRIMARY RESIDENCE COVERED PORCH & ENTRY: 173 S.F.  
DETACHED UN-CONDITIONED GARAGE AREA: 408 s.f.  
DETACHED 2nd FLOOR CONDITIONED GARAGE APARTMENT AREA: 408 S.F.

GARAGE 1st FLOOR PORCH AREA: 98 S.F.  
GARAGE APARTMENT EXTERIOR STAIR AREA: 68 S.F.  
GARAGE APARTMENT 2nd FLOOR BALCONY AREA: 98 S.F.

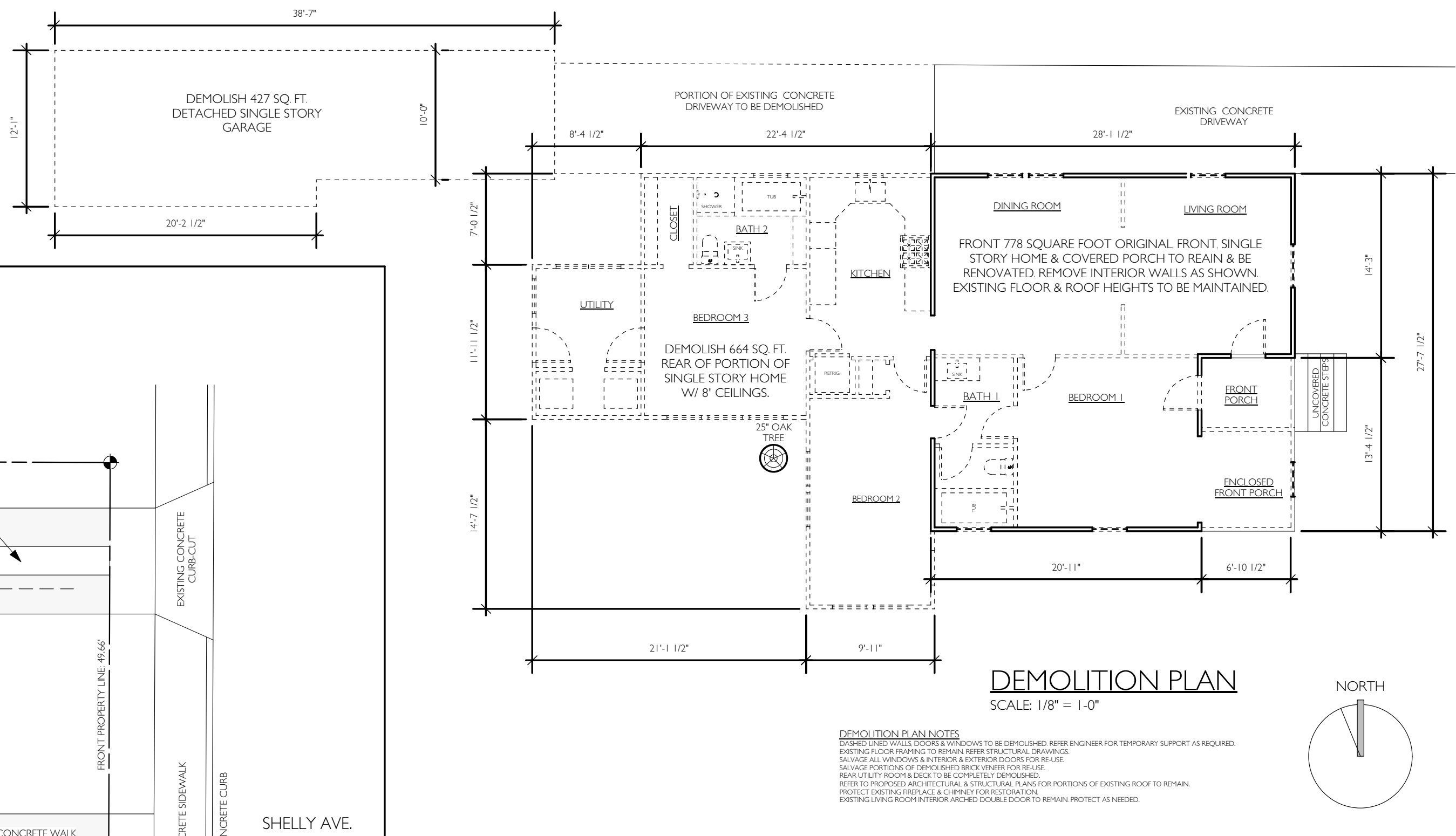
EXISTING AREA OF CONCRETE DRIVEWAY TO REMAIN: 356 s.f.  
EXISTING AREA OF CONCRETE FRONT WALKS TO REMAIN: 76 S.F.  
NEW CONCRETE DRIVEWAY TIRE TRACKS & PAD AT ALLY: 273 S.F.  
NEW CONCRETE STEPS: 24 S.F.  
NEW GARAGE BACK DOOR STOOP: 12 S.F.  
HVAC PADS: 12 S.F.

#### GENERAL NOTES

- All work specified herein and specified or shown on the Contract Drawings shall conform to ALL APPLICABLE CODES.
- The contractor shall verify all dimensions in field.
- If any work shown or specified is unclear or ambiguous, contact the Architect before proceeding w/ work.
- The contractor shall familiarize him or herself with the Contract Documents. Any discrepancies shall be brought to the attention of the Architect before proceeding with affected work. Any variation or substitution of materials or details from those indicated on the drawings may be made only with prior written approval of the Architect.
- These drawings have been compiled from the best available information and are not intended to limit the scope of work. The Contractor may encounter hidden or uncovered conditions not shown in the contract. It will be assumed that the Contractor has inspected the site prior to bidding and verified the information herein specified.
- Unless otherwise indicated, details shown on any drawings are to be considered typical for all similar conditions.
- Any additional work beyond the scope of these drawings and specifications deemed necessary by the Contractor for the proper completion of this project shall not be performed without prior expressed approval from the Owner and the Architect.
- The Contractor shall obtain and pay for all fees, permits and changes required to perform and complete this work.
- Contractor to perform boundary survey prior to any construction in order to confirm all property & building set back lines.
- DO NOT SCALE DRAWINGS! Dimensions govern. If any questions arise regarding dimensions contact Architect.
- Dimensions are to face of stud at locations of new walls and to face of existing walls unless otherwise indicated.



#### TREE PROTECTION SITE PLAN SCALE: 1/8" = 1'-0"

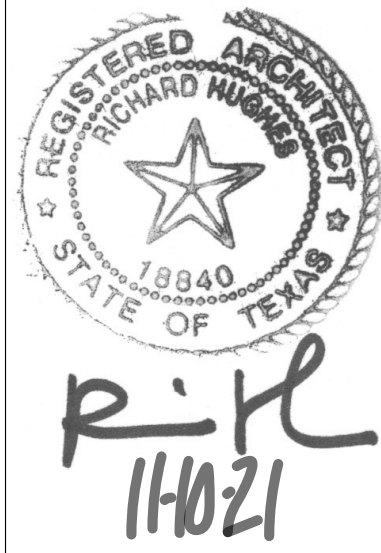


#### DEMOLITION PLAN SCALE: 1/8" = 1'-0"

DEMOLITION PLAN NOTES:  
EXISTING FLOOR FRAMING TO REMAIN REFER TO STRUCTURAL DRAWINGS.  
SAVE ALL WINDOWS & DOORS TO BE REUSED OR RECYCLED.  
SAVE ALL PORTIONS OF DEMOLISHED BRICK VENER FOR REUSE.  
REMOVE INTERIOR WALLS TO BE COMPLETED BY CONTRACTOR.  
REFER TO PROVIDED ARCHITECTURAL & STRUCTURAL PLANS FOR PORTIONS OF EXISTING ROOF TO REMAIN.  
PROTECT EXISTING REMAINS & ADHERE TO ALL RESTRICTIONS.  
EXISTING LIVING ROOM INTERIOR ARCHED DOUBLE DOOR TO REMAIN PROTECT AS NEEDED.

#### INDEX OF DRAWINGS:

- SITE PLAN, DEMOLITION FLOOR PLANS, ATTIC EXEMPTION DIAGRAMS.
- FRONT HOUSE & GARAGE APARTMENT 1st FLOOR FLOOR PLANS
- FRONT HOUSE & GARAGE APARTMENT 2nd FLOOR FLOOR & ROOF PLANS
- 'McMANSION' 1/8" ELEVATIONS FOR PERMITTING
- FRONT HOUSE ELEVATIONS
- GARAGE APARTMENT ELEVATIONS
- FRONT HOUSE BUILDING SECTIONS
- FRONT HOUSE BUILDING SECTIONS
- INTERIOR ELEVATIONS
- INTERIOR ELEVATIONS
- INTERIOR ELEVATIONS
- CONSTRUCTION DETAILS
- MEP 1&2: 1st & 2nd FLOOR ELECTRICAL, PLUMBING & Mechanical PLANS
- MEP ATTIC: ATTIC ELECTRICAL, PLUMBING & Mechanical PLANS
- S101 - S121: STRUCTURAL ENGINEERING DRAWINGS



**richardHUGHES Architect**  
1406 West 11th Street, Austin, TX 78703  
T: 512.789.6959  
info@richardhughesarchitect.com

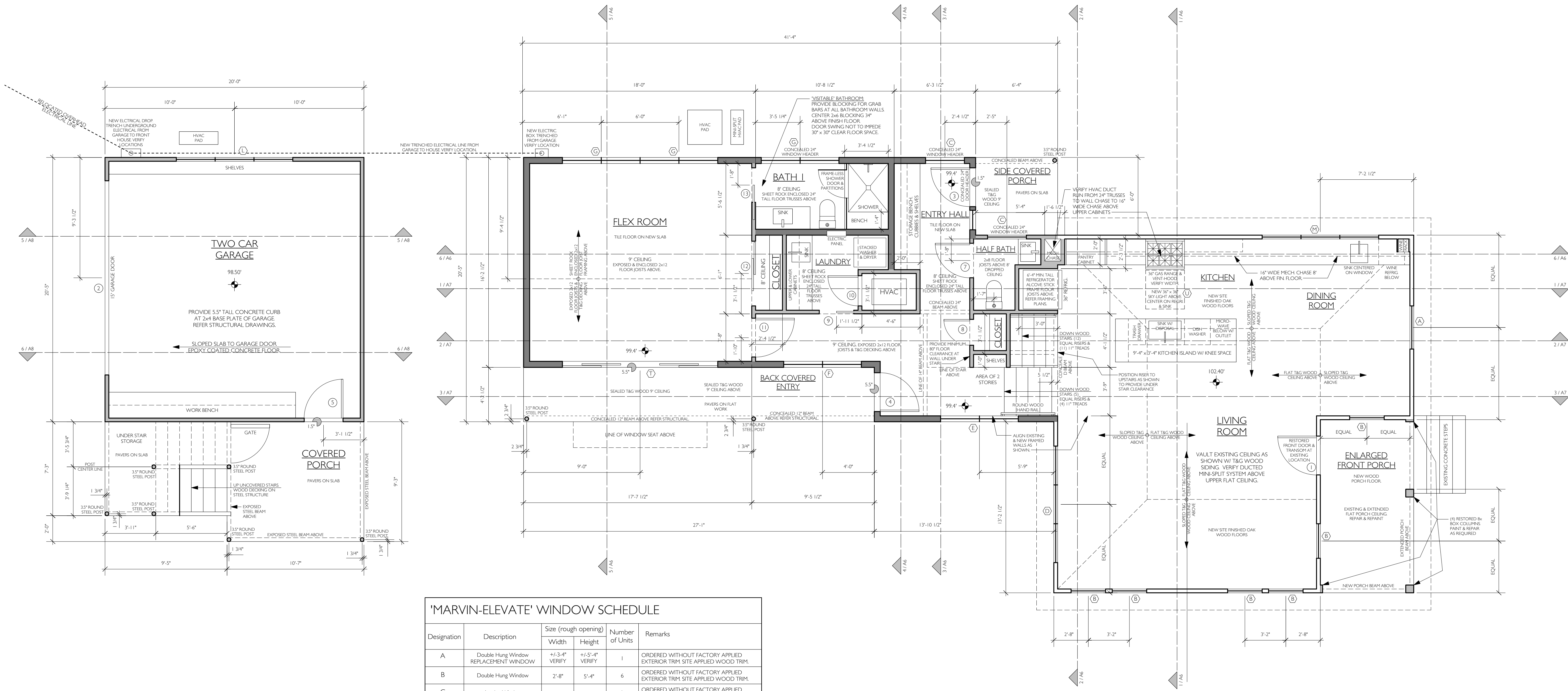
**GOODWIN ADDITION & REMODEL**  
1012 SHELLEY AVENUE, AUSTIN, TX 78703

#### DATE:

6-14-21  
7-22-21  
7-29-21  
8-11-21  
9-13-21  
9-22-21  
10-4-21  
10-14-21  
11-9-21  
11-10-21

AI

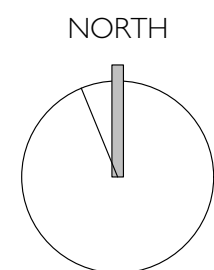




'MARVIN-ELEVATE' WINDOW SCHEDULE				
Designation	Description	Size (rough opening)		Number of Units
		Width	Height	
A	Double Hung Window REPLACEMENT WINDOW	+/-3'-4" VERIFY	+/-5'-4" VERIFY	1
B	Double Hung Window	2'-8"	5'-4"	6
C	Awning Window	3'-0"	3'-0"	2
D	(9) Unit Casement & Picture Window, Factory joined Combination	9'-0"	8'-0"	1
E	(6) Unit Casement & Picture Window, Factory joined Combination	6'-0"	15'-0"	1
F	(4) Unit Picture Window, Factory joined Combination	6'-0"	8'-0"	1
G	(2) Awning Window Units	6'-0"	3'-0"	4
H	Awning Window	3'-0"	4'-0"	H
I	(9) Unit Casement & Picture Window, Factory joined Combination	9'-0"	7'-0"	1
J	Picture Window	1'-2"	5'-0"	2
K	(3) Units (2) Casements w/ center Picture	3'-0"	5'-0"	2
L	(3) Units (2) Awnings w/ center Picture	9'-0"	2'-0"	2
M	(3) Units (2) Awnings w/ center Picture	9'-0"	3'-0"	3
N	Casement Window	2'-0"	4'-0"	1
O	Casement Window	3'-0"	5'-8"	1
P	(2) Awning Window Units	6'-0"	2'-0"	2
Q	Casement Window	2'-0"	3'-8"	2
R	(4) Unit Casement & Picture Window, Factory joined Combination	6'-0"	7'-0"	1
S	(2) Casement Window Units FRENCH CASEMENT	6'-0"	3'-8"	1
T	(4) Bay Wide, Double Sliding French Door	12'-0"	8'-0"	1
U	"VELUX" Fixed Curb-Mounted Skylight, Unit 4446	+/-5'1"	+/-5'1"	

**GENERAL WINDOW NOTES:**  
1. PROVIDE THERMOPAN GLAZING WHERE REQUIRED BY CODE.  
2. Install all window units as per manufacturer's specifications.  
3. CONFIRM FRAMING DIMENSIONS FOR ALL WINDOWS PRIOR TO ORDERING.  
4. Refer Elevations to confirm window Light / Mullion configurations.  
5. All windows to meet EGRESS Requirements where required by code.  
6. All Units to have Low-E Insulated Glazing.  
7. VERIFY CASEMENT WINDOW SWING DIRECTIONS AT ELEVATIONS.  
8. ALL 'MARVIN' WINDOWS TO BE ORDERED WITH FACTORY APPLIED BRICK-MOULD & SILL NOSE UNLESS OTHERWISE NOTED.  
9. ALL 'MARVIN' WINDOWS TO BE ORDERED IN 'BLACK' FIBERGLASS EXTERIOR COLOR.

FLOOR PLAN LEGEND	
	EXISTING FRAMED WALL TO REMAIN
	NEW 2x4 FRAMED WALL
	NEW 2x6 FRAMED WALL

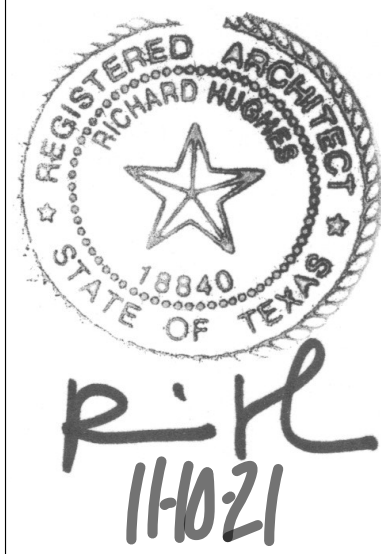
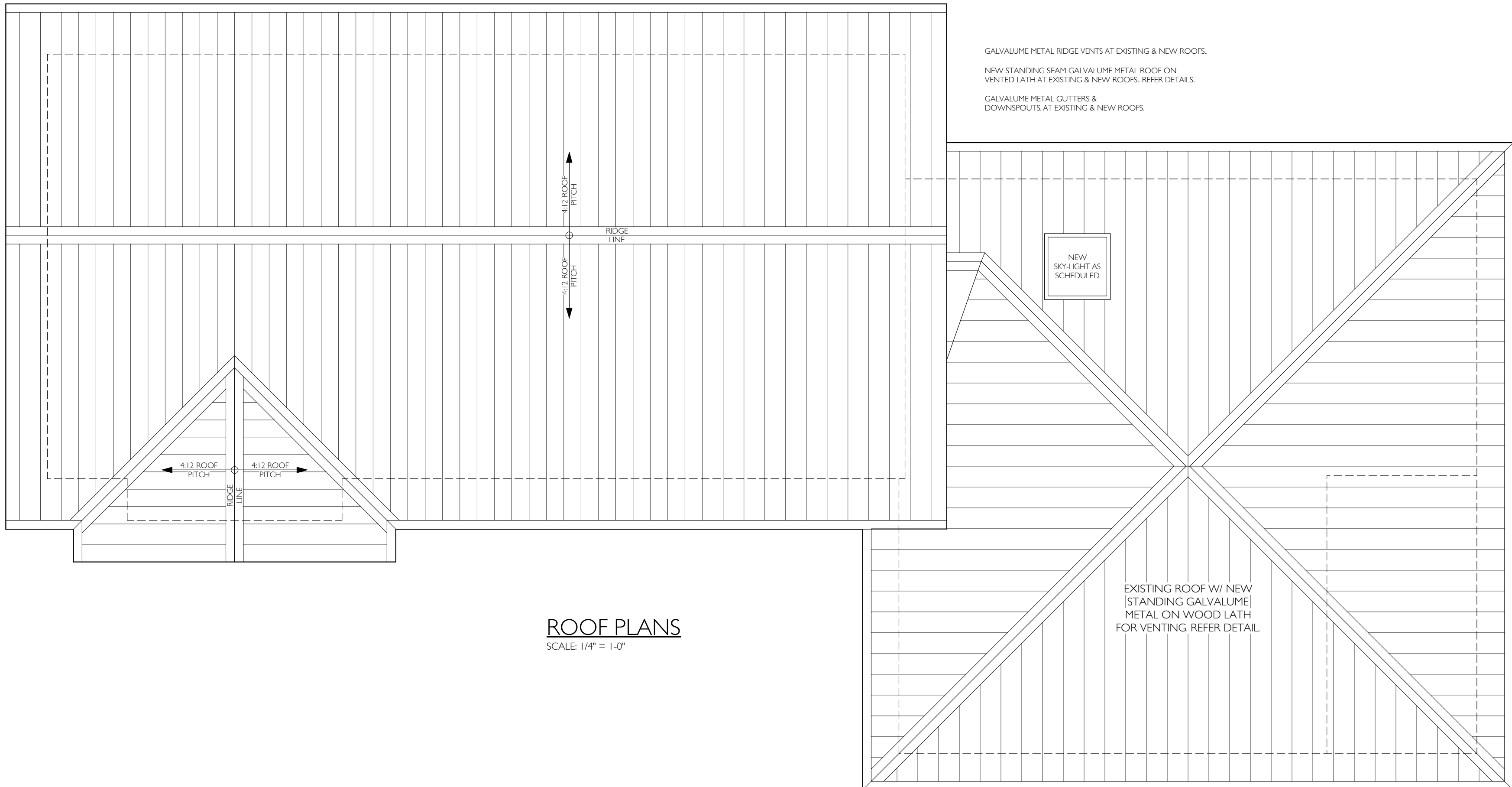
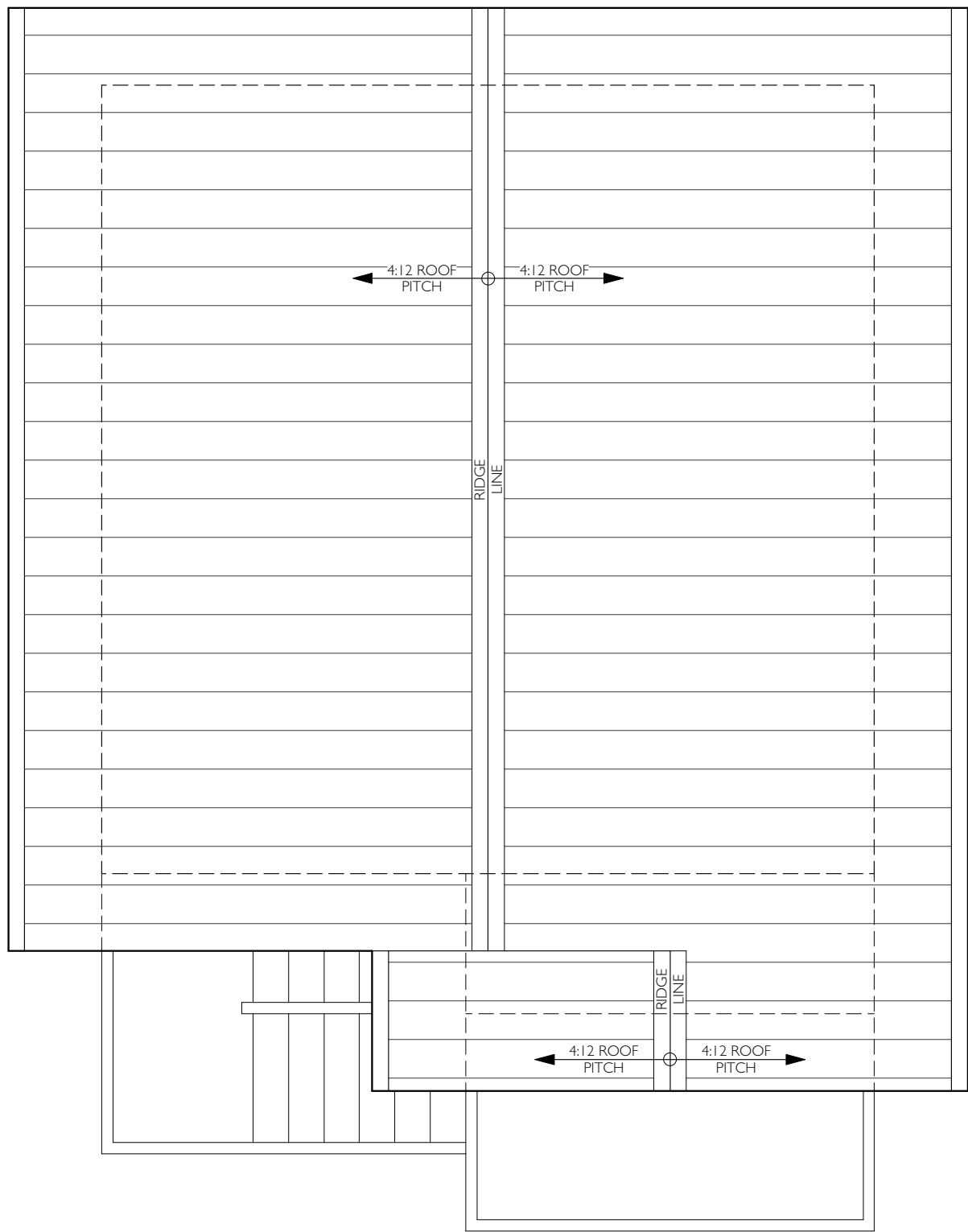
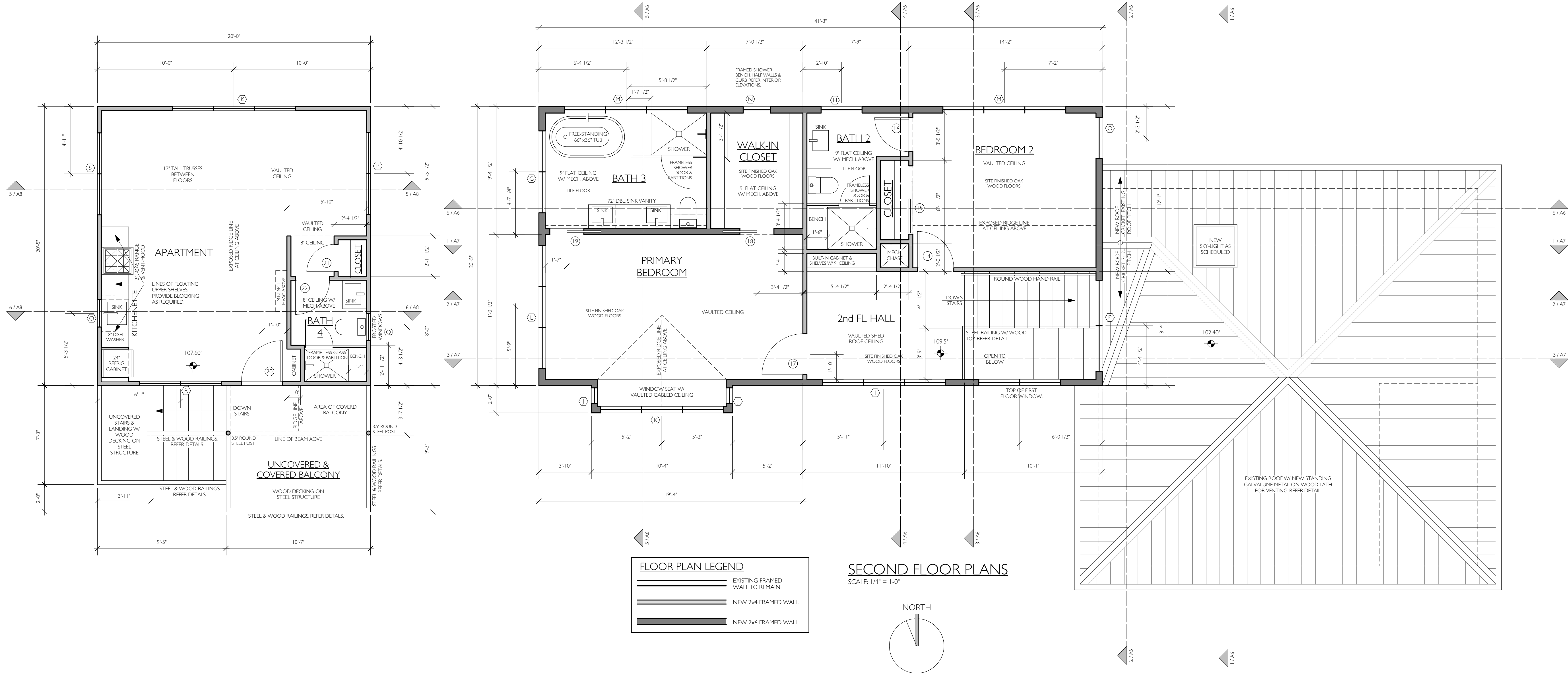


FIRST FLOOR PLANS  
SCALE: 1/4" = 1'-0"

## DOOR SCHEDULE

DOOR NO.	Unit Size		DOOR SPECIFICATION	DOOR NO.	Unit Size		DOOR SPECIFICATION
	width	height			width	height	
1	VERIFY	VERIFY	RESTORED Front Exterior Door & Transom Window.	12	5'-0"	6'-8"	Interior Bi-Pass Closet Double Doors (3) Panel Shaker Door. VERIFY SPECS.
2	15'-0"	7'-0"	GARAGE DOOR	13	2'-8"	6'-8"	Interior POCKET Door (3) Panel Shaker Door. VERIFY SPECS.
3	+/-4'-8"	8'-0"	Exterior French In-Swing Door w/ 20" Wide Side Light. Single Lights.	14	2'-8"	6'-8"	Interior Swinging Door (3) Panel Shaker Door. VERIFY SPECS.
4	3'-0"	8'-0"	Exterior French In-Swing Door Single Light.	15	5'-0"	6'-8"	Interior Bi-Pass Closet Double Doors (3) Panel Shaker Door. VERIFY SPECS.
5	3'-0"	6'-8"	Exterior In-Swing Door to garage. VERIFY SPECS.	16	2'-6"	6'-8"	Interior Swinging Door (3) Panel Shaker Door. VERIFY SPECS.
6	3'-0"	6'-8"	Exterior In-Swing Door to garage. VERIFY SPECS.	17	3'-0"	6'-8"	Interior Swinging Door (3) Panel Shaker Door. VERIFY SPECS.
7	2'-8"	6'-8"	Interior Swinging Door (3) Panel Shaker Door. VERIFY SPECS.	18	2'-6"	6'-8"	Interior POCKET Door (3) Panel Shaker Door. VERIFY SPECS.
8	2'-0"	+/-6'-8"	Interior Swinging Under Stair Door (3) Panel Shaker Door. VERIFY SPECS.	19	2'-6"	6'-8"	Interior POCKET Door (3) Panel Shaker Door. VERIFY SPECS.
9	2'-8"	6'-8"	Interior POCKET Door (3) Panel Shaker Door. VERIFY SPECS.	20	3'-0"	7'-0"	Exterior French In-Swing Door Single Light.
10	2'-4"	VERIFY	Interior Swinging HVAC Closet Door (3) Panel Shaker Door. VERIFY SPECS.	21	2'-0"	6'-8"	Interior Swinging Door (3) Panel Shaker Door. VERIFY SPECS.
11	2'-8"	6'-8"	Interior Swinging Door (3) Panel Shaker Door. VERIFY SPECS.	22	2'-6"	6'-8"	Interior Swinging Door (3) Panel Shaker Door. VERIFY SPECS.

**GENERAL DOOR NOTES:**  
1. VERIFY EXTERIOR DOOR CLADDING COLOR W/ WINDOW SELECTION.  
2. Install all Door units as per manufacturer's specifications.  
3. DOORS SPECIFICATIONS TO BE DETERMINED BEFORE ORDERING  
4. Verify 2x4 or 2x6 door frame locations prior to ordering.



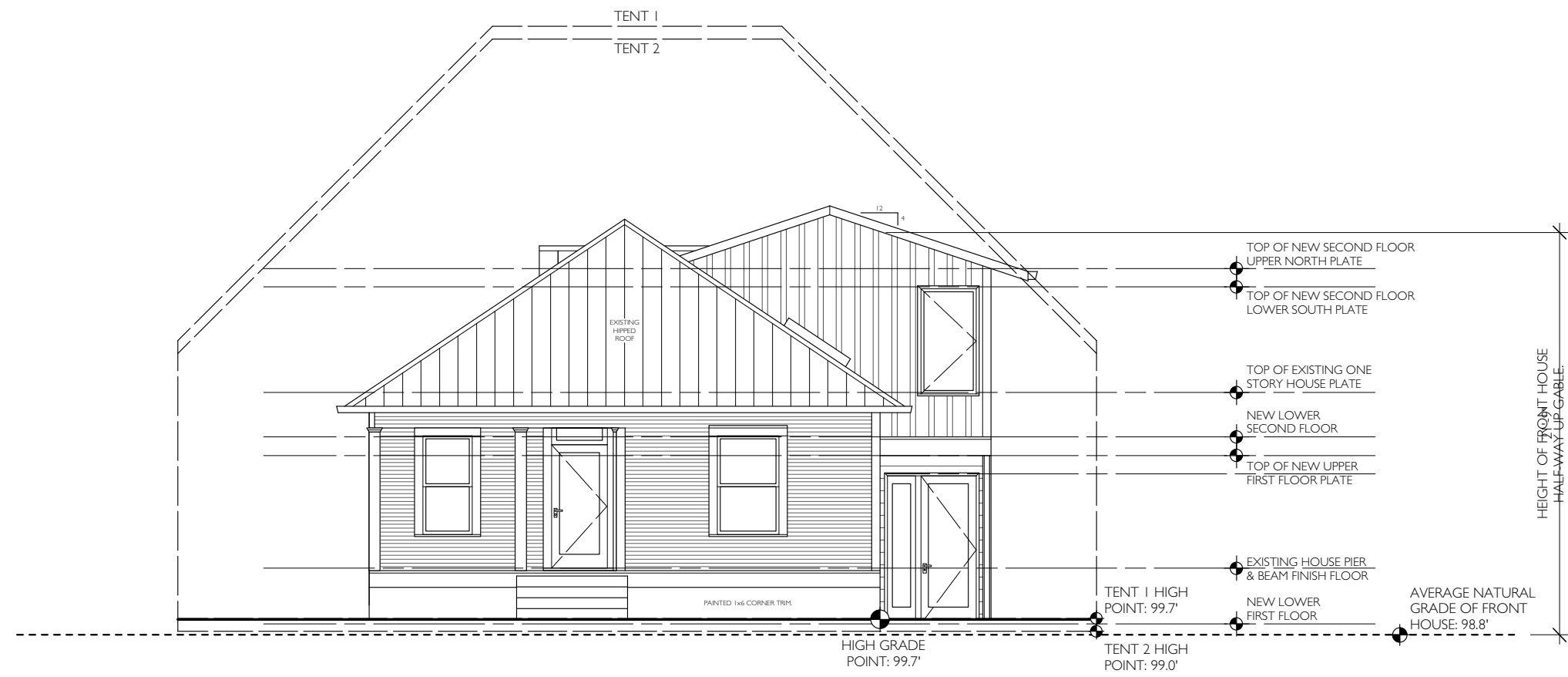
richardHUGHES Architect  
1406 West 11th Street, Austin, TX 78703  
T: 512.789.6959  
info@richardhughesarchitect.com

GOODWIN ADDITION & REMODEL  
1012 SHELLEY AVENUE, AUSTIN, TX 78703

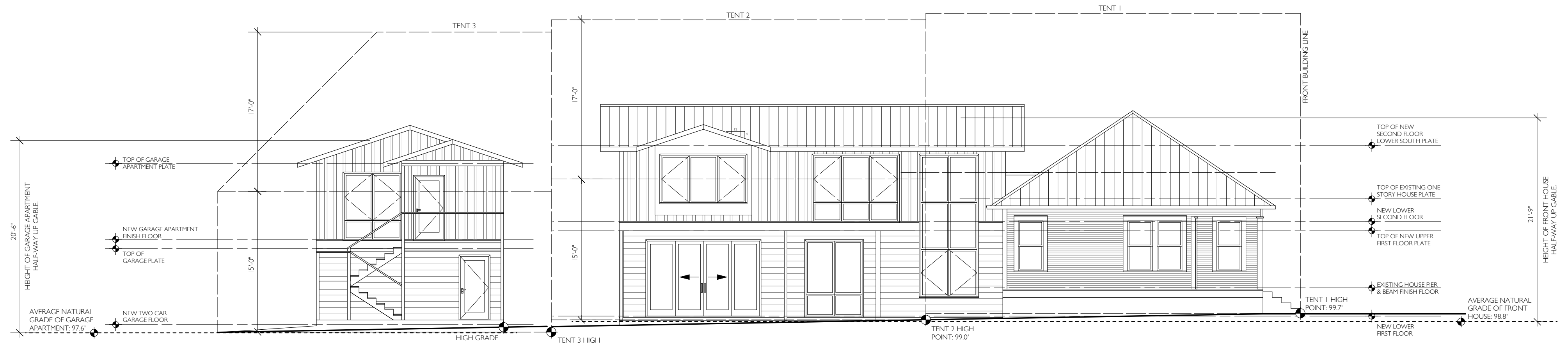
DATE:  
6-14-21  
7-22-21  
7-29-21  
8-11-21  
9-13-21  
9-22-21  
10-4-21  
10-14-21  
11-9-21  
11-10-21

A3

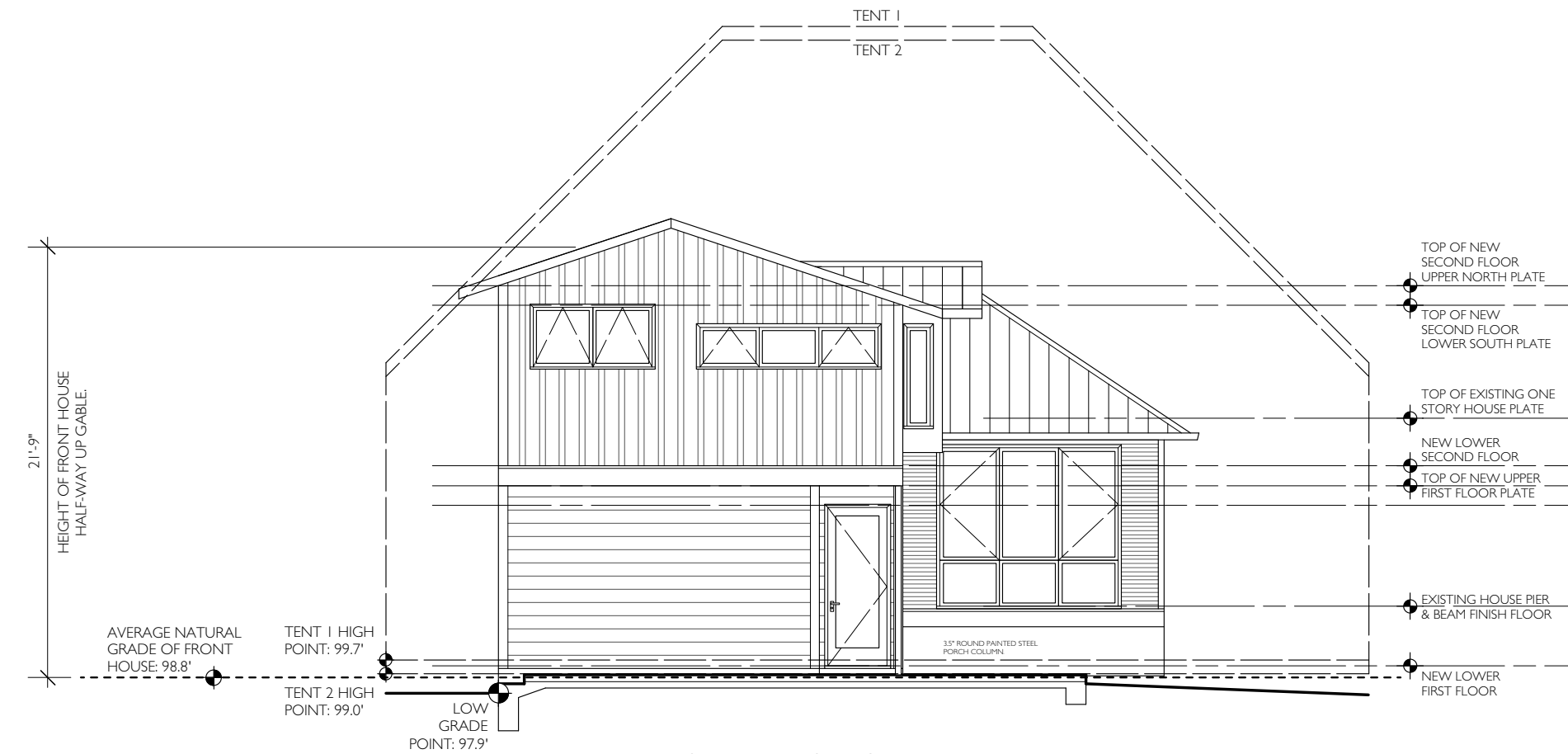




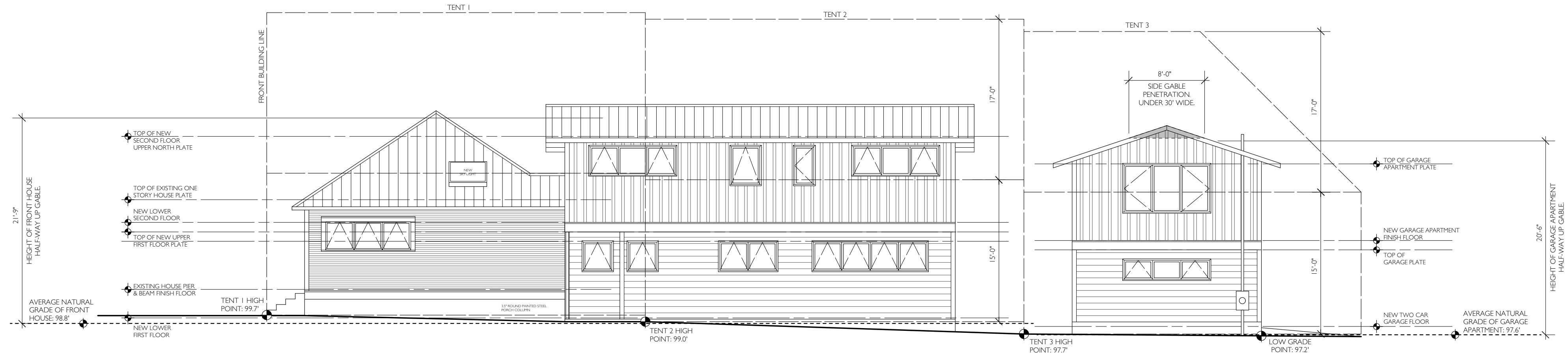
1 FRONT HOUSE:  
EAST 'TENT-PERMIT' ELEVATION  
SCALE: 1/8" = 1'-0"



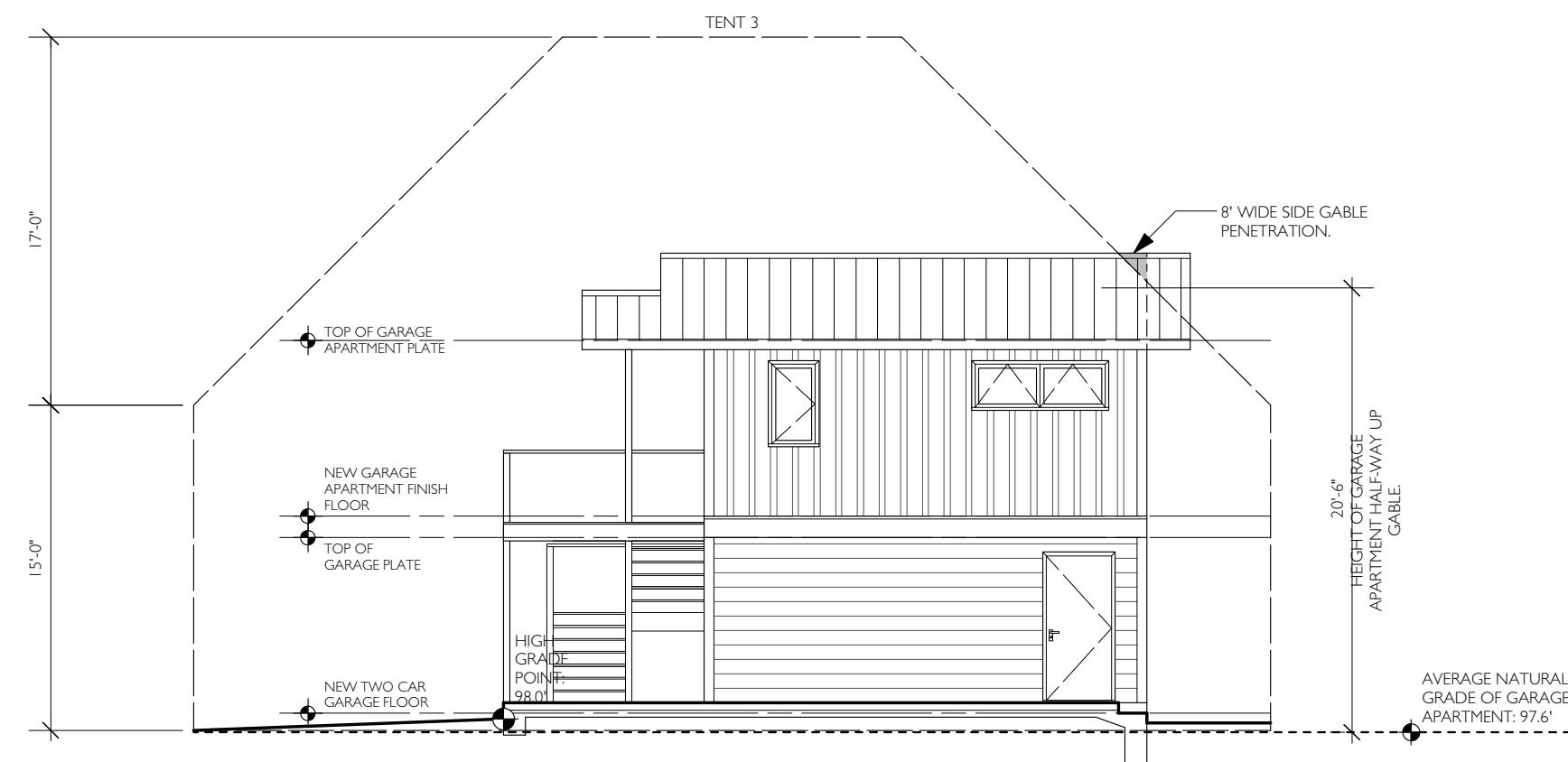
2 GARAGE APARTMENT & FRONT HOUSE:  
SOUTH 'TENT-PERMIT' ELEVATION  
SCALE: 1/8" = 1'-0"



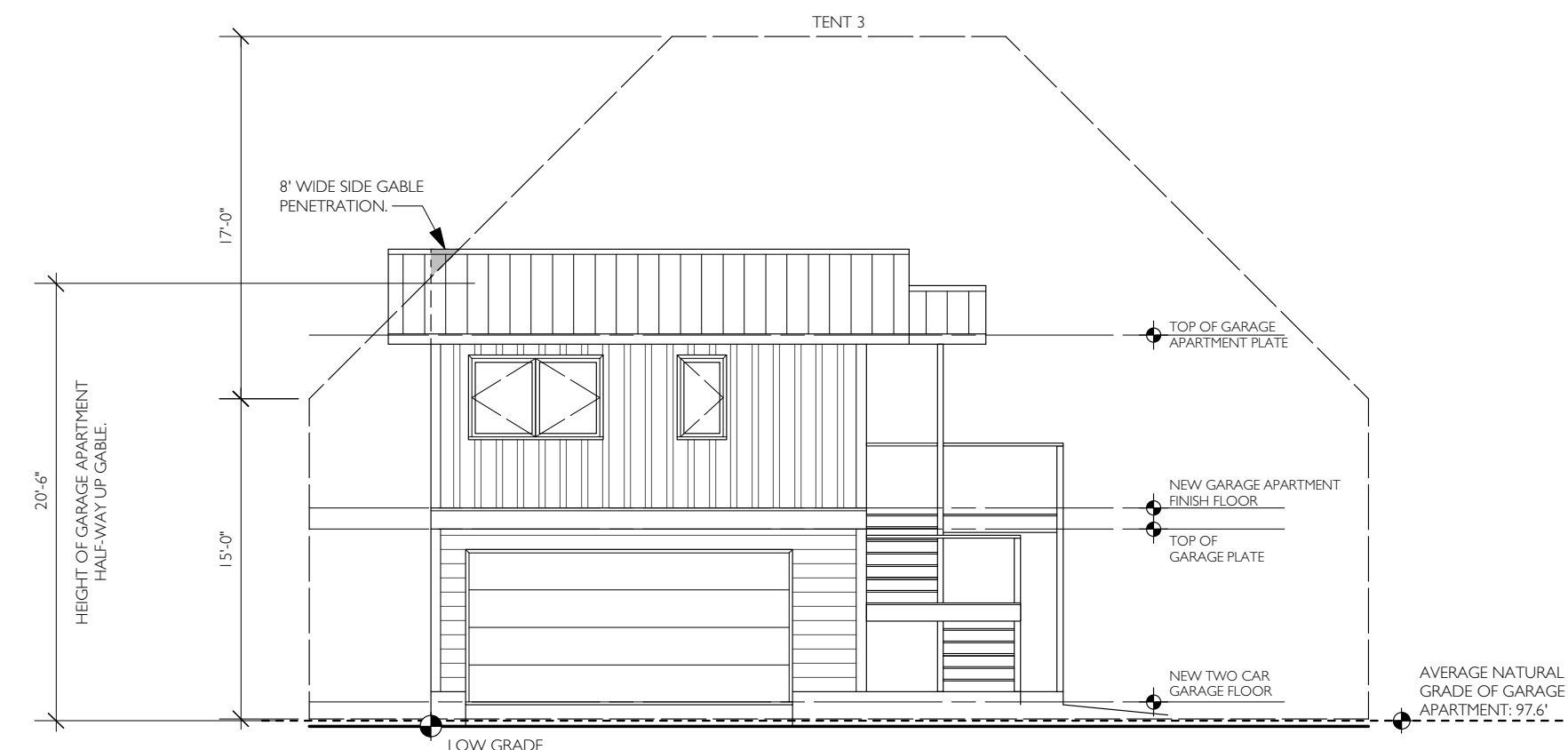
3 FRONT HOUSE:  
WEST 'TENT-PERMIT' ELEVATION  
SCALE: 1/8" = 1'-0"



4 GARAGE APARTMENT & FRONT HOUSE:  
SOUTH 'TENT-PERMIT' ELEVATION  
SCALE: 1/8" = 1'-0"

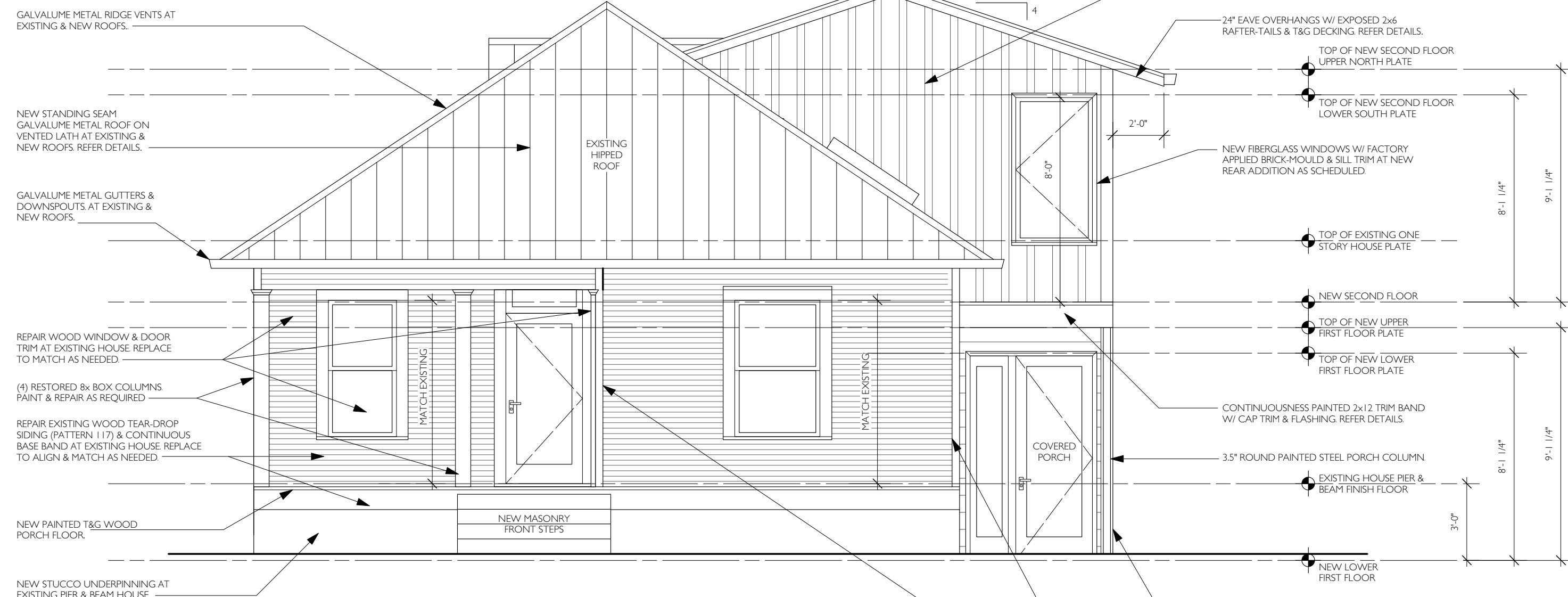
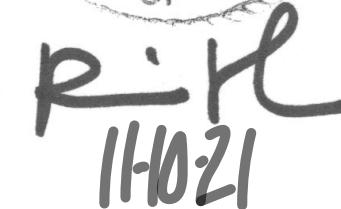


6 GARAGE APARTMENT:  
EAST 'TENT-PERMIT' ELEVATION  
SCALE: 1/8" = 1'-0"

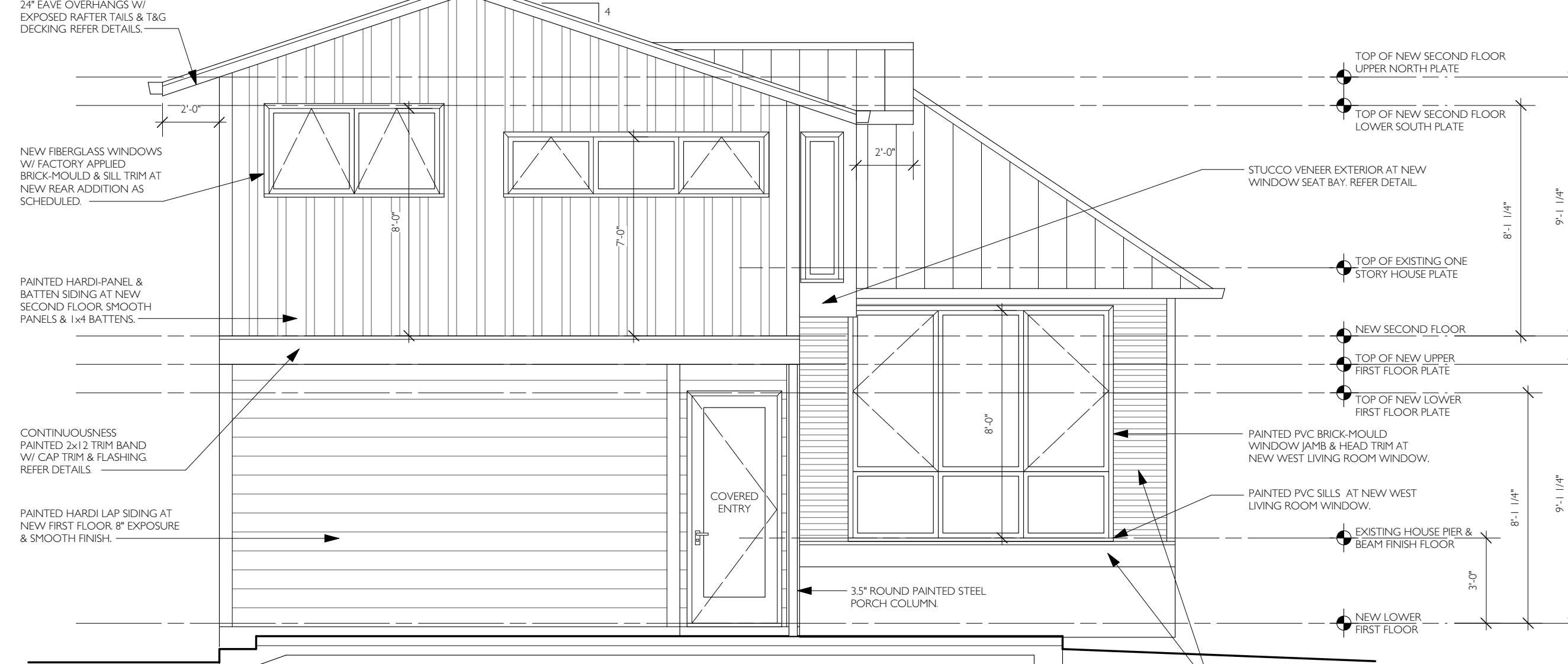


5 GARAGE APARTMENT:  
WEST 'TENT-PERMIT' ELEVATION  
SCALE: 1/8" = 1'-0"

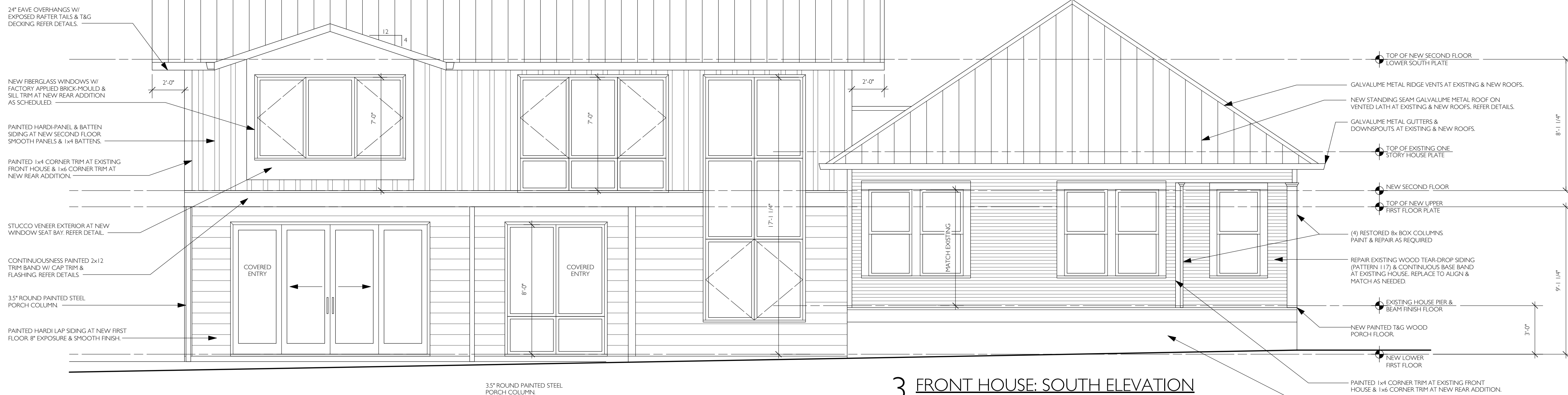




SCALE: 1/4" = 1'-0"



2 FROM

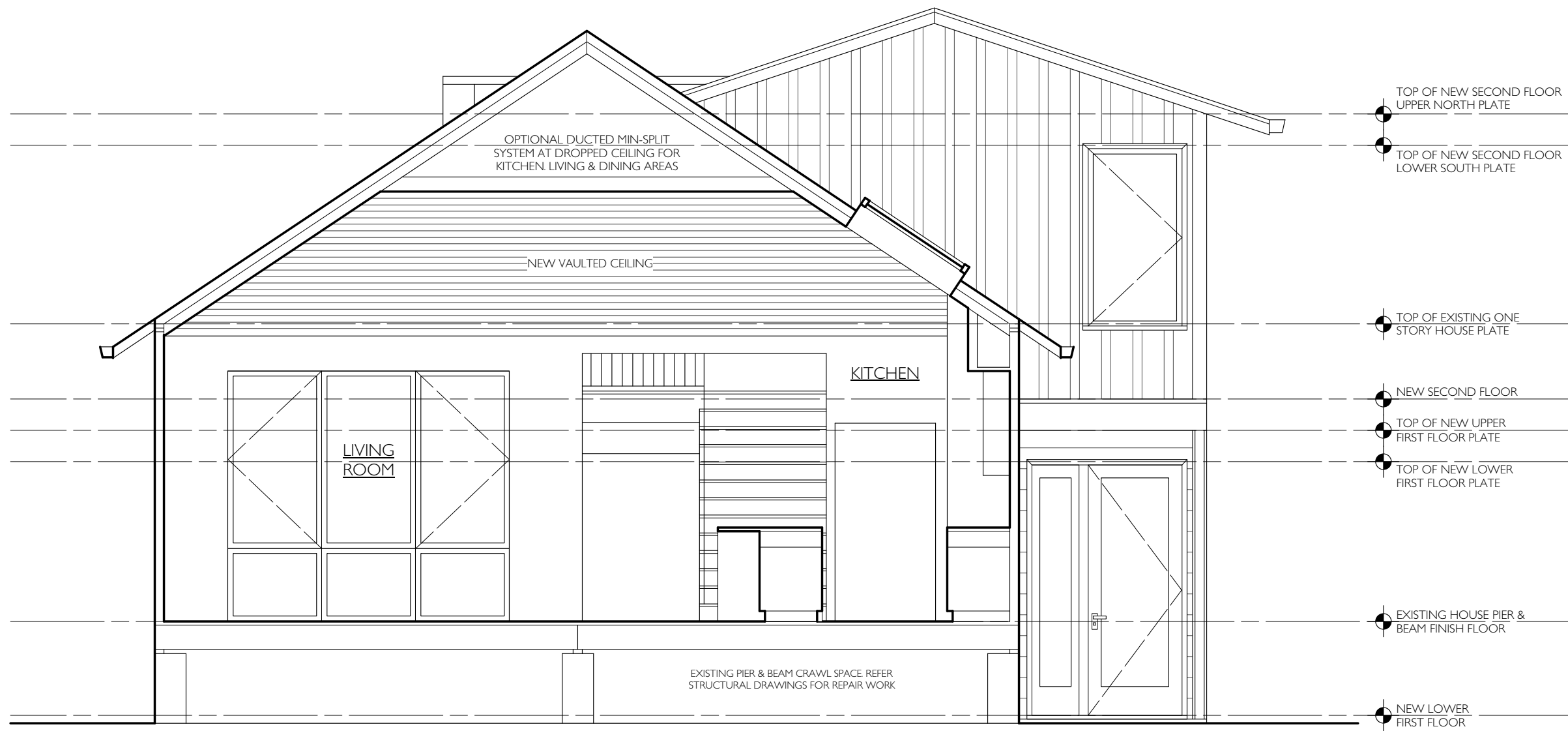


### 3 FRONT HOUSE: SOUTH ELEVATION



#### 4 FRONT HOUSE: NORTH ELEVATION

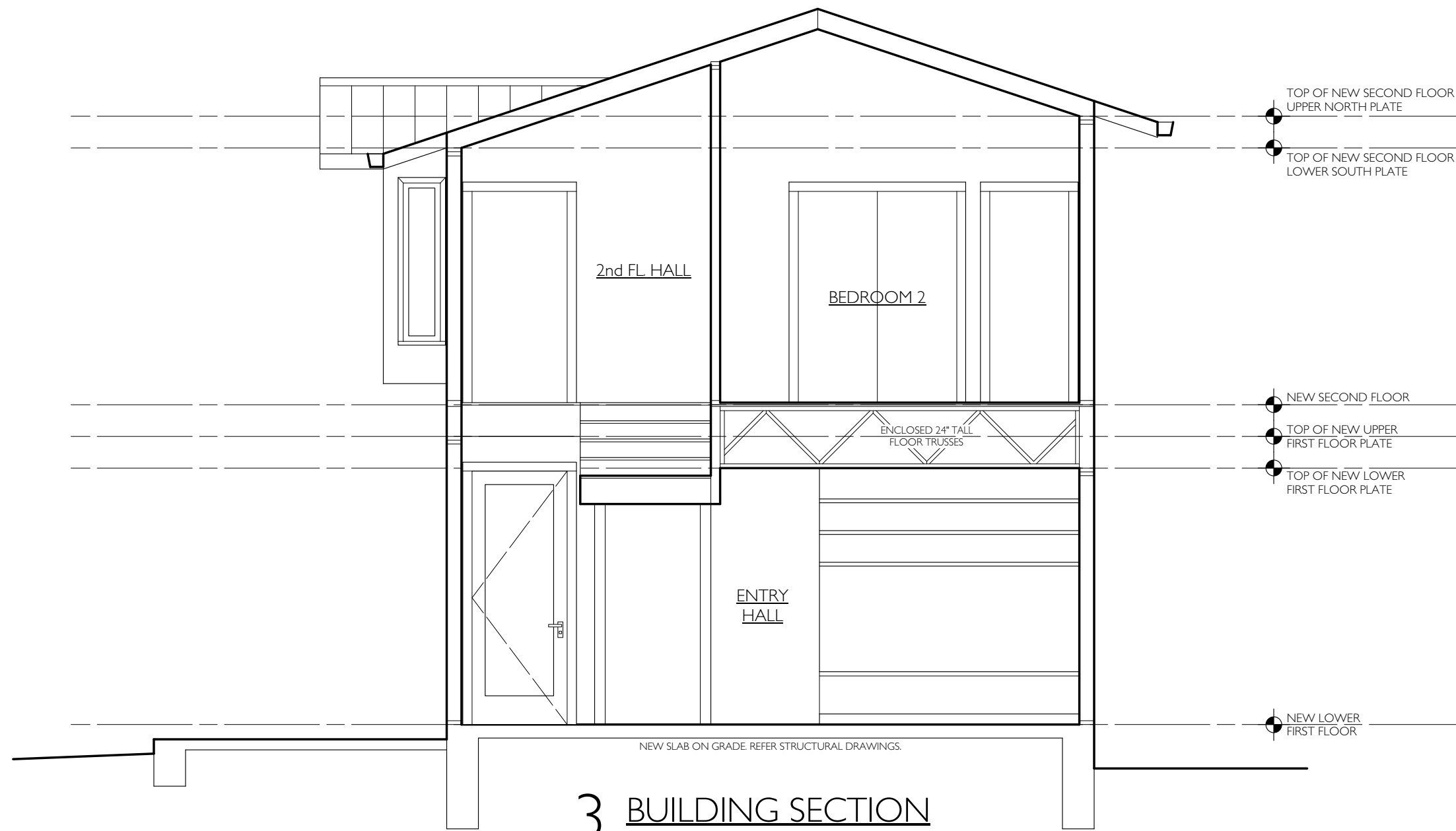




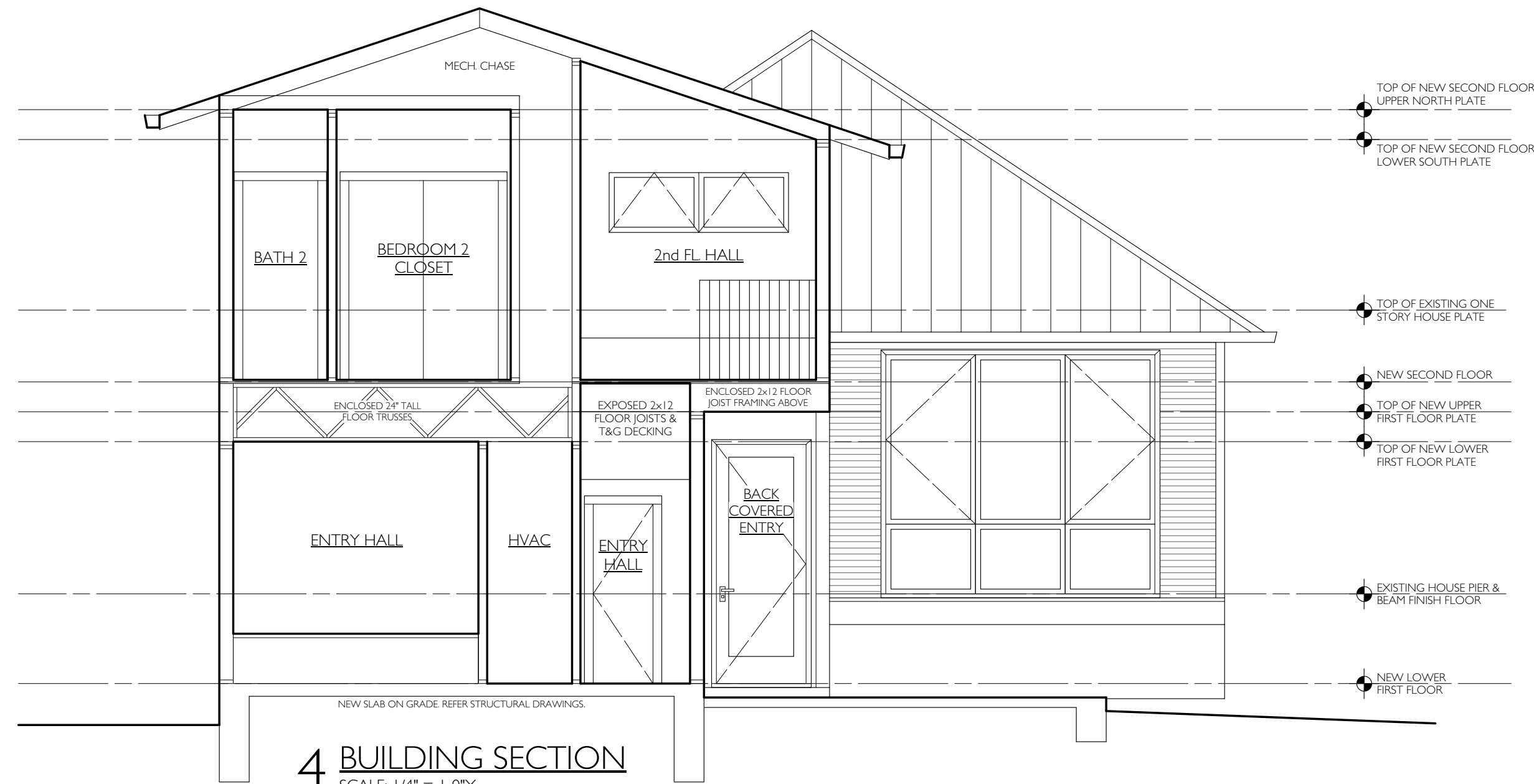
1 FRONT HOUSE: BUILDING SECTION  
SCALE: 1/4" = 1'-0"



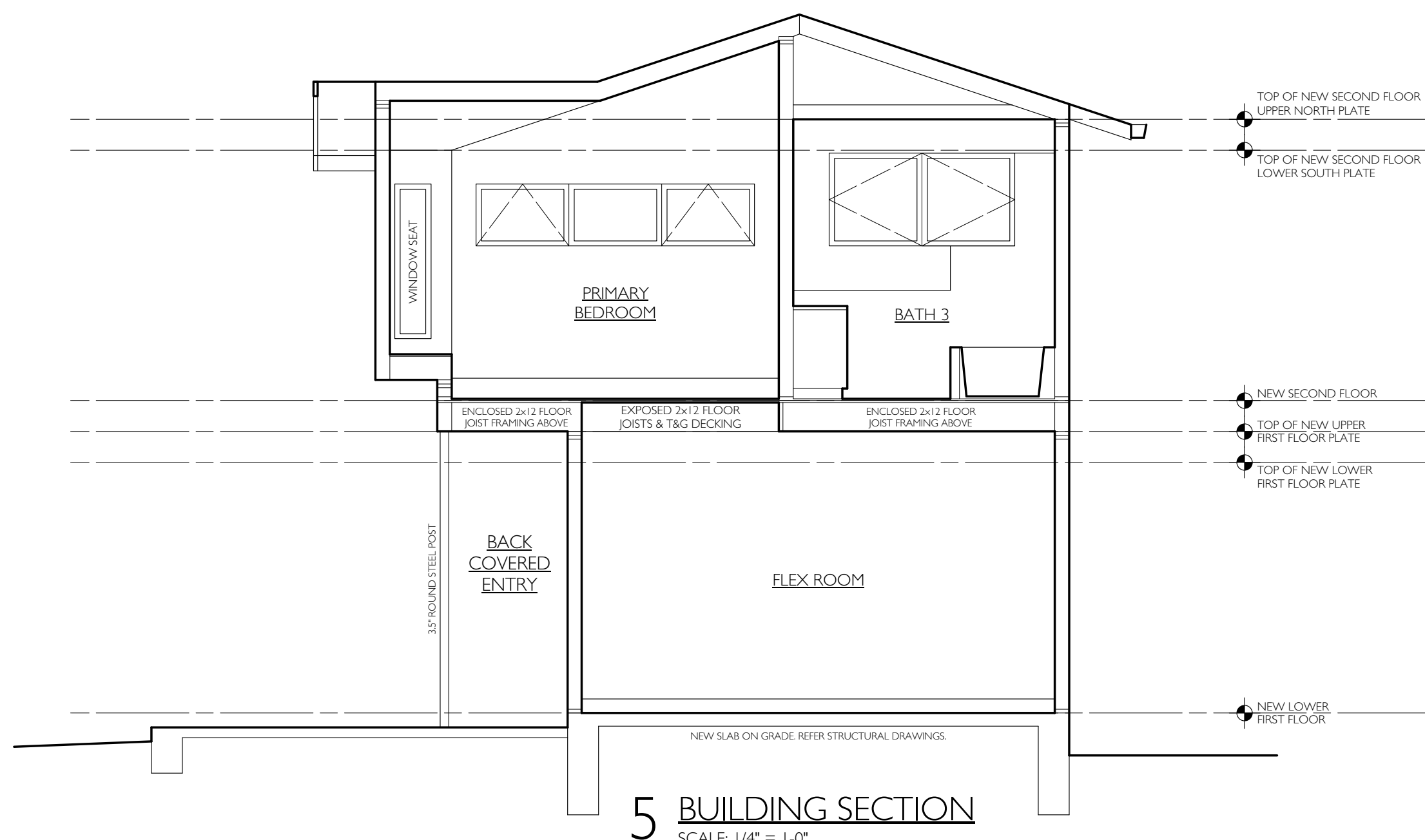
2 FRONT HOUSE: BUILDING SECTION  
SCALE: 1/4" = 1'-0"



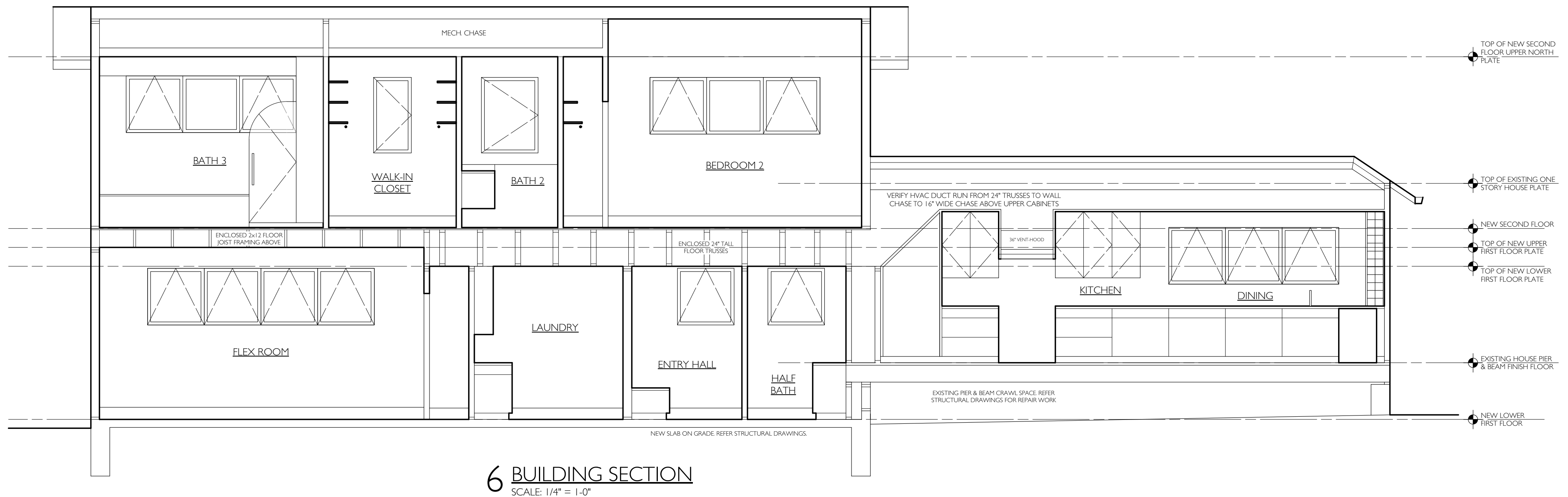
3 BUILDING SECTION  
SCALE: 1/4" = 1'-0"



4 BUILDING SECTION  
SCALE: 1/4" = 1'-0"



5 BUILDING SECTION  
SCALE: 1/4" = 1'-0"



6 BUILDING SECTION  
SCALE: 1/4" = 1'-0"



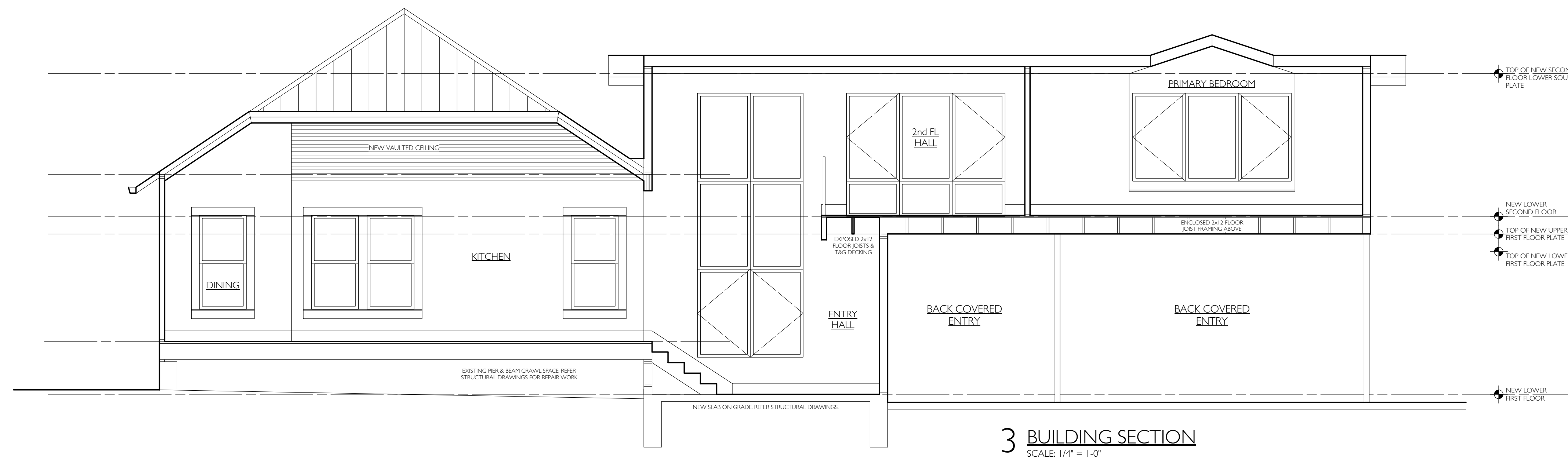
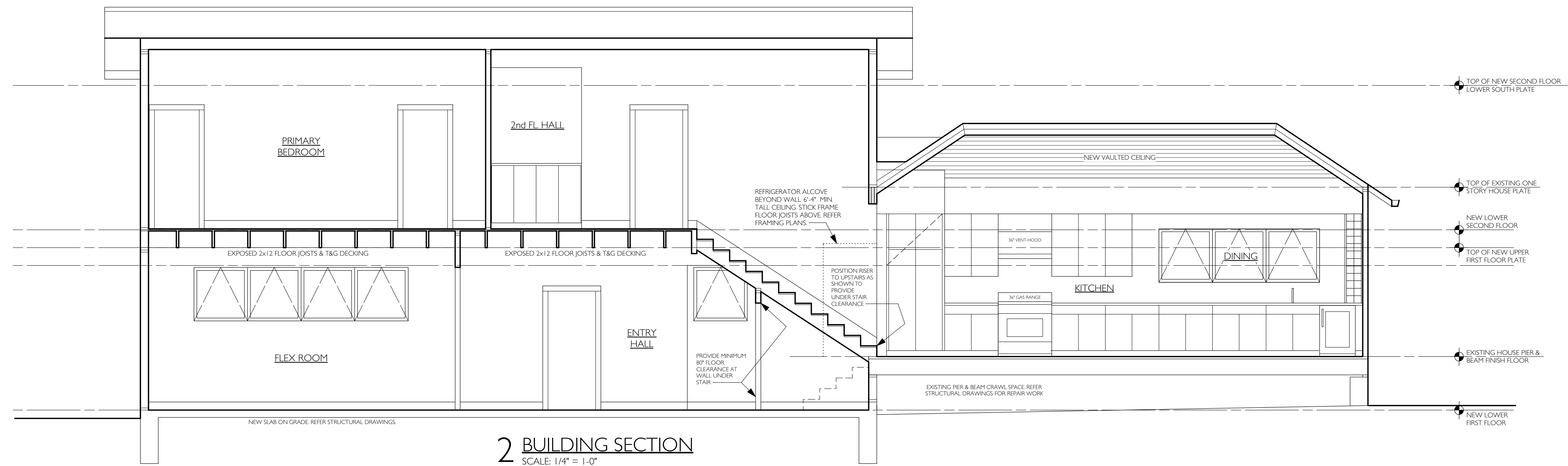
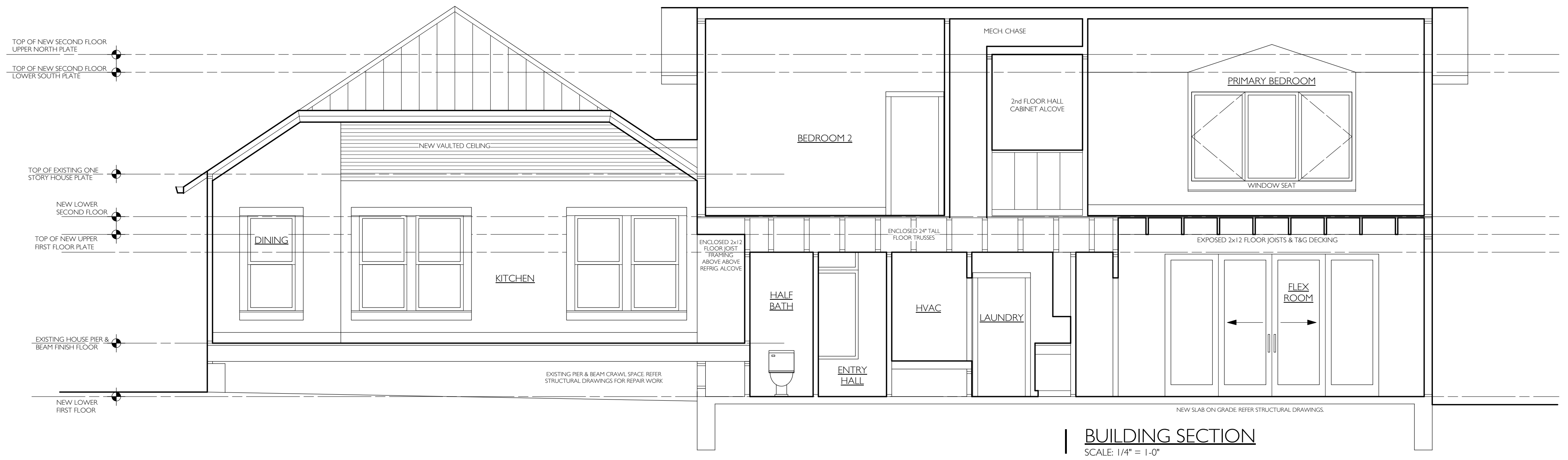
R.H.  
11-10-21

richardHUGHES Architect  
1406 West 11th Street, Austin, TX 78703  
T: 512.789.6959  
info@richardhughesarchitect.com

GOODWIN ADDITION & REMODEL  
1012 SHELLEY AVENUE, AUSTIN, TX 78703

DATE:  
6-14-21  
7-22-21  
7-29-21  
8-11-21  
9-13-21  
9-22-21  
10-4-21  
10-14-21  
11-9-21  
11-10-21

A6



R.H.  
11-10-21

richardHUGHES Architect  
1406 West 11th Street, Austin, TX 78703  
T: 512.789.6959  
info@richardhughesarchitect.com

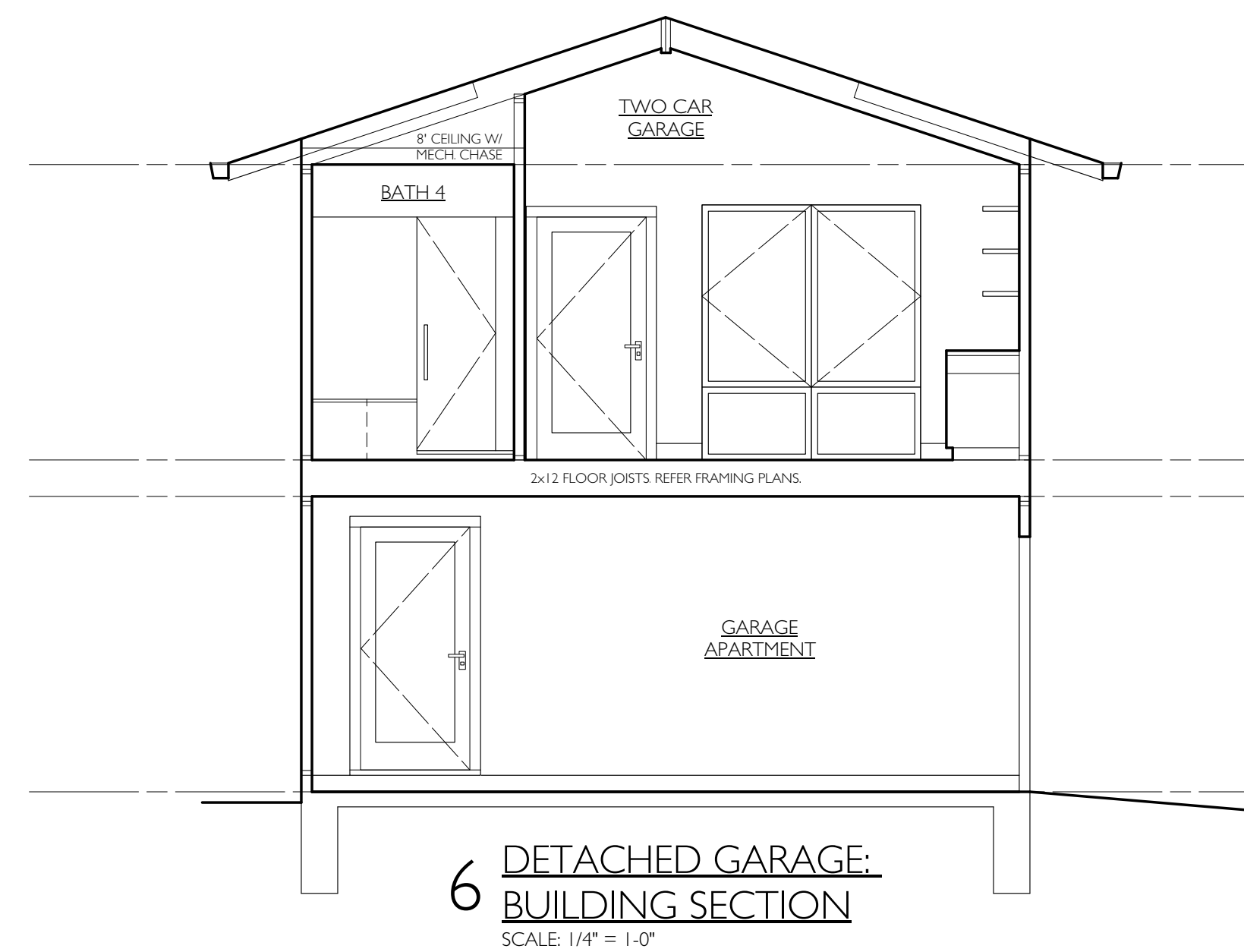
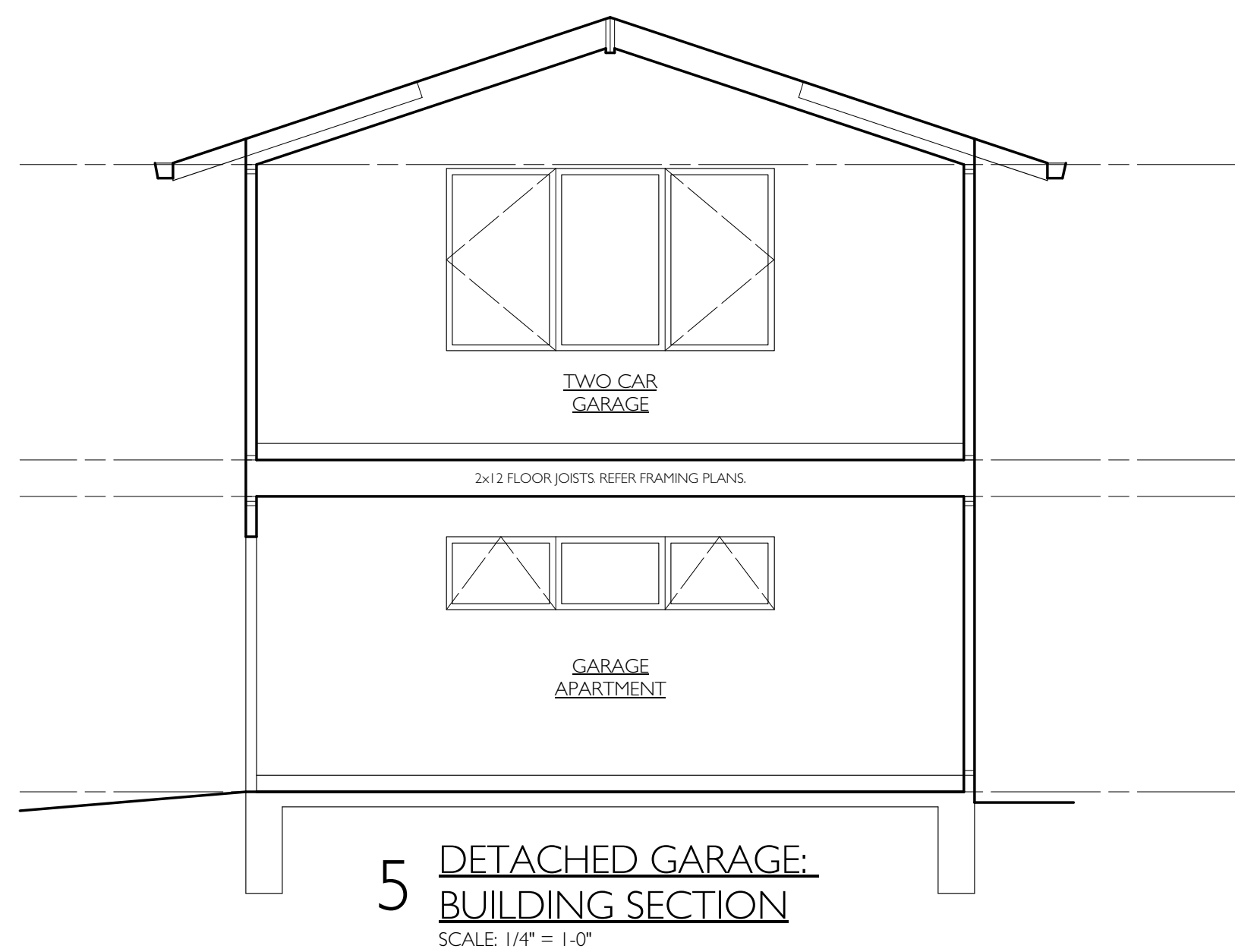
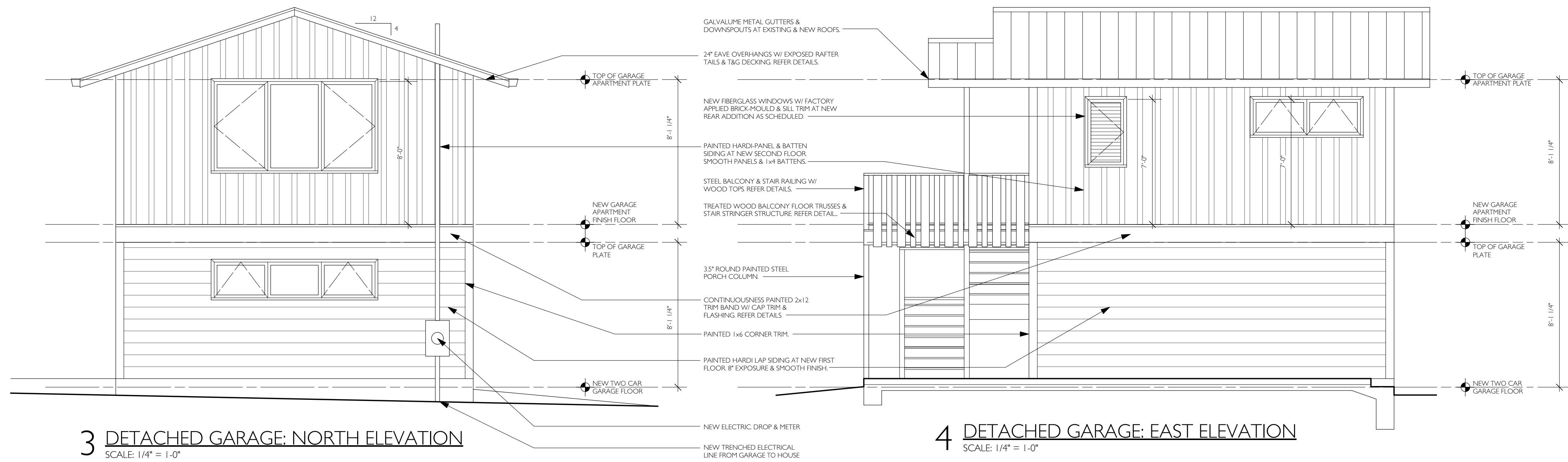
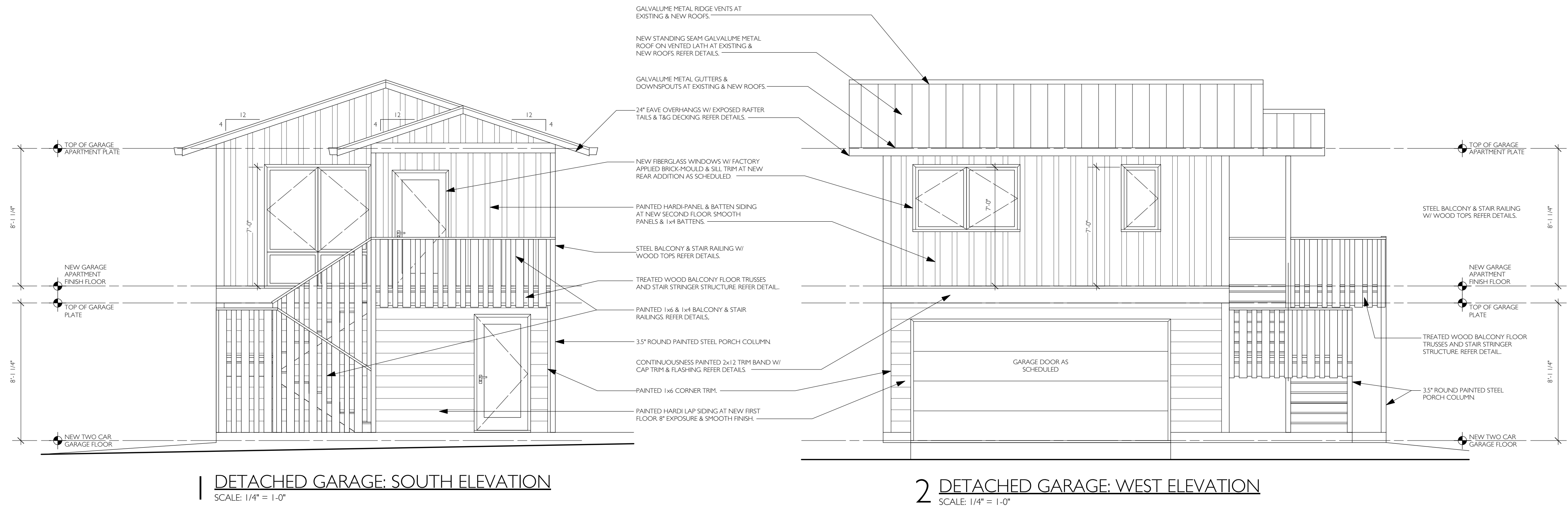


GOODWIN ADDITION & REMODEL  
1012 SHELLEY AVENUE, AUSTIN, TX 78703

DATE:

6-14-21  
7-22-21  
7-29-21  
8-11-21  
9-13-21  
9-22-21  
10-4-21  
10-14-21  
11-9-21  
11-10-21

A7



richardHUGHES Architect  
1406 West 11th Street, Austin, TX 78703  
T: 512.789.6959  
info@richardhughesarchitect.com

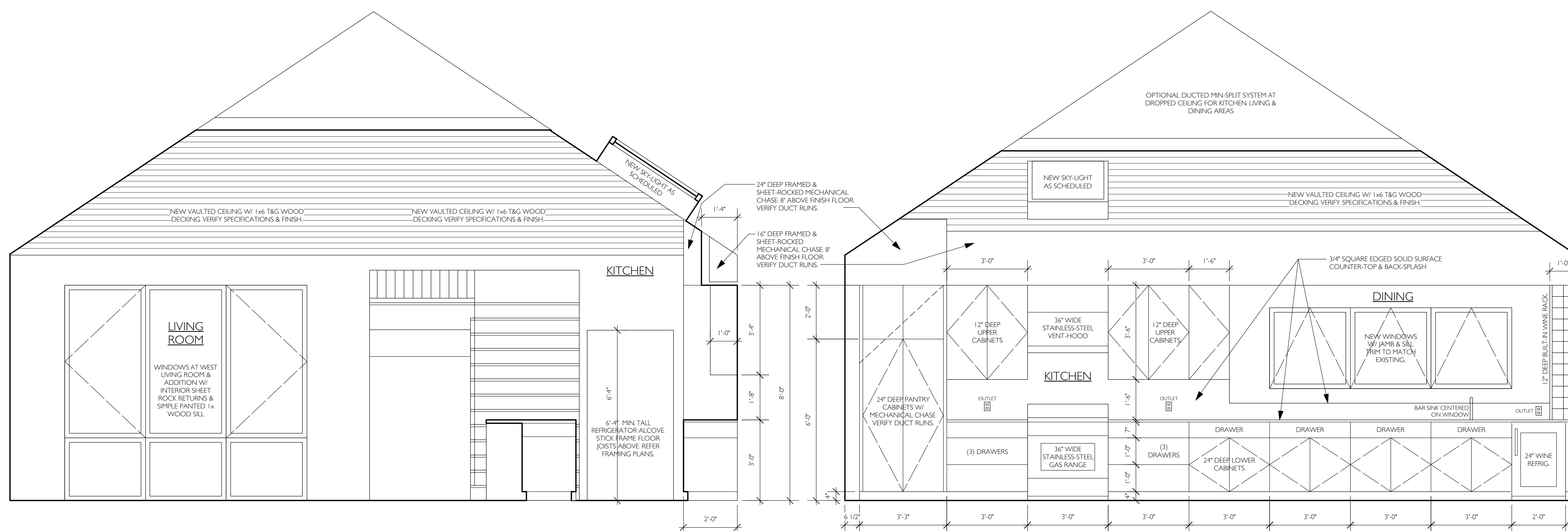
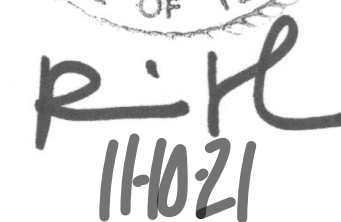
GOODWIN ADDITION & REMODEL  
1012 SHELLEY AVENUE, AUSTIN, TX 78703

DATE:

6-14-21  
7-22-21  
7-29-21  
8-11-21  
9-13-21  
9-22-21  
10-4-21  
10-14-21  
11-9-21  
11-10-21

A8



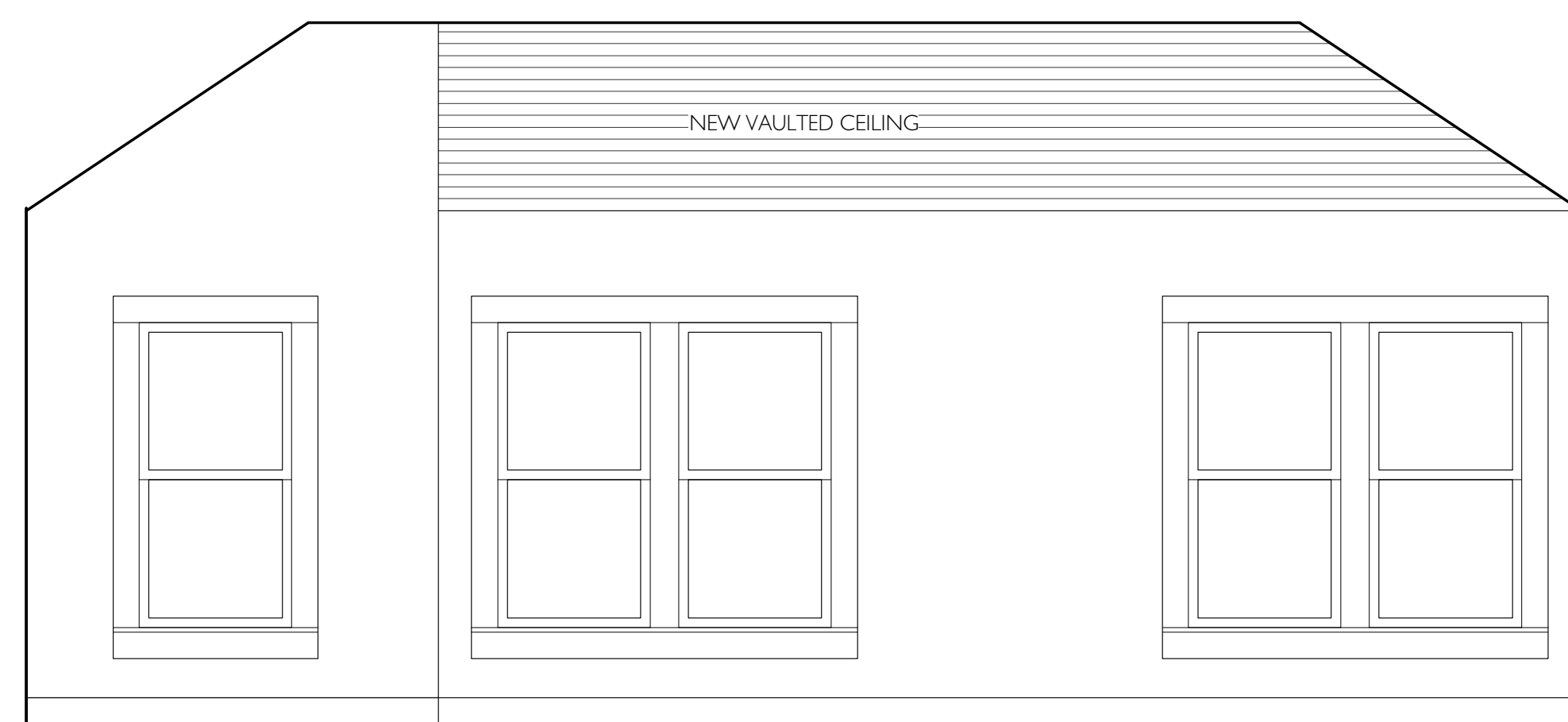


LIVING ROOM & KITCHEN: WEST  
SCALE: 3/8" = 1'-0"

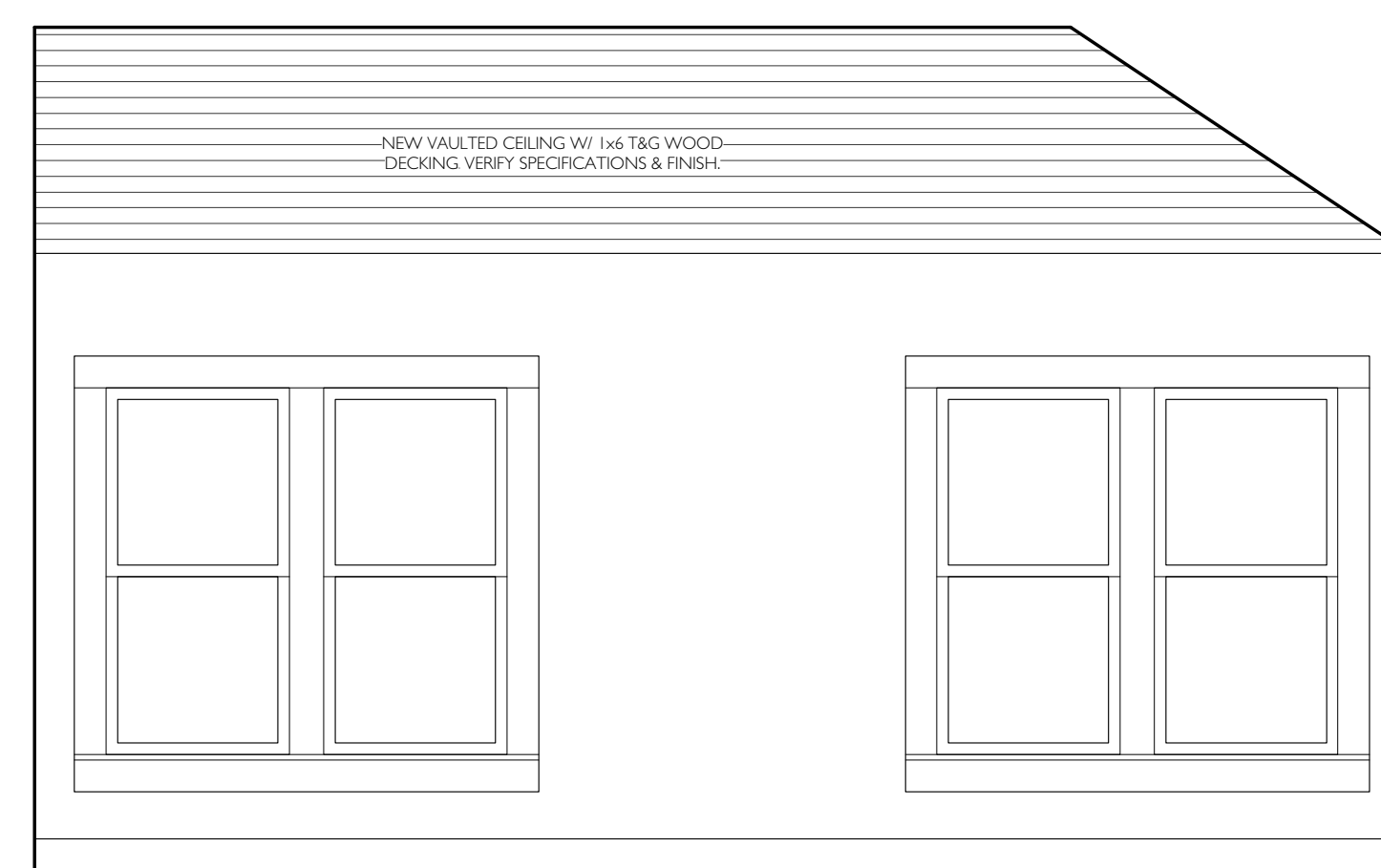
## 2 KITCHEN & DINING ROOM: NORTH



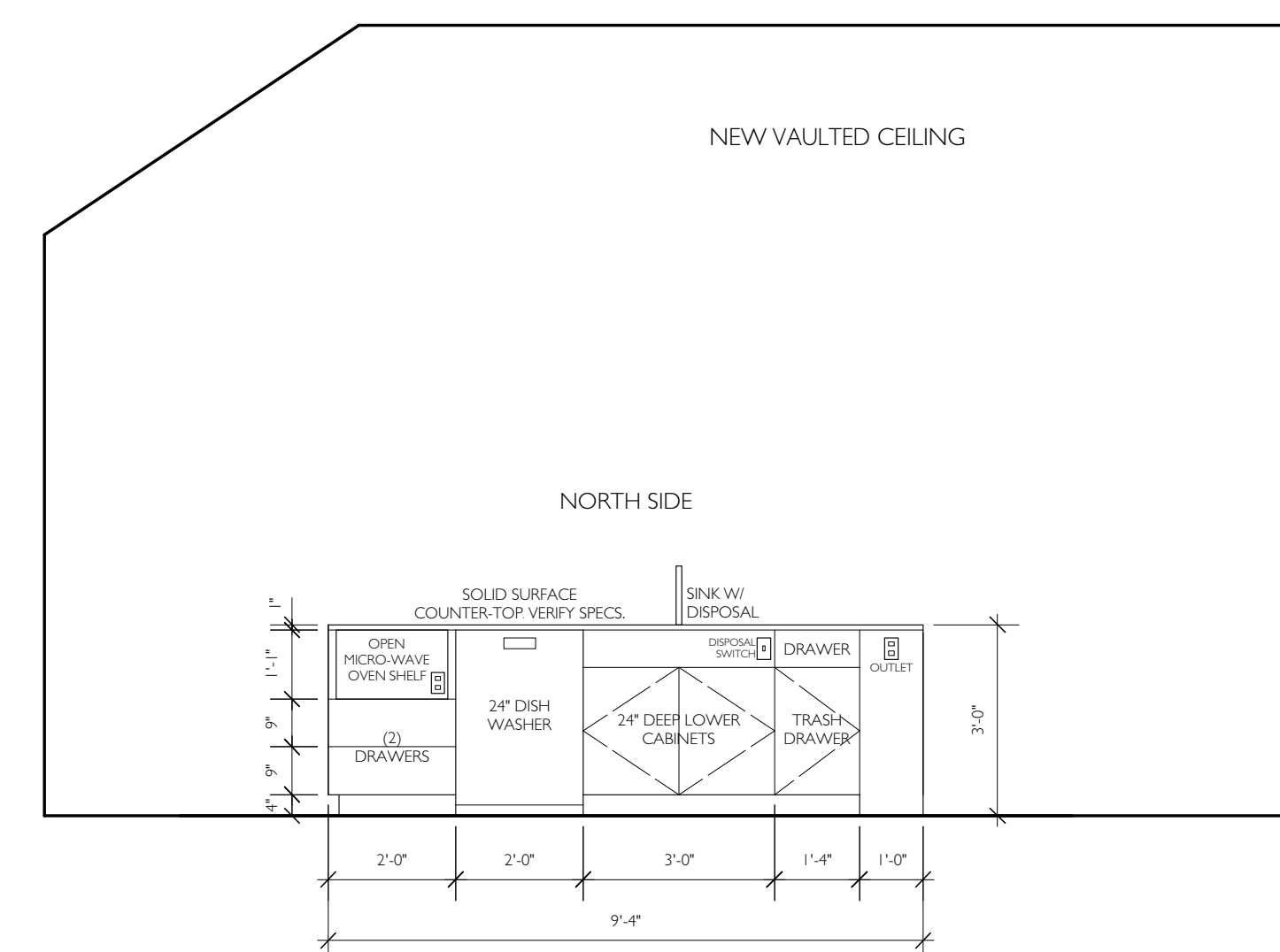
### 3 DINING & LIVING ROOM: EAST



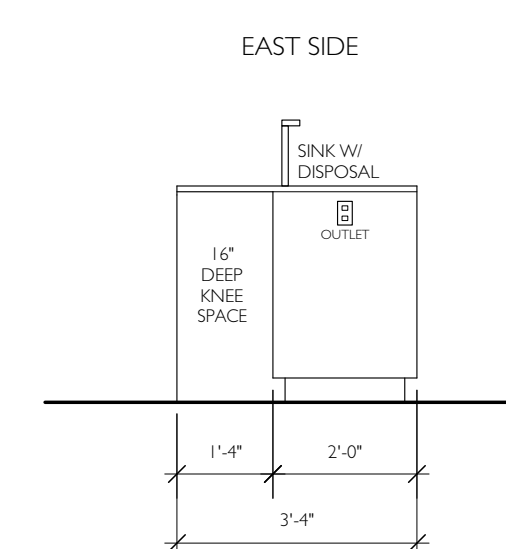
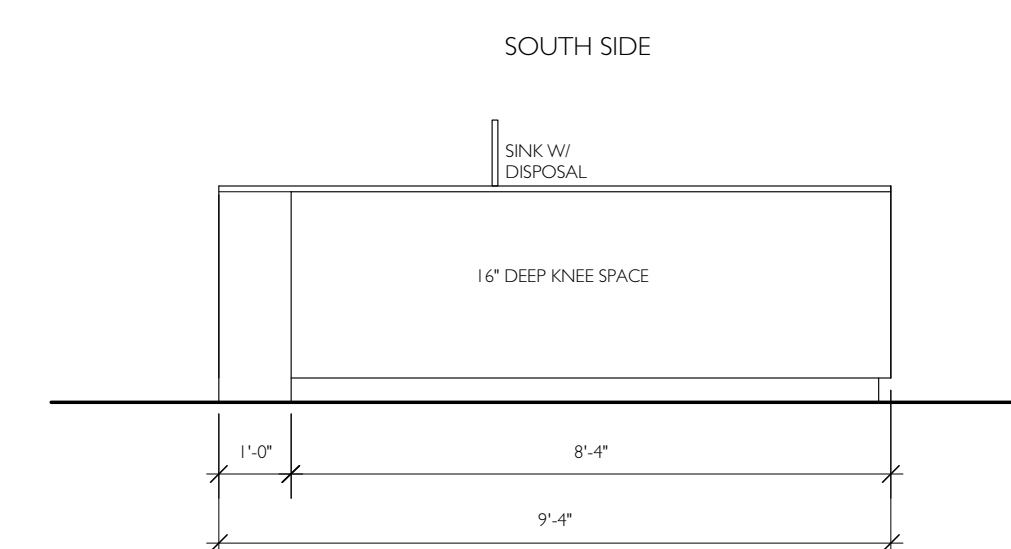
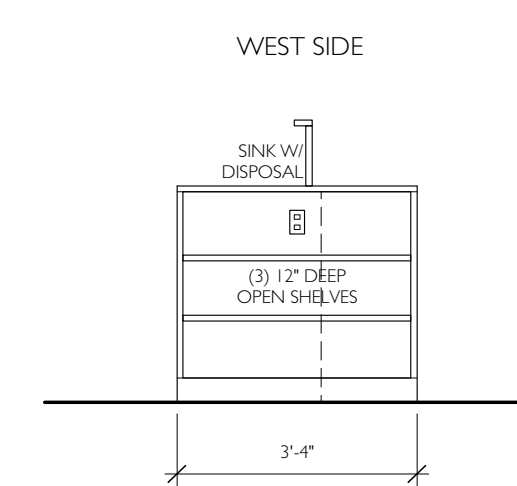
#### 4 DINING & KITCHEN ROOM: SOUTH



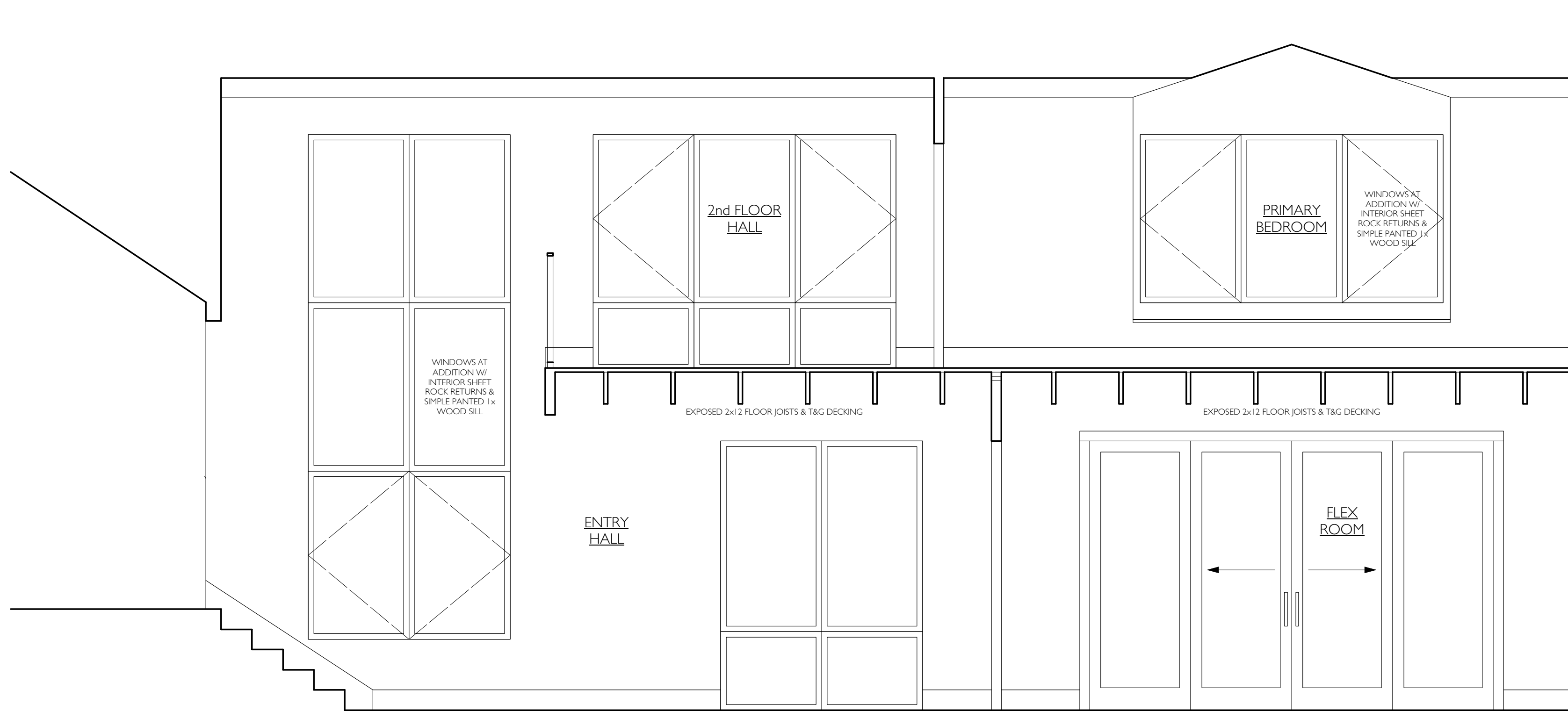
5 LIVING ROOM: SOUTH  
SCALE: 3/8" = 1'-0"



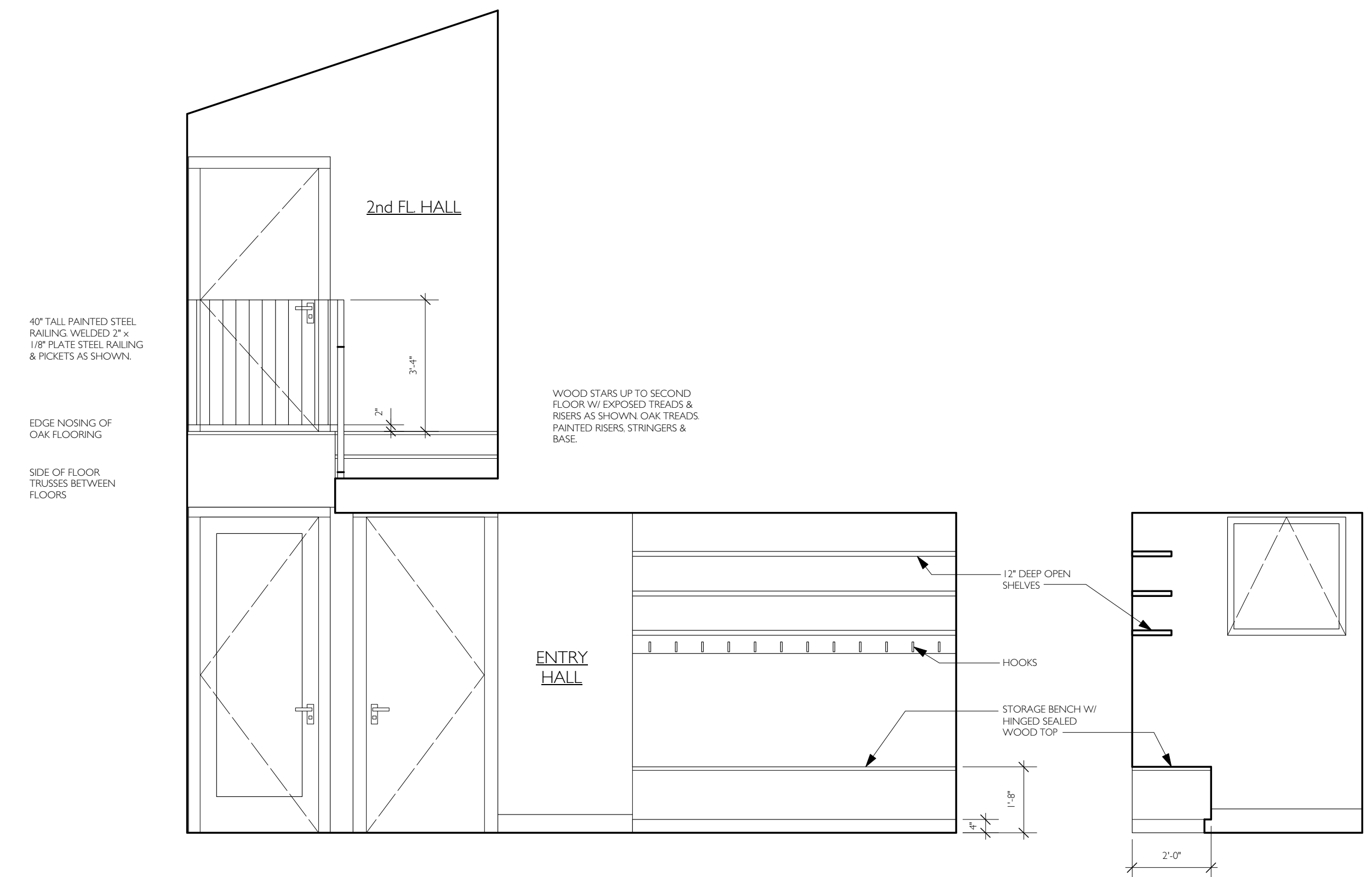
6 LIVING ROOM: NORTH  
SCALE: 3/8" = 1'-0"



## 7 KITCHEN ISLAND

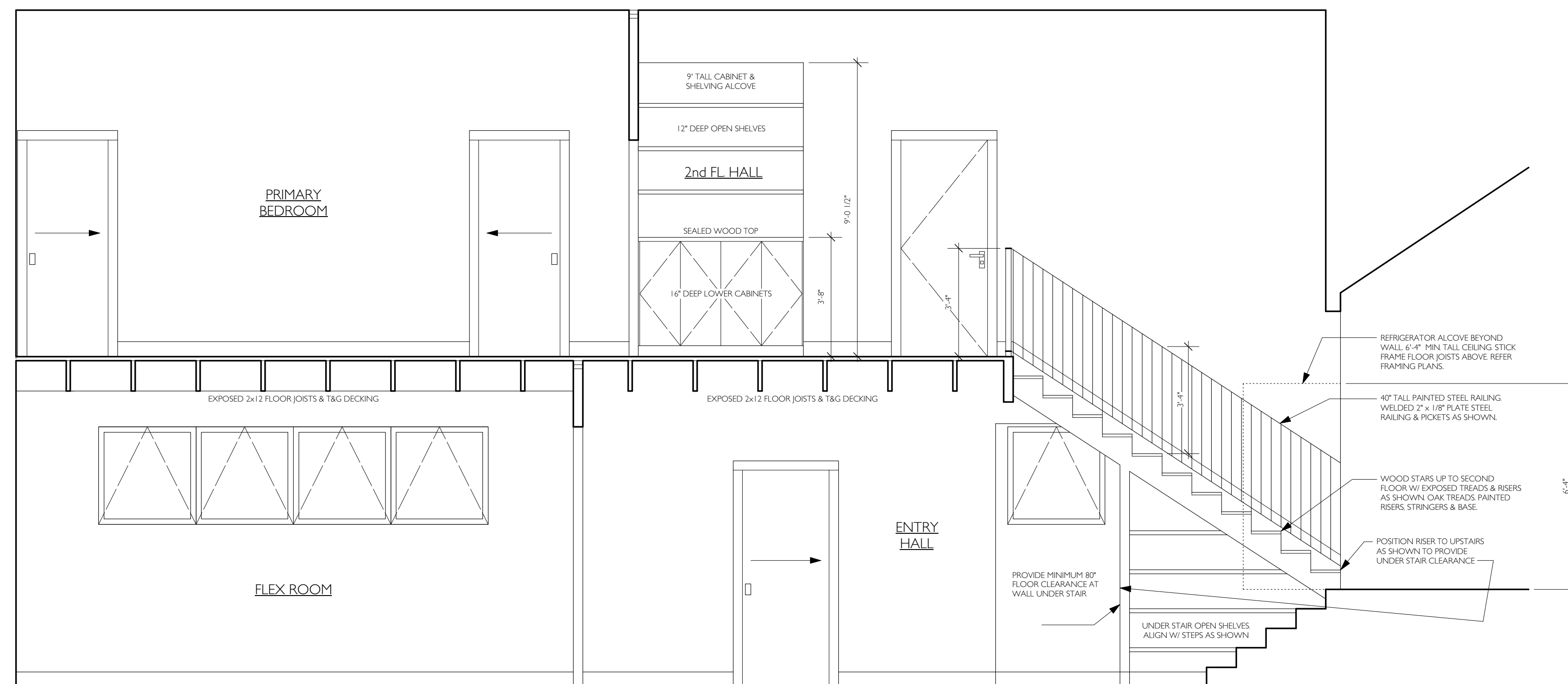


1 ENTRY HALL, FLEX ROOM, 2ND FLOOR HALL & PRIMARY BEDROOM: SOUTH  
SCALE: 3/8" = 1'-0"

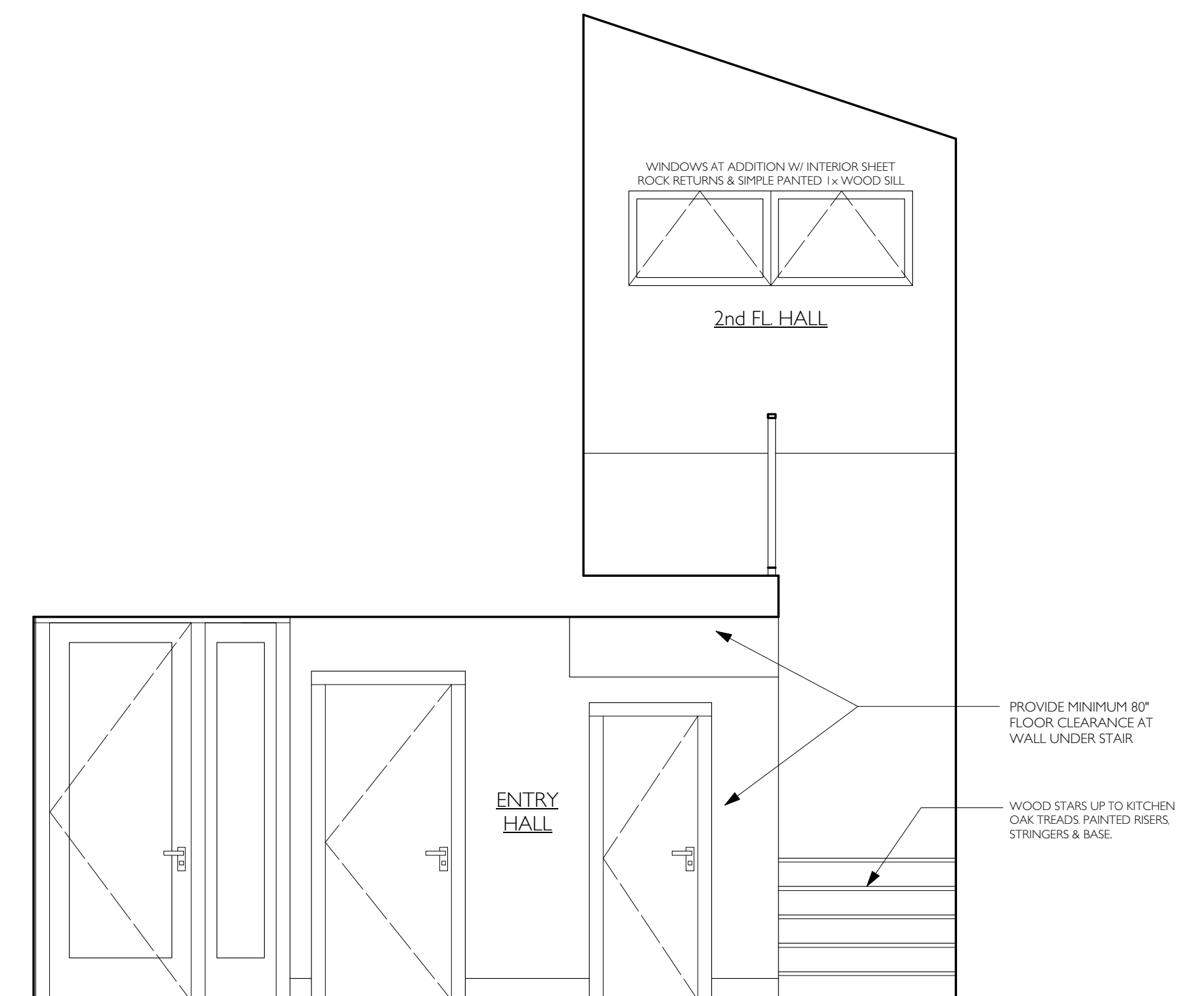


2 ENTRY HALL & 2ND FLOOR HALL: WEST  
SCALE: 3/8" = 1'-0"

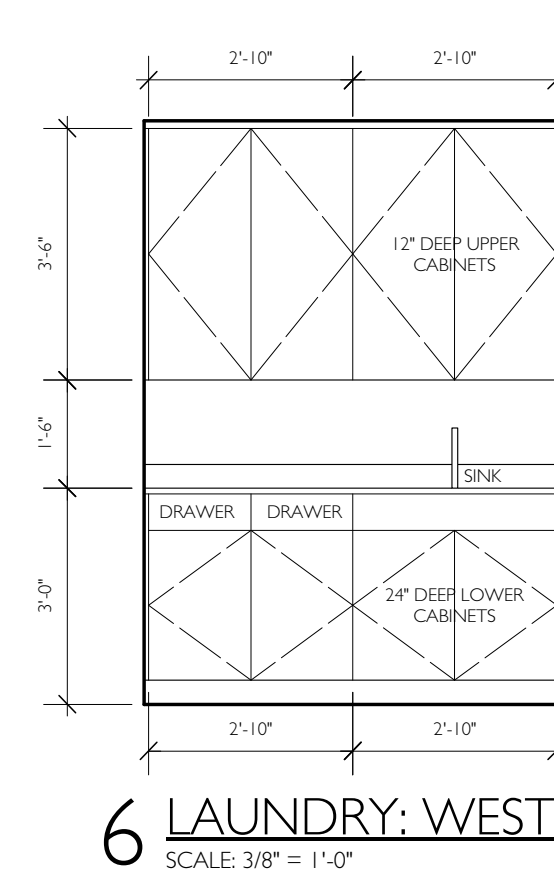
3 ENTRY HALL: NORTH  
SCALE: 3/8" = 1'-0"



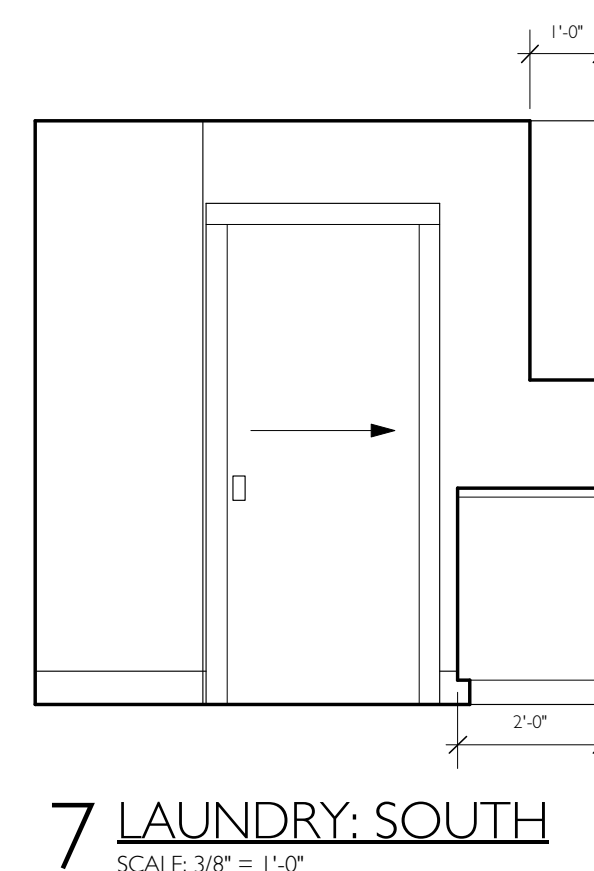
4 FLEX ROOM, ENTRY HALL, PRIMARY BEDROOM & 2ND FLOOR HALL & NORTH  
SCALE: 3/8" = 1'-0"



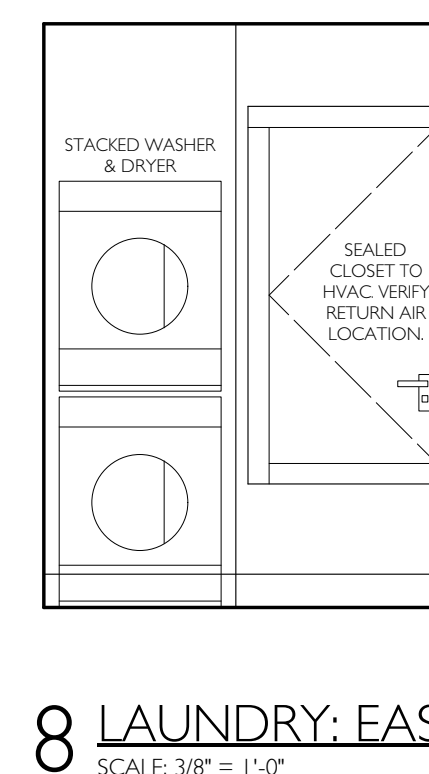
5 ENTRY HALL & 2ND FLOOR HALL: EAST  
SCALE: 3/8" = 1'-0"



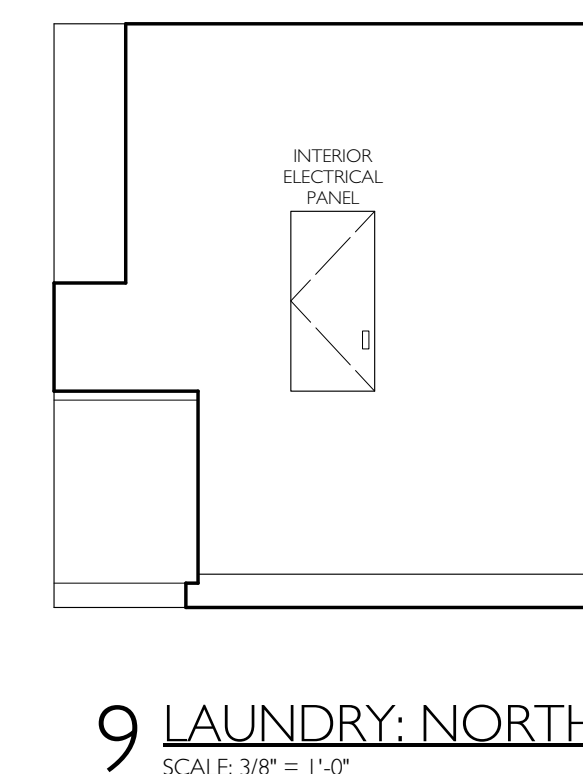
6 LAUNDRY: WEST  
SCALE: 3/8" = 1'-0"



7 LAUNDRY: SOUTH  
SCALE: 3/8" = 1'-0"



8 LAUNDRY: EAST  
SCALE: 3/8" = 1'-0"



9 LAUNDRY: NORTH  
SCALE: 3/8" = 1'-0"



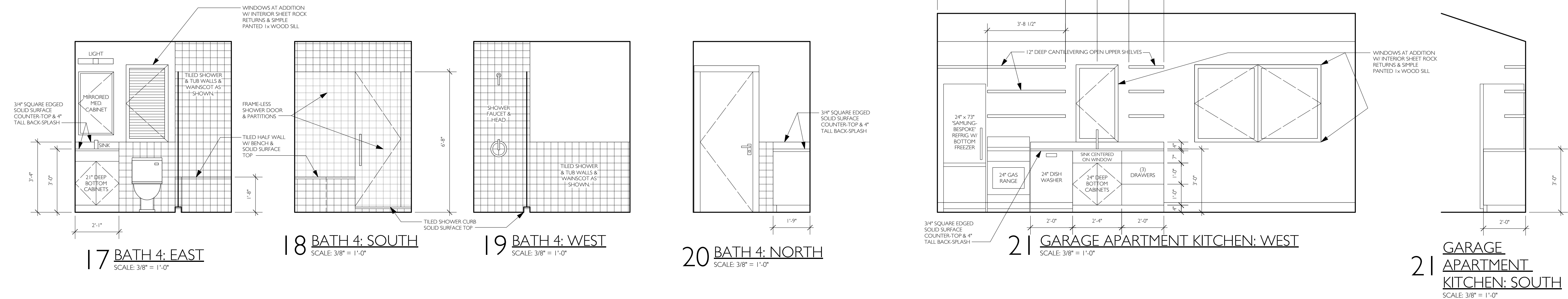
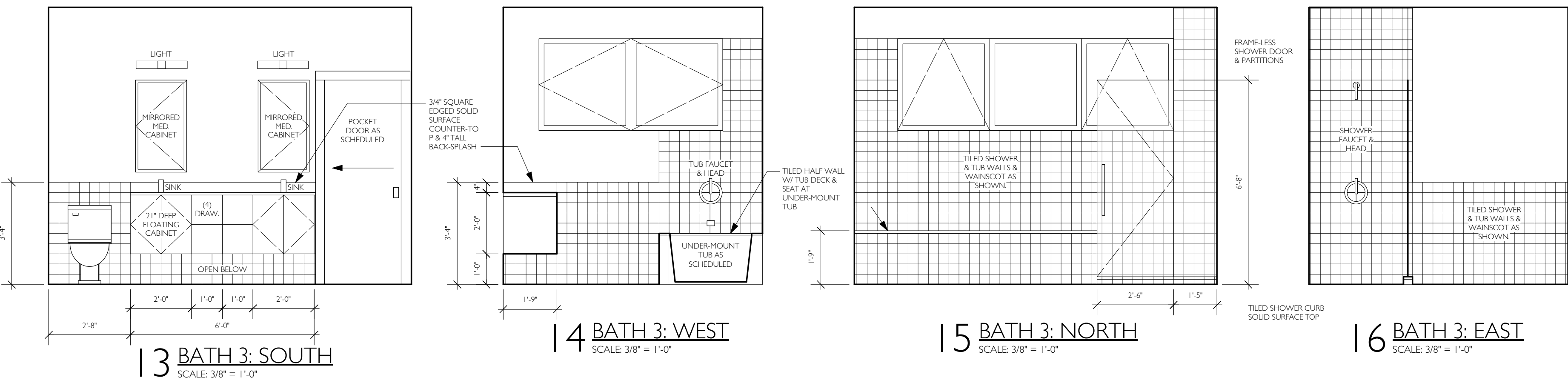
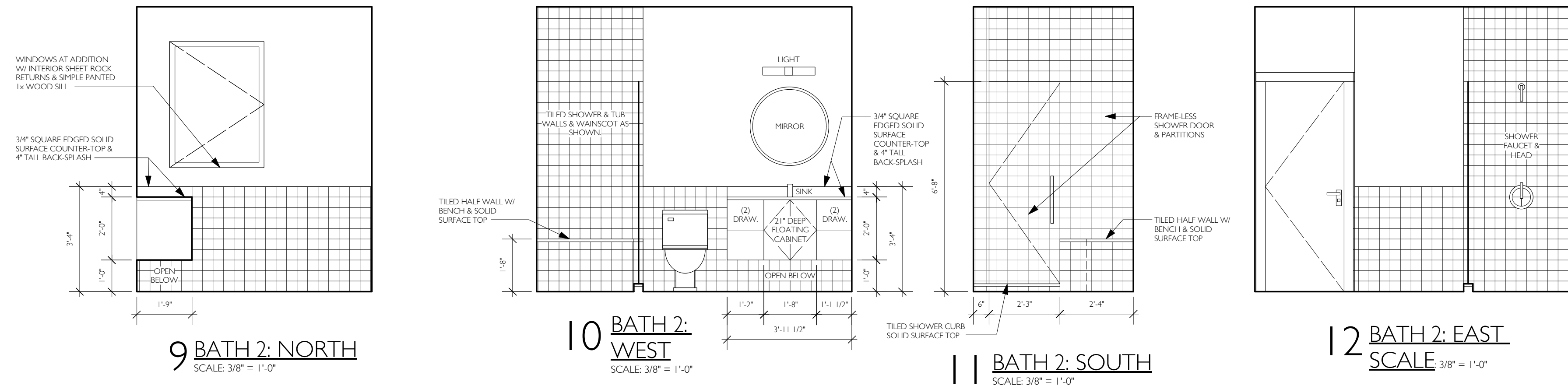
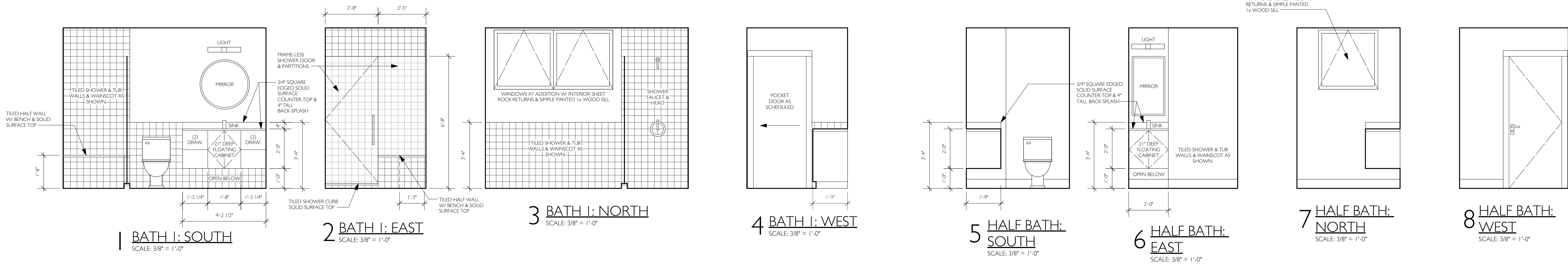
**richard HUGHES** Architect  
1406 West 11th Street, Austin, TX 78703  
T: 512.789.6959  
info@richardhughesarchitect.com

**GOODWIN ADDITION & REMODEL**  
1012 SHELLEY AVENUE, AUSTIN, TX 78703

**DATE:**  
6-14-21  
7-22-21  
7-29-21  
8-11-21  
9-13-21  
9-22-21  
10-4-21  
10-14-21  
11-9-21  
11-10-21

**A10**





richardHUGHES Architect  
1406 West 11th Street, Austin, TX 78703  
T: 512.789.6959  
info@richardhughesarchitect.com

GOODWIN ADDITION & REMODEL  
1012 SHELLEY AVENUE, AUSTIN, TX 78703

DATE:  
6-14-21  
7-22-21  
7-29-21  
8-11-21  
9-13-21  
9-22-21  
10-4-21  
10-14-21  
11-9-21  
11-10-21

ALL



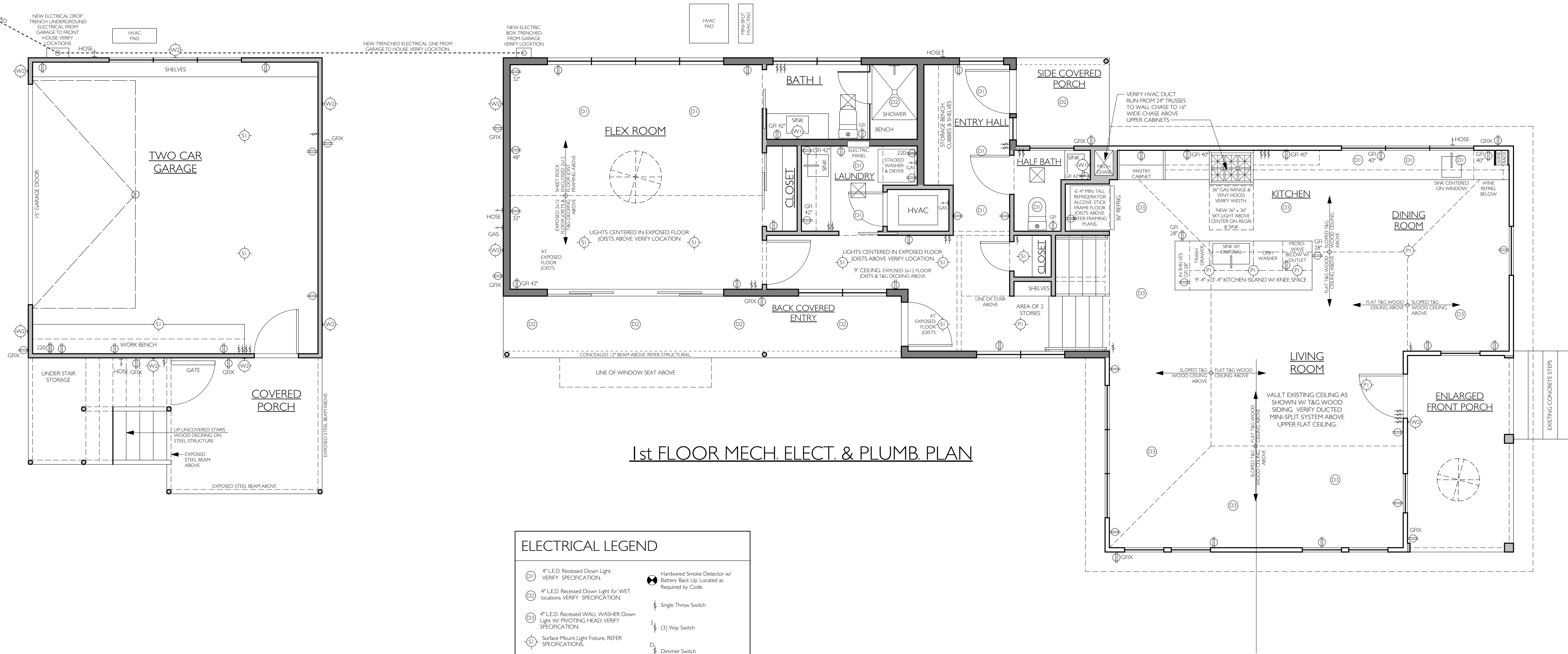
richard**HUGHES** Architect  
1406 West 11th Street, Austin, TX 78703  
T: 512.789.6959  
info@richardhughesarchitect.com

# GOODWIN ADDITION & REMODEL

1012 SHELLEY AVENUE, AUSTIN, TX 78703

**DATE:**  
6-14-21  
7-22-21  
7-29-21  
8-11-21  
9-13-21  
9-22-21  
10-4-21  
10-14-21  
11-9-21  
11-10-21

MEP  
I



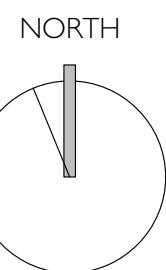
1st FLOOR MECH. ELECT. & PLUMB. PLAN

## ELECTRICAL LEGEND

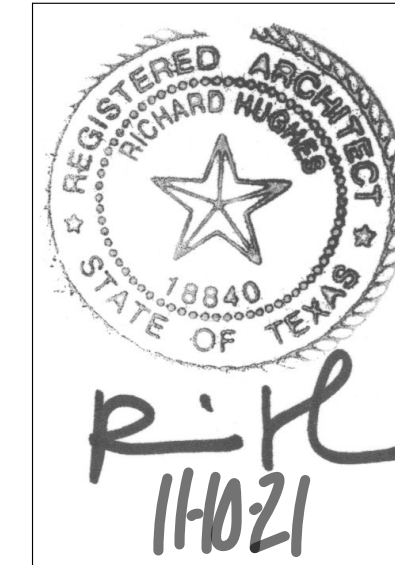
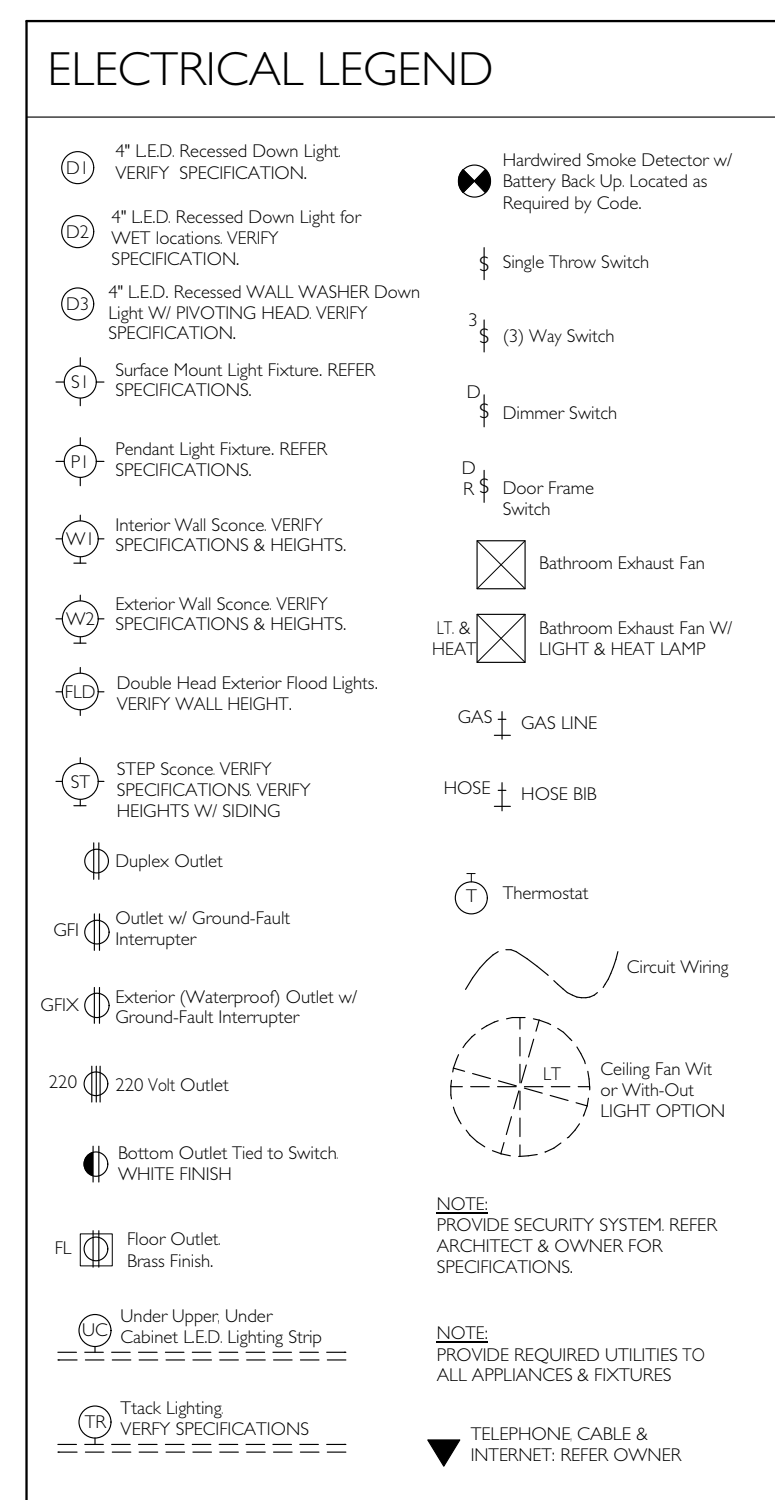
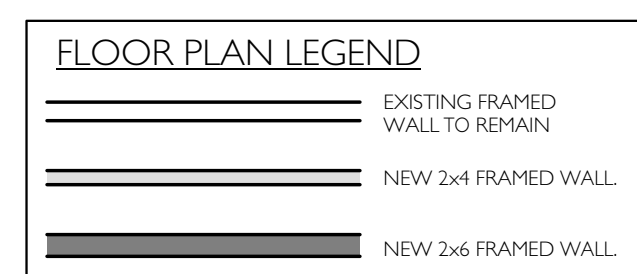
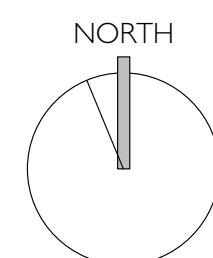
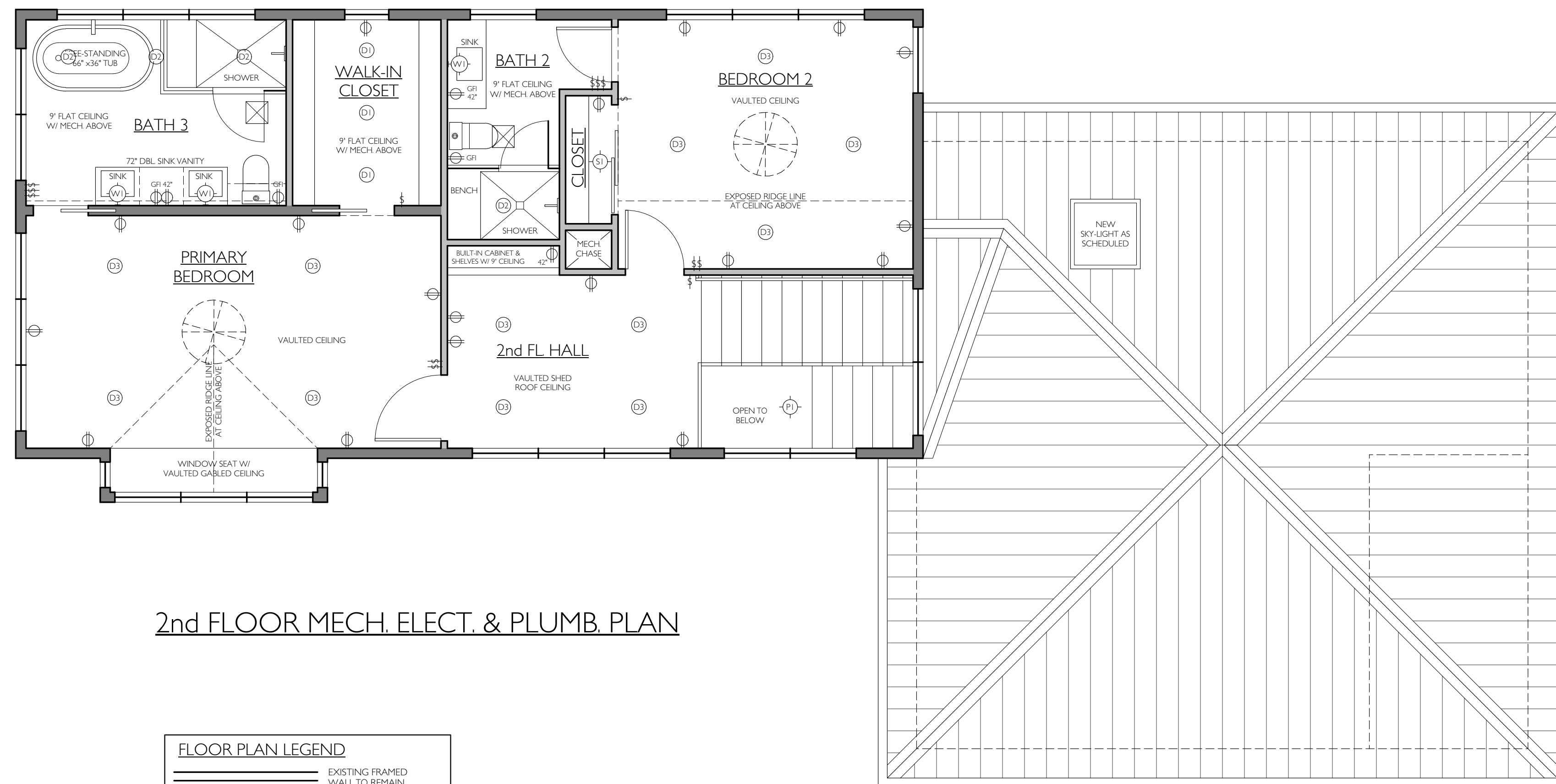
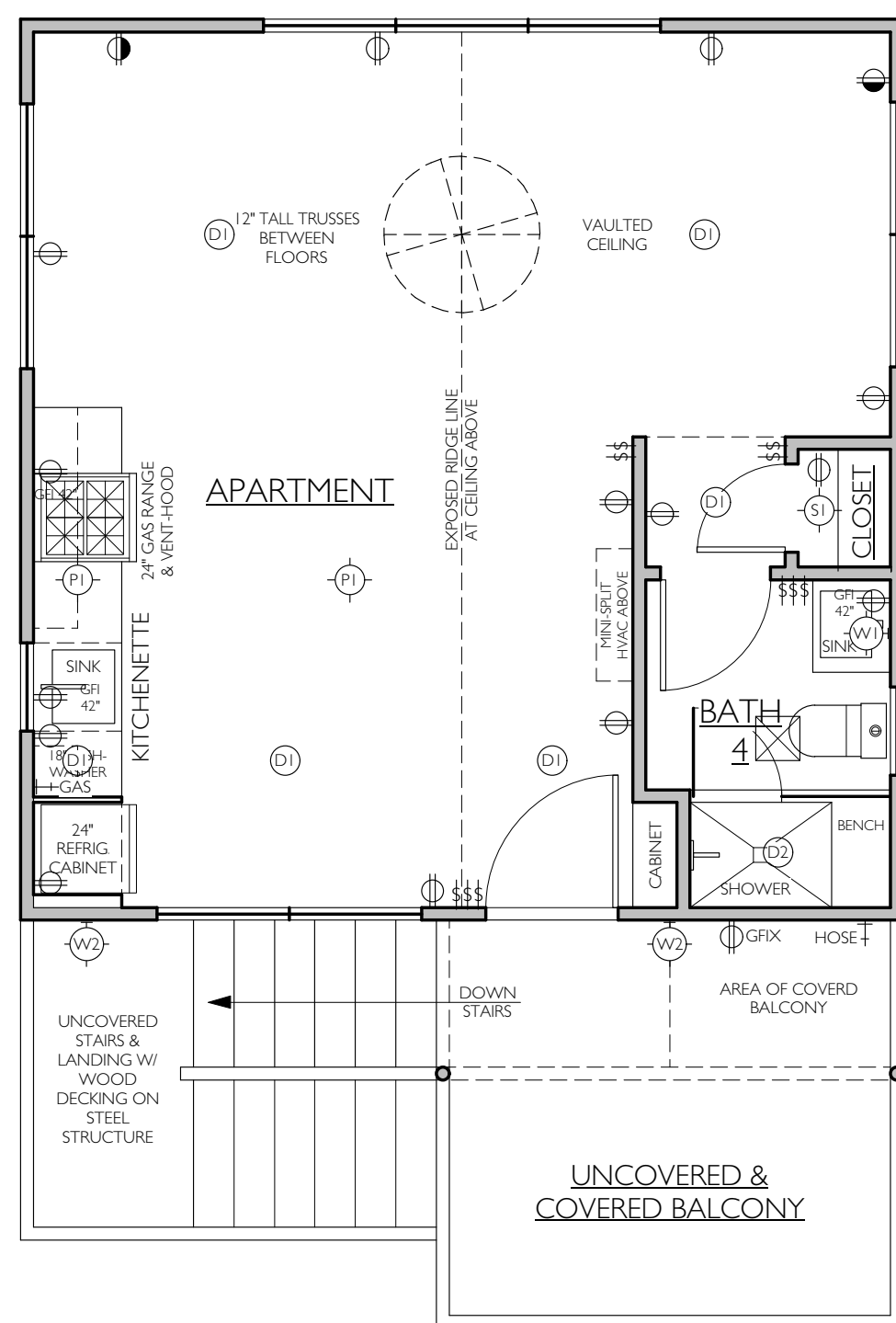
- |  |  |
|--|--|
| (D1) 4\"/>   | Handwired Smoke Detector w/ Battery Back Up Located as Required by Code. |
| (D2) 4\"/>   | Single Throw Switch  |
| (D3) 4\"/>   | (3) Way Switch   |
| (S1) Surface Mount Light Fixture. REFER SPECIFICATIONS.            | Dimmer Switch  |
| (P1) Pendant Light Fixture. REFER SPECIFICATIONS.                  | Door Frame Switch  |
| (W1) Interior Wall Sconce. VERIFY SPECIFICATIONS & HEIGHTS.        | Bathroom Exhaust Fan   |
| (W2) Exterior Wall Sconce. VERIFY SPECIFICATIONS & HEIGHTS.        | Bathroom Exhaust Fan w/ Light & Heat Lamp                                |
| (D4) Double Head Exterior Flood Lights. VERIFY WALL HEIGHT.        | GAS + GAS LINE   |
| (S2) STEP Sconce. VERIFY SPECIFICATIONS. VERIFY HEIGHTS w/ SIDING. | HOSE + HOSE BIB  |
| (DO) Duplex Outlet   | Thermostat   |
| GFI Outlet w/ Ground-Fault Interrupter                             | Circuit Wiring   |
| GFI-X Exterior (Waterproof) Outlet w/ Ground-Fault Interrupter     | Ceiling Fan W/ or W/O LIGHT OPTION                                       |
| 220 220 Volt Outlet  |  |
| (BS) Bottom Outlet Tied to Switch WHITE FINISH                     |  |
| RL Floor Outlet Brass Finish                                       |  |
| (US) Under Upper Under Cabinet LED Lighting Strip                  |  |
| (TR) Track Lighting. VERIFY SPECIFICATIONS.                        |  |
- NOTE:** PROVIDE SECURITY SYSTEM. REFER ARCHITECT & OWNER FOR SPECIFICATIONS.
- NOTE:** PROVIDE REQUIRED UTILITIES TO ALL APPLIANCES & FIXTURES
- TELEPHONE CABLE & INTERNET. REFER OWNER

## FLOOR PLAN LEGEND

- |     |                                |
|-----|--------------------------------|
| --- | EXISTING FRAMED WALL TO REMAIN |
| --- | NEW 2x4 FRAMED WALL            |
| --- | NEW 2x6 FRAMED WALL            |







 richard**HUGHES** Architect  
1606 West 11th Street, Austin, TX 78703  
T: 512.789.6959  
info@richardhughesarchitect.com

GOODWIN ADDITION & REMODEL  
1012 SHELLEY AVENUE, AUSTIN, TX 78703

**DATE:**  
6-14-21  
7-22-21  
7-29-21  
8-11-21  
9-13-21  
9-22-21  
10-4-21  
10-14-21  
11-9-21  
11-10-21

MEP  
2