

Shutters to be removed. New windows to replace existing. Same location same size

shillington
ARCHITECTURE, LLC



Jones Residence

1508 W 29th St.
Austin, TX 78703

Existing Conditions: View from Street

Permit Submittal 9/28/21

New side door and landing

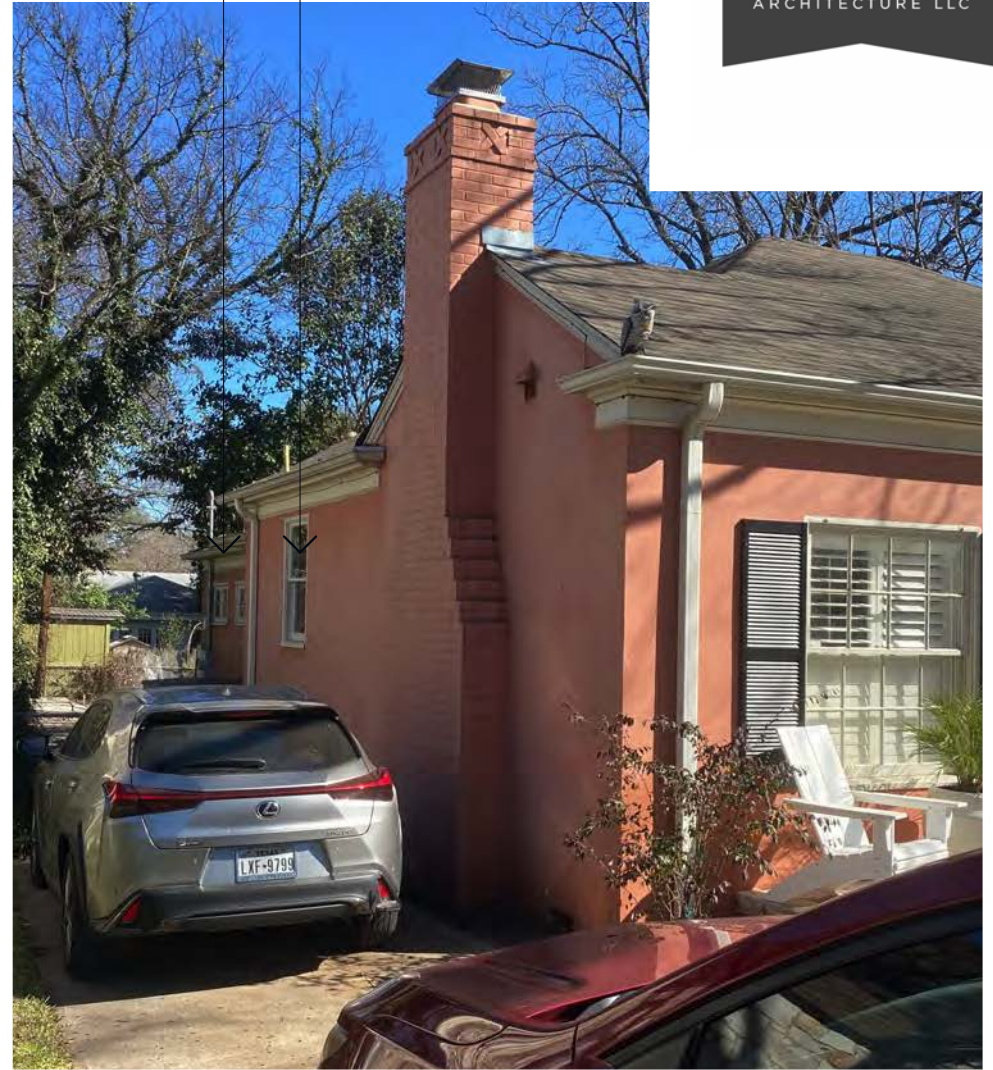
New dining room windows

New kitchen windows

New dining room windows



View from Back



View from Front

Jones Residence

1508 W 29th St.
Austin, TX 78703

Existing Conditions: West Elevation

Permit Submittal 9/28/21

2 Story addition to be removed

Windows replaced with new patio slider



Jones Residence

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Existing Conditions: Back Elevation

Permit Submittal 9/28/21

2 Story addition to be removed

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View from Front

Jones Residence

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Existing Conditions: East Elevation

Permit Submittal 9/28/21

ZONING CODE ANALYSIS

Legal Description	LOT 33 BRYKERWOODS
Zoning Category	SF-3-NP
Year Built	1937
McMansion Overlay	YES * But single story addition
Neighborhood Assoc.	West Austin Neighborhood Group
Neighborhood Planning Area	Windsor Road
Historic District	OLD WEST AUSTIN National Register

CALCULATIONS

Lot Size (measured from Survey)	7,722.57 sq. ft.
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Site Development Information

Area description	Existing to Remain sq. ft.		New/Added sq. ft.		Total sq. ft.	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a 1st Floor Conditioned Area	1,358.53		735.78		2,094.31	0.00
b 2nd Floor Conditioned Area					0.00	0.00
c 3rd Floor Conditioned Area					0.00	0.00
d Basement					0.00	0.00
e Covered parking					0.00	0.00
f Covered patio, deck, porch and/or balcony area(s)	8.92				8.92	0.00
g Other covered or roofed area *					0.00	0.00
h Uncovered wood decks					0.00	0.00
Total Building Area (total a thru h)	1,367.45	0.00	735.78	0.00	2,103.23	0.00
i Pool					0.00	0.00
j Spa					0.00	0.00
k Remodeled Area	566.00				566.00	0.00

Subchapter F: Gross Floor Area

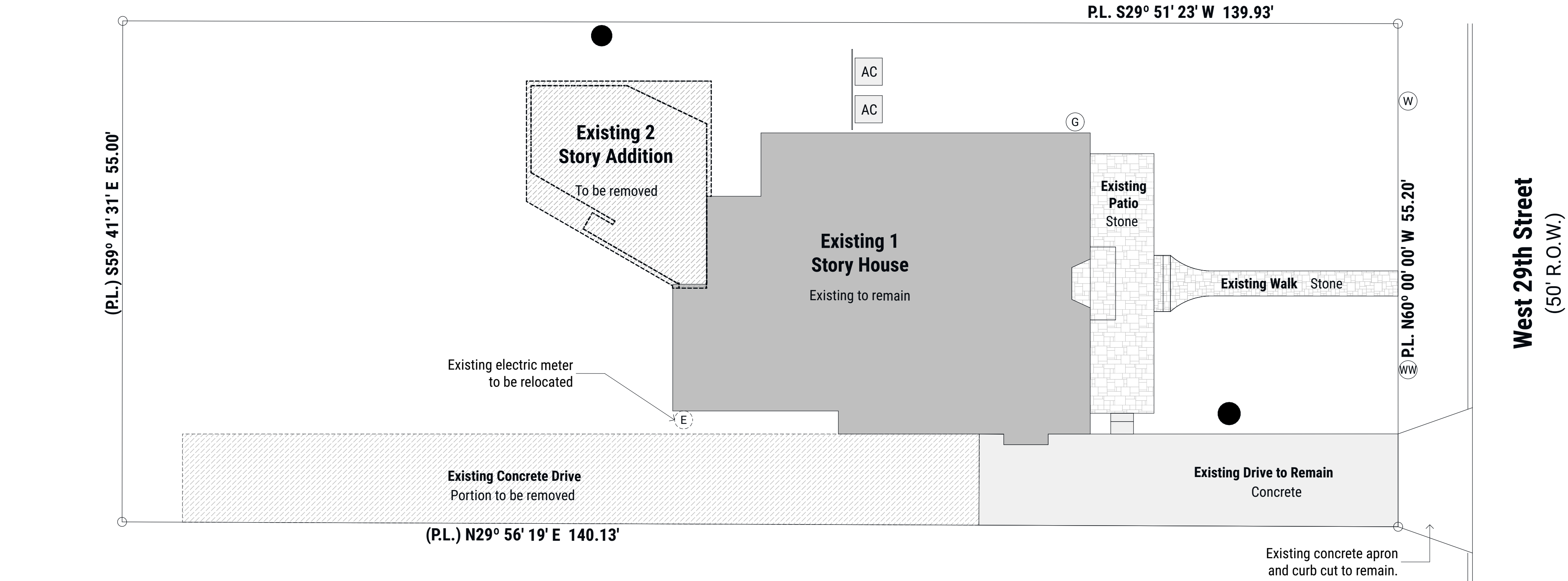
	Exist. sq. ft. to remain	New sq. ft.	Proposed Exemption		Exempt	Total sq.ft.
1st Floor Conditioned Area	1,358.53	735.78				2,094.31
2nd Floor Conditioned Area	0.00	0.00				0.00
3rd Floor Conditioned Area	0.00	0.00				0.00
Area w/ ceilings > 15'	0.00	0.00	Must follow Article 3.3.5			0.00
Ground Floor Porch	8.92	0.00	Full porch		8.92	0.00
			200 SF			0.00
Basement	0.00	0.00	Must follow Article 3.3.3B		0.00	0.00
Attic	0.00	0.00	Must follow Article 3.3.3C		0.00	0.00
Garage Attached	0.00	0.00	200 SF		0.00	0.00
Garage Detached			450 SF		0.00	0.00
	0.00	0.00	200 SF		0.00	0.00
Carport Attached			450 SF		0.00	0.00
	0.00	0.00	200 SF		0.00	0.00
Carport Detached	0.00	0.00	450 SF		0.00	0.00
Accessory Building (s) detached	0.00	0.00				0.00
Total Gross Floor Area	1,367.45	735.78				2,094.31
						27.12%

Building Cover Calculation

	Existing sq. ft.	New sq. ft.	Total sq. ft.
a 1st Floor Conditioned Area	1,358.53	735.78	2,094.31
b 2nd Floor Conditioned Area			0
c 3rd Floor Conditioned Area			0.00
d Basement			0.00
e Attached covered parking			0.00
f Detached covered parking			0.00
g Covered wood decks			0.00
h Covered Patio			0.00
i Covered Porch	8.92		8.92
j Balcony			0.00
k Other-Screened Porch			0.00
Total Building Area (TBA) (add a through k)	1,367.45	735.78	2,103.23
Total Building Coverage (TBC) (subtract b, c, d and j)	1,367.45	735.78	2,103.23
		17.71%	27.23%

Impervious Cover Calculation

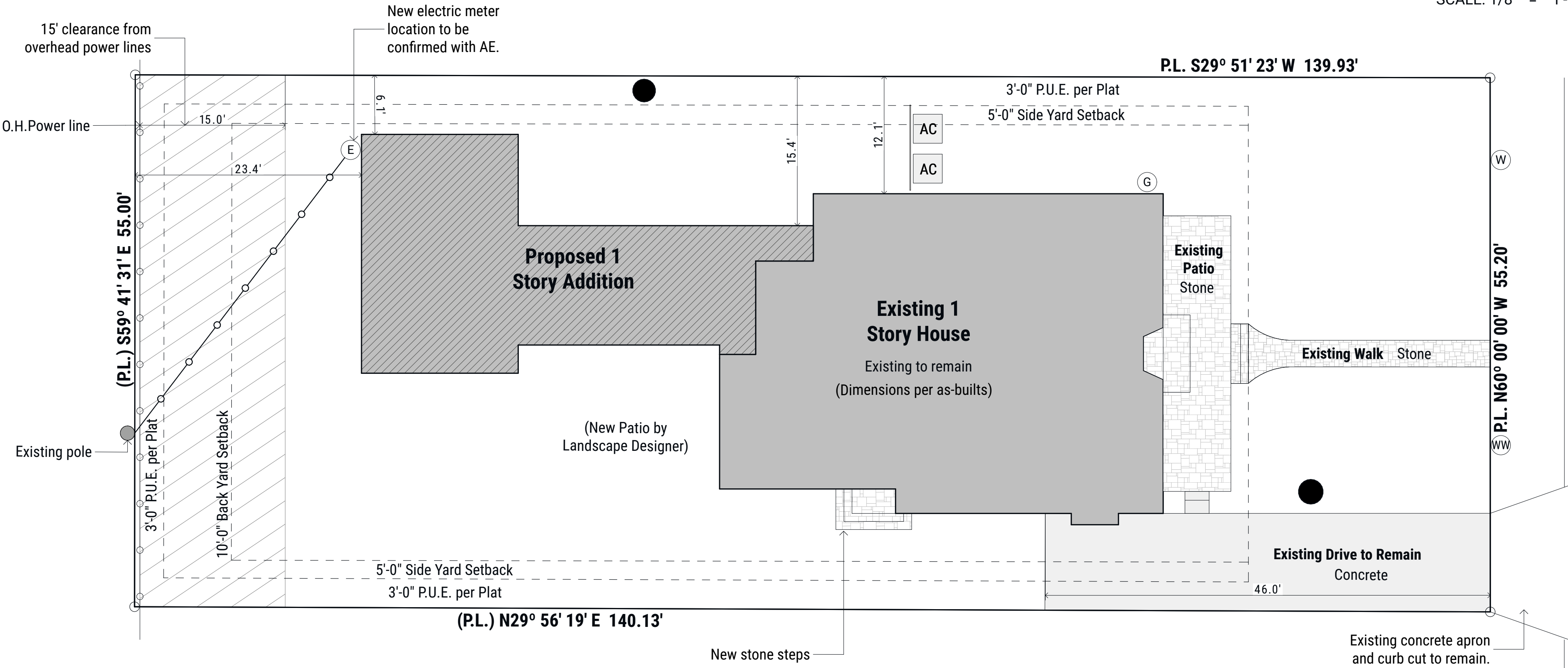
l Driveway	454.05		454.05
m Sidewalks	289.23		289.23
n Uncovered Patio (stone)			0.00
o Uncovered Wood Decks (counted at 50%)			0.00
p AC pads and other concrete flatwork	9.00	9.00	18.00
q Other (landing)		31.67	31.67
Total Site Impervious Cover (add TBC and l thru q)	2,119.73	776.45	2,896.18
		27.45%	37.50%



Demo Site Plan

SCALE: 1/8" = 1'-0"

2



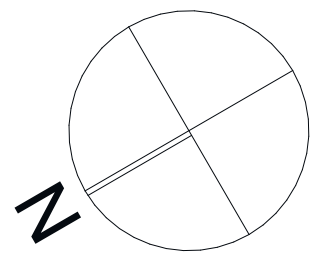
Site Plan

SCALE: 1/8" = 1'-0"

1

Drawings are formatted for 24"x36" sheets.
If printed on 11"x17", scale is half of noted scale.

Printed: 9/27/21



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09/28/21

Revisions:

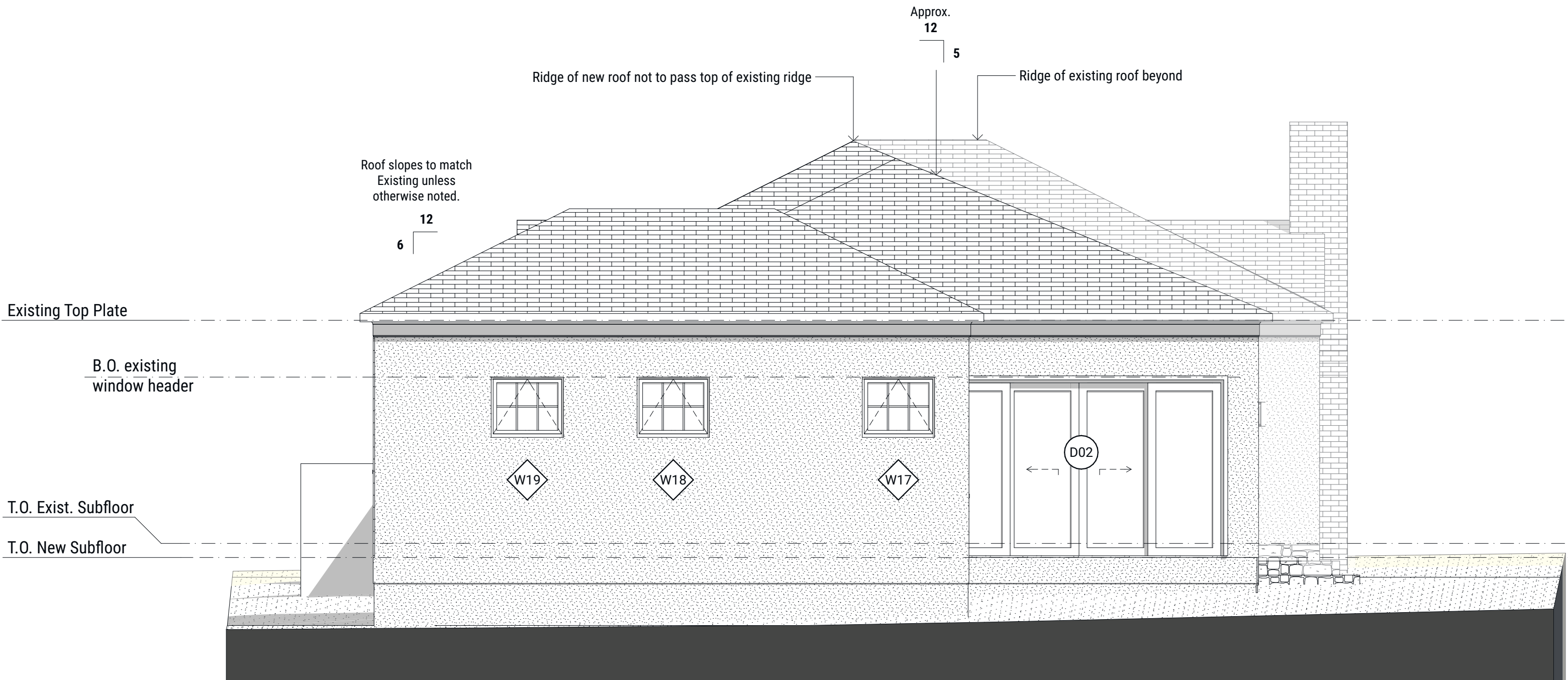
Site Plan

A0.1

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Exterior Specifications:

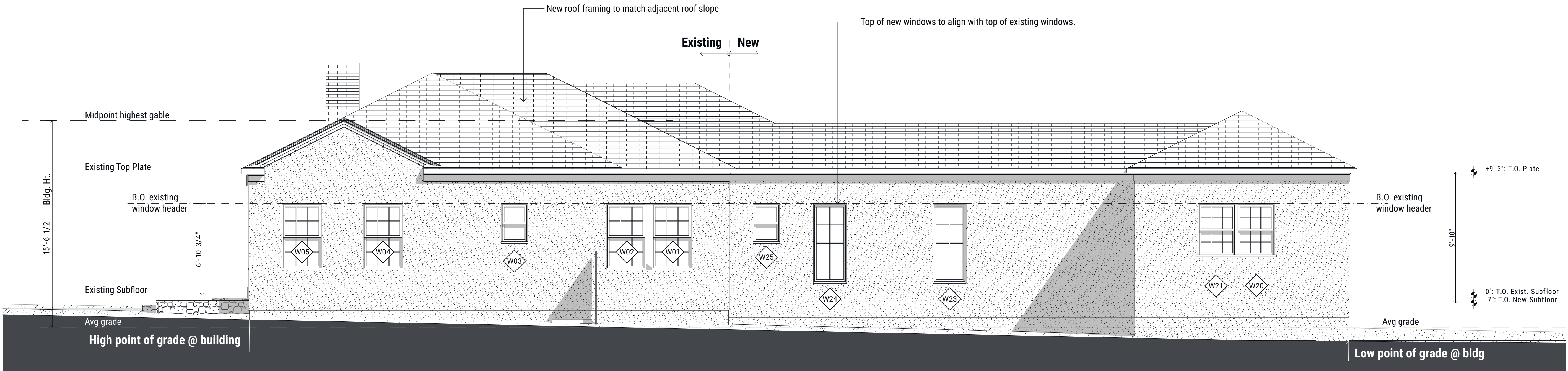
- Existing stucco to be removed and replaced.
New stucco to be 3-coat stucco with integral color.
- Fascias to be fiber cement, primed & painted.
- All gutters to be galvalume, 6' half round
- All downspouts to be galvalume, round



Exterior Elevation: North

SCALE: 1/4" = 1'-0"

2



Exterior Elevation: East

SCALE: 1/4" = 1'-0"

1

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Revisions:

Exterior Elevations

A2.1

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Exterior Specifications:

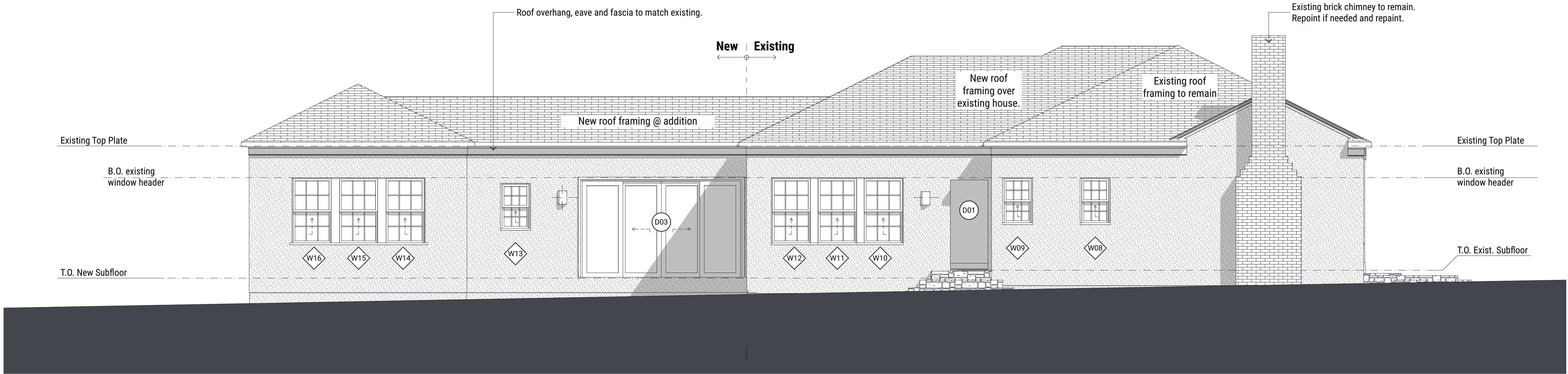
- Existing stucco to be removed and replaced.
New stucco to be 3-coat stucco with integral color.
- Fascias to be fiber cement, primed & painted.
- All gutters to be galvalume, 6' half round
- All downspouts to be galvalume, round



Exterior Elevation: South

SCALE: 1/4" = 1'-0"

2



Exterior Elevation: West

SCALE: 1/4" = 1'-0"

1

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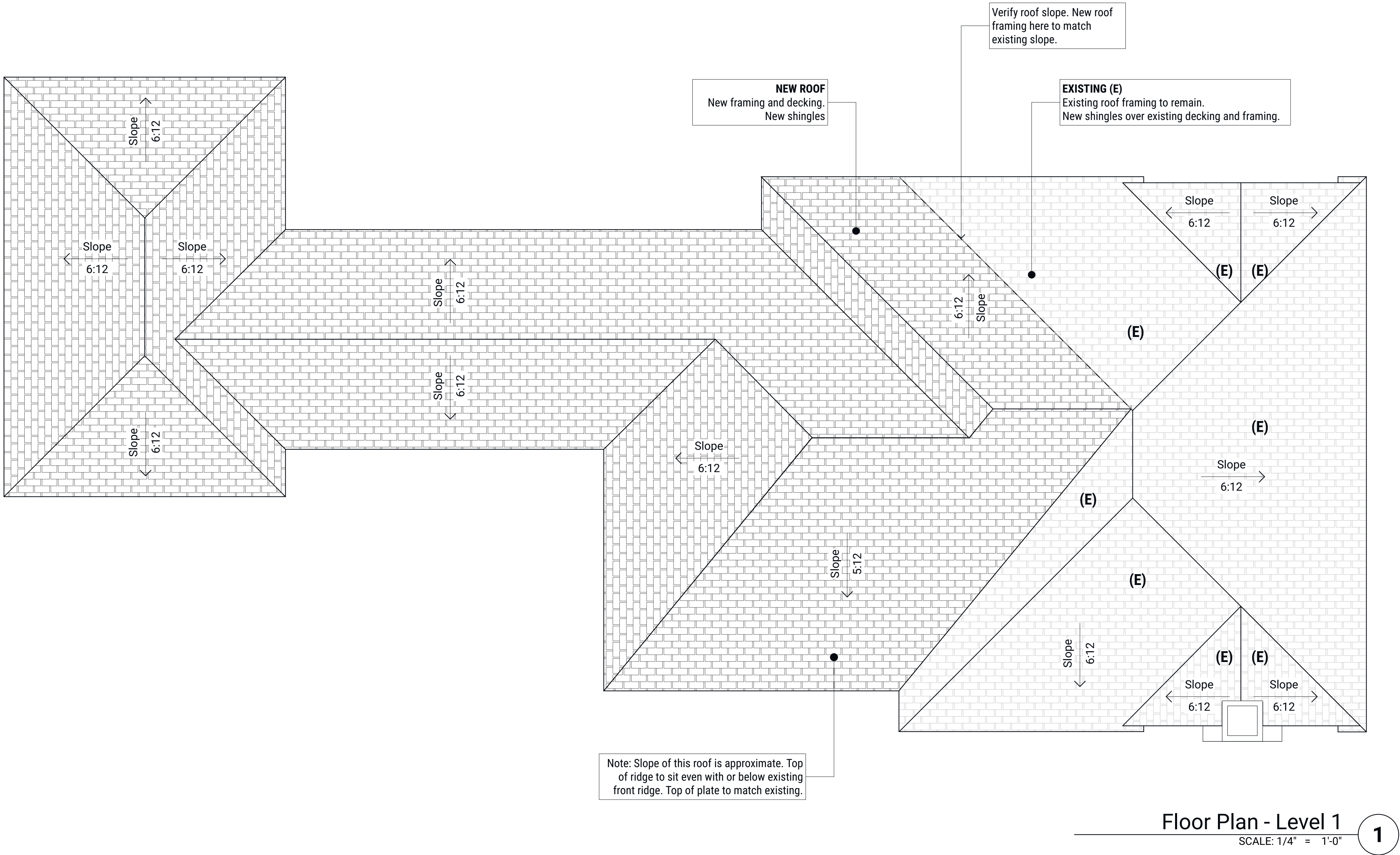
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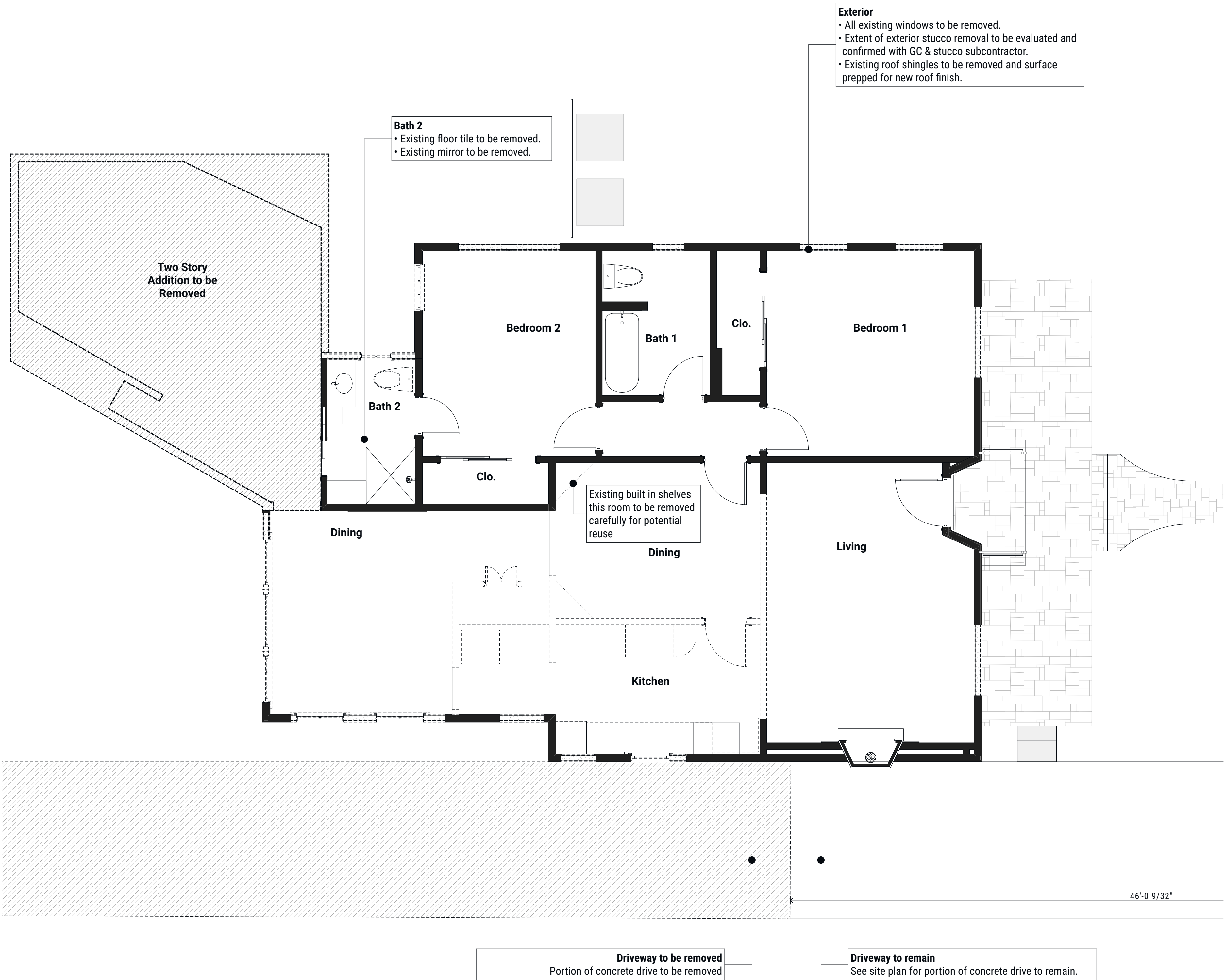
Revisions:

Exterior Elevations

A2.2

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Demo Plan Key:

- Existing wall to remain
- Existing wall to be removed
- Existing element to remain
- Existing element to be removed

Demo Notes:

1. All building and landscape elements are to be protected from damage prior to demolition and are to remain protected throughout construction.
2. Contractor is to provide necessary temporary bracing before demo of load bearing elements. IN CASE OF UNCERTAINTY, CONTACT STRUCTURAL ENGINEER, CEASE OPERATIONS AND NOTIFY ARCHITECT & ENGINEER IMMEDIATELY IF SAFETY APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERTY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
3. Demolish in an orderly and careful manner as required to accommodate new work, including where new work connects to existing building. Protect existing walls and supporting structural members which are to remain.
4. Perform demo in accordance with applicable regulations and authorities having jurisdiction.
5. Any demolition performed in excess of that required to be repaired at no cost to Owner.
6. Remove demolished materials, tools, and equipment from site upon completion of work. Leave site in a condition acceptable to Owner.
7. Locate, identify, stub off and disconnect any utility services that are not to remain.
8. Protect any existing finish work that is to remain in place.
9. Remove electrical fixtures, switches, outlets and wiring unless otherwise noted. Review RCP for new work.
10. Where indicated, remove plumbing fixtures, pipes and vents.
11. In case of unexpected discovery upon demolition, contact Architect and Owner.

Demo Plan - Level 1

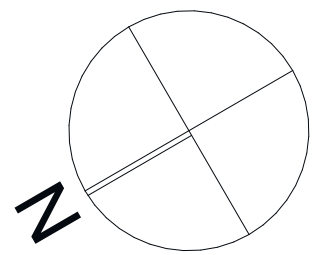
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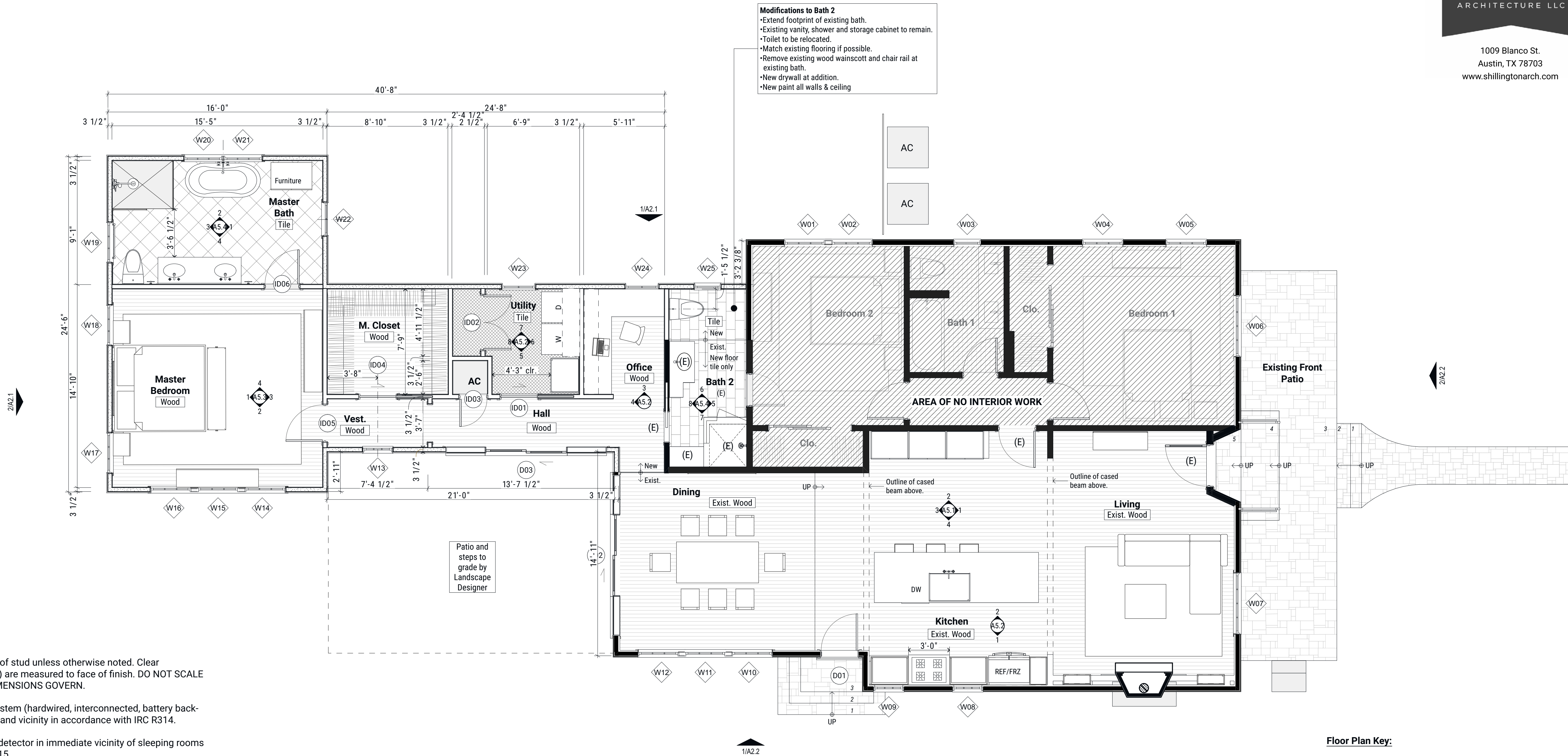
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Revisions:

Demo Plan- Level 1

A1.1

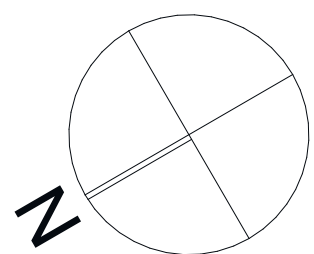
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Revisions:

Floor Plans-Level 1

A1.2

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