

Existing Front Facade— Main House

Location of second  
floor addition





Existing Rear Facade— Main House



Location of second floor addition

Location of first floor addition





Existing Side Elevation– Main House



Location of second floor addition



Existing Side Elevation– Main House

Location of second floor addition





Existing Front Facade Elevation- ADU



Location of first &  
second floor  
addition





Location of second floor  
addition

Existing Rear Facade Elevation– ADU





Location of first &  
second floor  
addition

Existing Side Elevation– ADU





Location of second  
floor addition

Existing Side Elevation– ADU

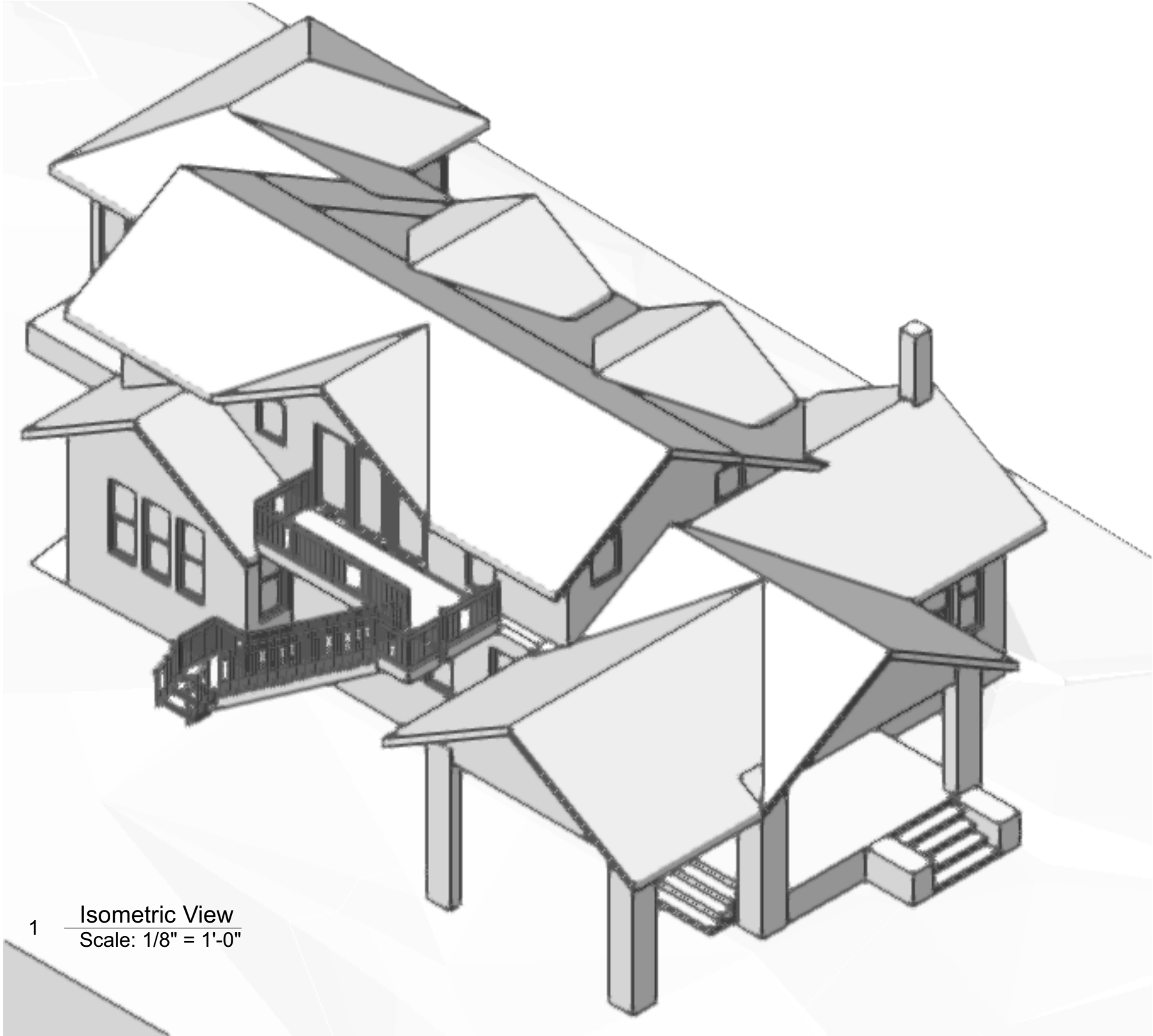


# 3810 DUVAL

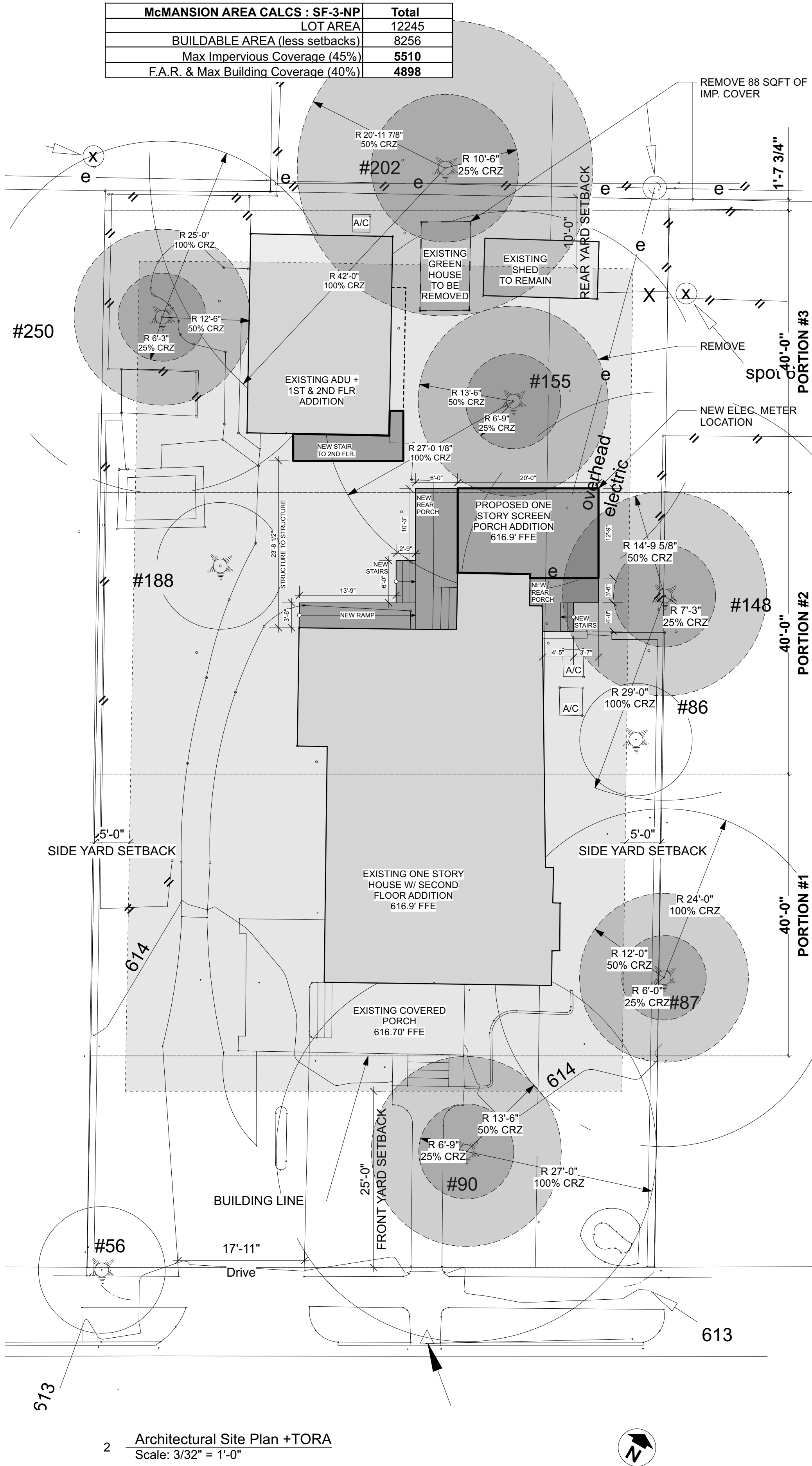
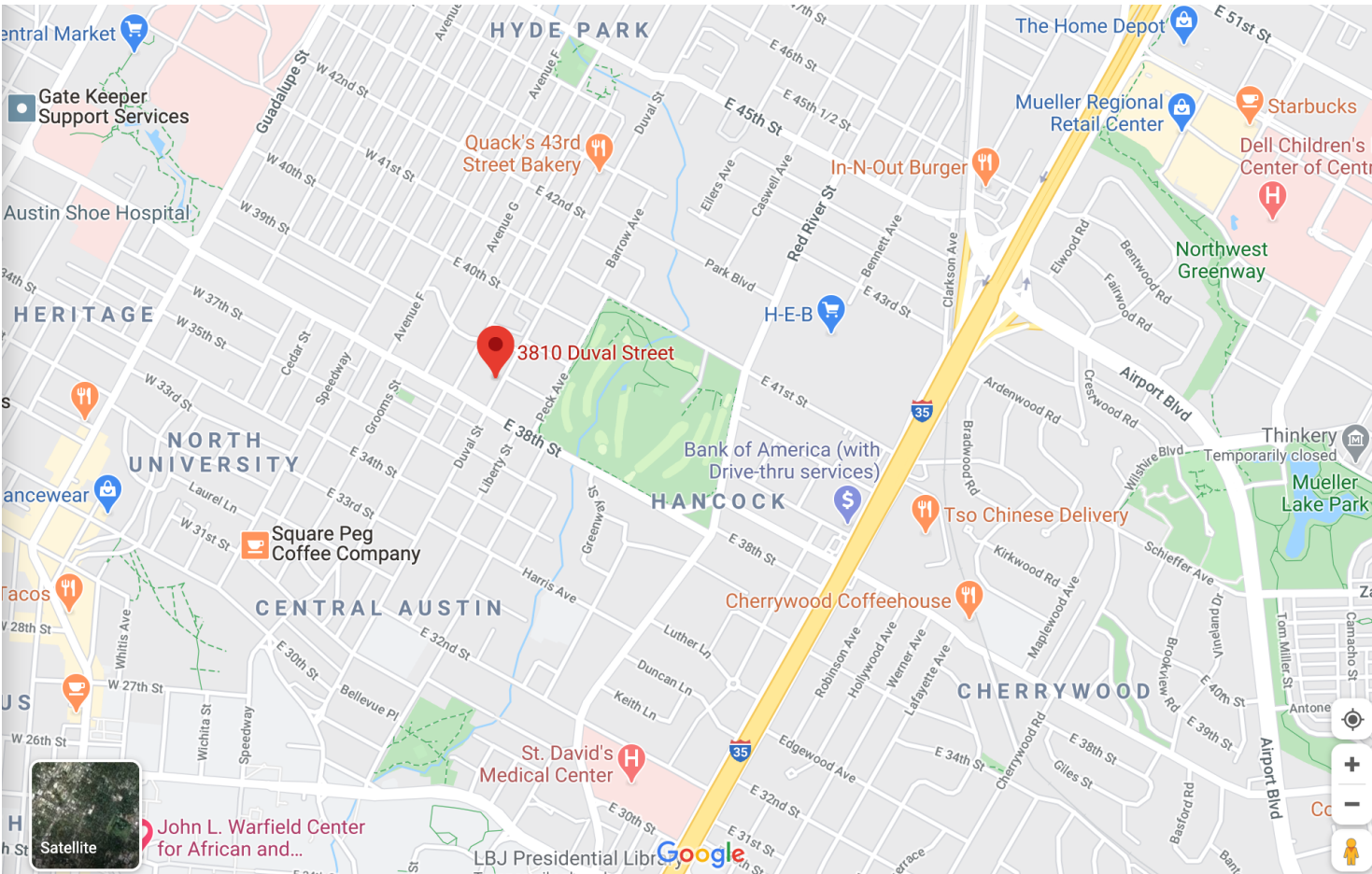
MAIN HOUSE: FIRST FLOOR SCREEN PORCH ADDITION + SECOND FLOOR ADDTION & REMODEL  
GUEST HOUSE: FIRST FLOOR ADDITION + SECOND FLOOR ADDTION

Planning & Zoning		
*Right click <a href="#">hyperlinks</a> to open in a new window.		
Future Land Use (FLUM):	No Future Land Use Map	
Regulating Plan:	No Regulating Plan	
Zoning:	SF-3-HD-WCCD-NP	
Zoning Cases:	C14-01-0046 C14-01-0046.01 C14H-2010-0019	
Zoning Ordinances:	020131-20 Local Historic District: 20101216-093 20120112-086	
Zoning Overlays:	Neighborhood Conservation Combining District: HYDE PARK Residential Design Standards: LDC/25-2-Subchapter F Selected Sign Ordinances	
Neighborhood Plan:	HYDE PARK	
Infill Options:	-	
Neighborhood Restricted Parking Areas:	Central Austin Neighborhoods Planning Area Committee, Hyde Park Neighborhood Assn.	
Mobile Food Vendors:	-	
Historic Landmark:	-	
Urban Roadways:	Yes	

Environmental		
Fully Developed Floodplain:	No	
FEMA Floodplain:	No	
Austin Watershed Regulation Areas:	URBAN	
Watershed Boundaries:	Waller Creek	
Creek Buffers:	No	
Edwards Aquifer Recharge Zone:	No	
Edwards Aquifer Recharge Verification Zone:	No	
Erosion Hazard Zone Review Buffer:	No	



1 Isometric View  
Scale: 1/8" = 1'-0"



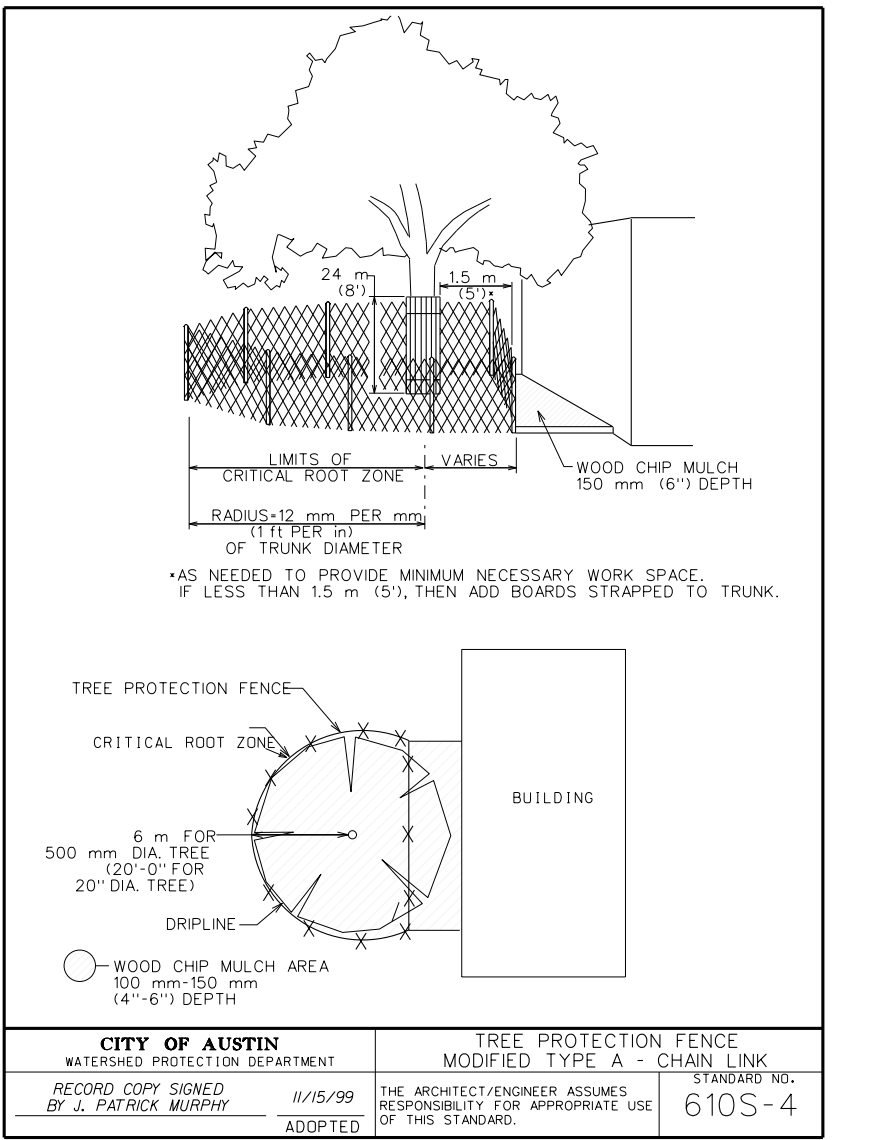
McMANSION AREA CALCS : SF-3-NP	Total
LOT AREA	12245
BUILDABLE AREA (less setbacks)	8256
Max Impervious Coverage (45%)	5510
F.A.R. & Max Building Coverage (40%)	4898

2 Architectural Site Plan +TORA  
Scale: 3/32" = 1'-0"

INDEX OF SHEETS: (\*) INCLUDED IN PERMIT FILING SET  
A0.1 COVER ARCHITECTURAL SITE PLAN  
A1.0 DEMOLITION PLANS- MAIN HOUSE  
A1.1 PROPOSED MAIN HOUSE FLOOR PLANS  
A2.0 EXTERIOR ELEVATIONS  
A3.0 ADU DETAILS

CONSTRUCTION TO MEET 2015 IRC CODE STANDARDS  
AND ALL LOCAL AMENDMENTS

Tag #	Description	Comments
56	9" REDBUD	Preserve
86	8" SPANISH OAK	Preserve
87	24" PECAN	Preserve (P)(H)
90	27" MESQUITE	Preserve (P)(H)
148	29" PECAN	Preserve (P)(H)
155	27" MESQUITE	REMOVE
188	9" SPANISH OAK	Preserve
202	42" PECAN	Preserve (P)(H)
250	25" PECAN	Preserve
(M)		Multi-Stem
(P)		Protected
(H)		Heritage



GENERAL NOTES:  
Fencing is required to be chain-link mesh at a minimum height of five feet. When the tree protection fencing cannot incorporate the entire 1/2 Critical Root Zone, an eight inch layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the Critical Root Zone.

Foot traffic is considered a root zone disturbance. COA requires 2x4 or greater size planks (6' tall minimum) to be strapped securely around protected trees trunks and root flares when protective fencing does not incorporate the entire 1/2 CRZ for any reason at any time in the project.

The following may not be placed within 1/2 Critical Root Zones:

- Dumpster
- Spoils placement

Avoid the 1/2 Critical Root Zones of protected trees with any newly proposed work. If trenching within the 1/2 CRZ of protected trees cannot be avoided, the trenches will have to be air spaded by a Certified Arborist for the top 30" to avoid cutting roots 1.5" in diameter and the paid receipt for the work will be required by the Final Tree Inspector.

No foundation formwork, stakes or batter boards are allowed within or at the edge of the 1/2 CRZ of protected trees - Please refer to TOR Detail #2  
No over excavation or compaction outside of the form edge.

Foundation Concrete Pour:

Either:  
Concrete line pump: Wrap connections of concrete line pump with plastic to prevent concrete slurry from leaching into ground and near roots of trees.  
Or:  
Concrete truck: If heavy equipment will be rolling over any area of the full CRZ of protected trees, provide 3/4" plywood over 2x4 lumber over 12" layer of mulch to bridge over the roots and prevent soil/root compaction. After construction is completed, spread mulch around site to leave a max layer of 3" within root zones.

Tree Pruning:

If any pruning of protected tree canopies expected for access, new structures or the health of the protected tree(s) a Certified Arborist must perform the pruning and pruning can only happen once during the project duration. This should typically happen prior to construction to avoid damage to the trees during construction, especially with new two story builds. If pruning is expected, have a Certified Arborist assess the pruning needs for the project and provide a written assessment with the Update submittals of the estimated percentage of canopy that the pruning is proposed to remove - this cannot exceed 25% per protected tree. A "paid in full" receipt for the work will be required from this Certified Arborist to the Final Tree Inspector. If 25% or more of the canopy is desired to be removed (for any protected tree), a Certified Arborist must provide a written report to us before performing this work in order for us to consider the permit required to do so.

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BUILDER:  
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STRUCTURAL ENGINEER:

SURVEYOR:  
Waterloo Surveyors  
Thomas Dixon

LEGAL DESCRIPTION:  
N63.36FT OF LOT 59 \* S16.64FT OF  
LOT 60 SHADOW LAWN

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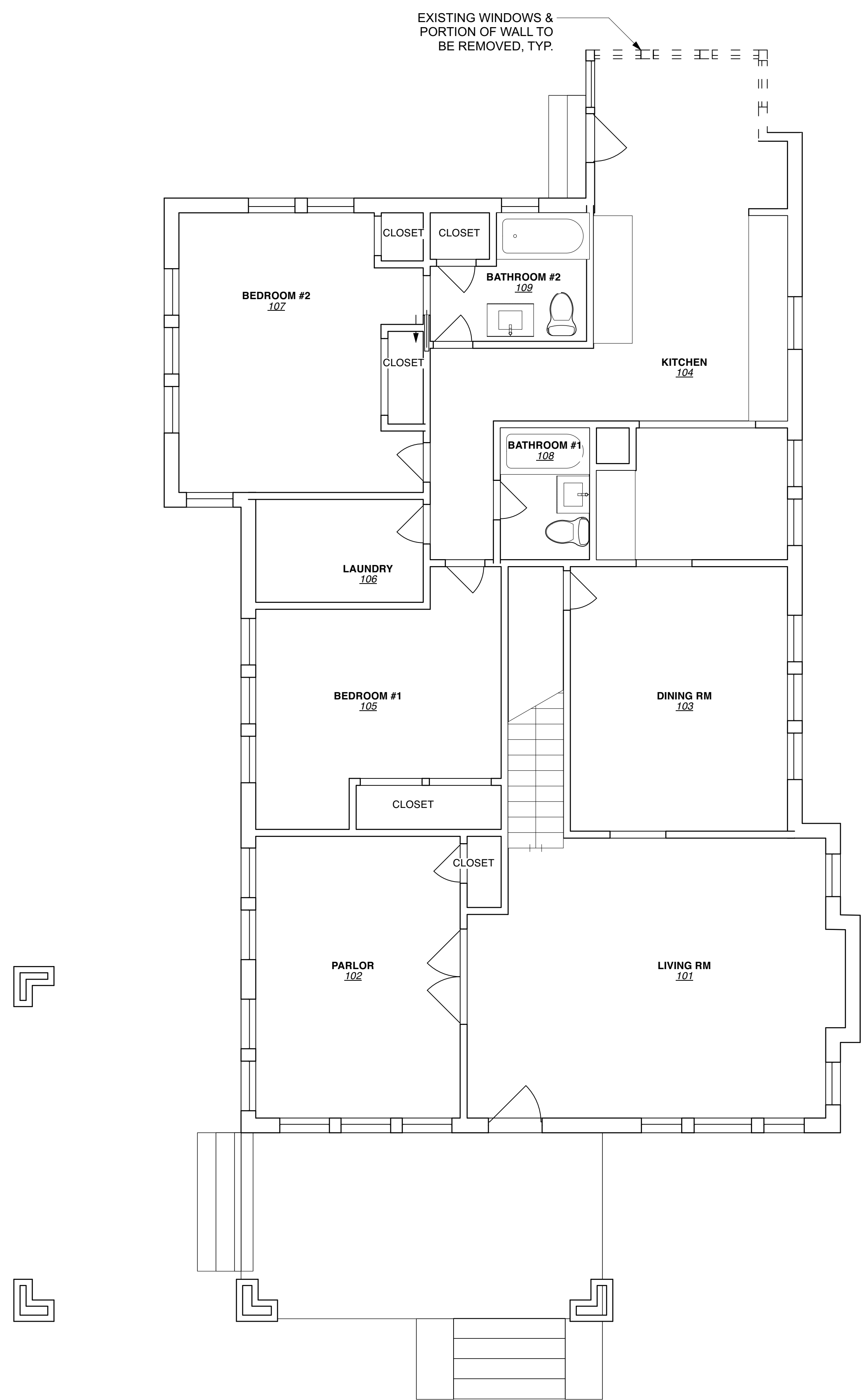
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PRINT 11X17 DRAWINGS AT 50%  
MEASURES AT 1/2 SCALE SHOWN

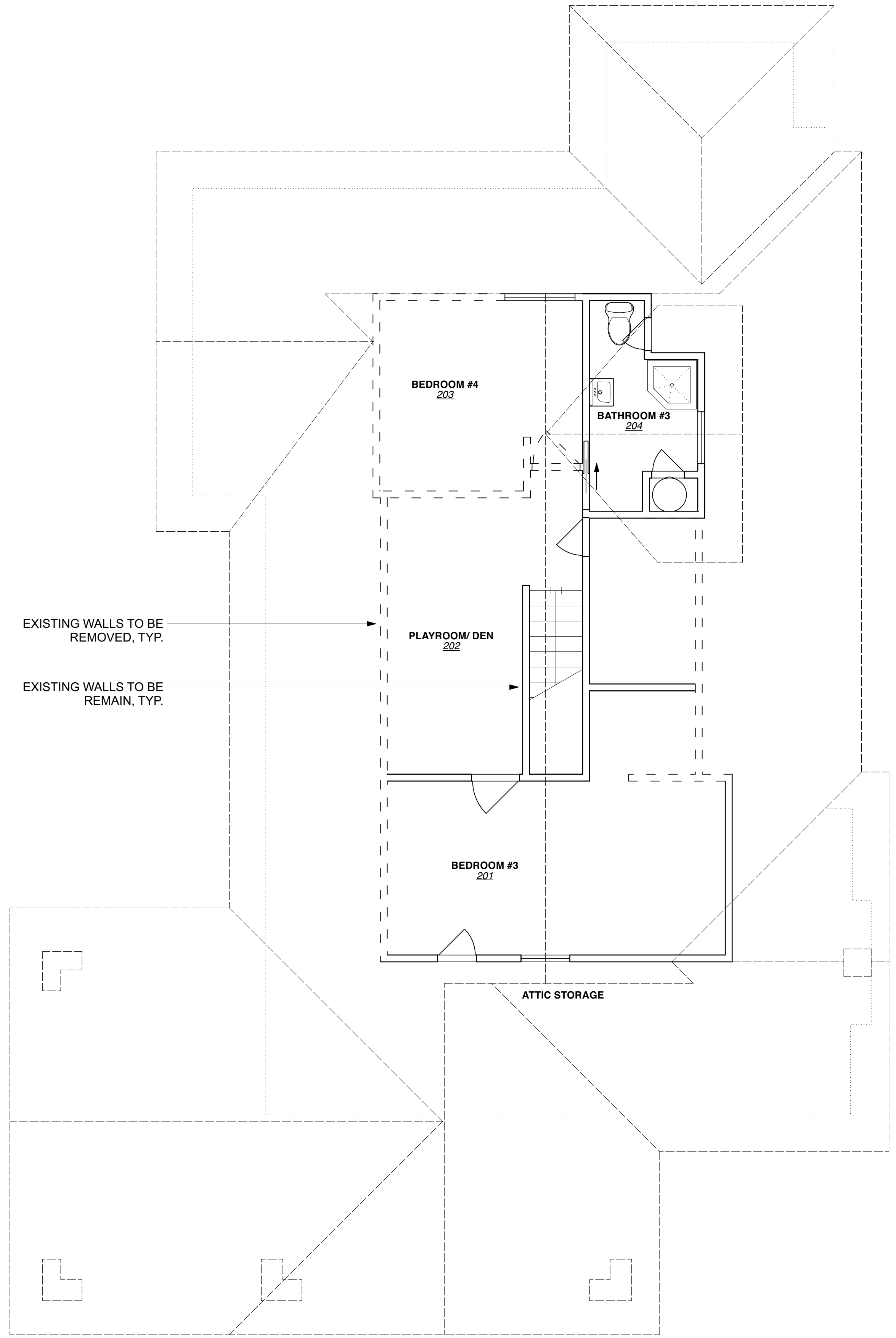
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A0.1  
Architectural Site  
Plan  
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1 Existing First Floor + Demo Plan  
Scale: 1/4" = 1'-0"



2 Existing Attic + Demo Plan  
Scale: 1/4" = 1'-0"



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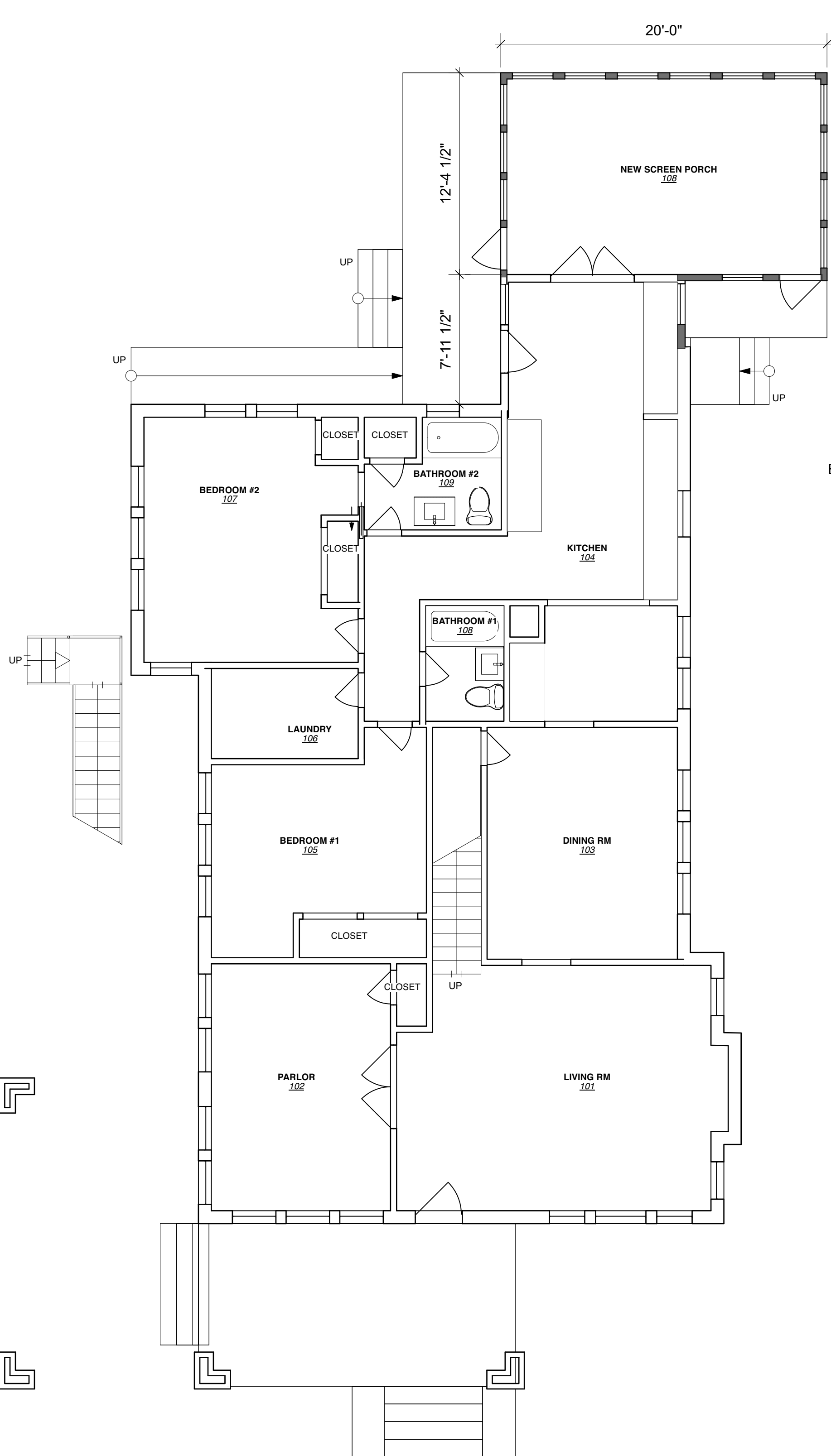
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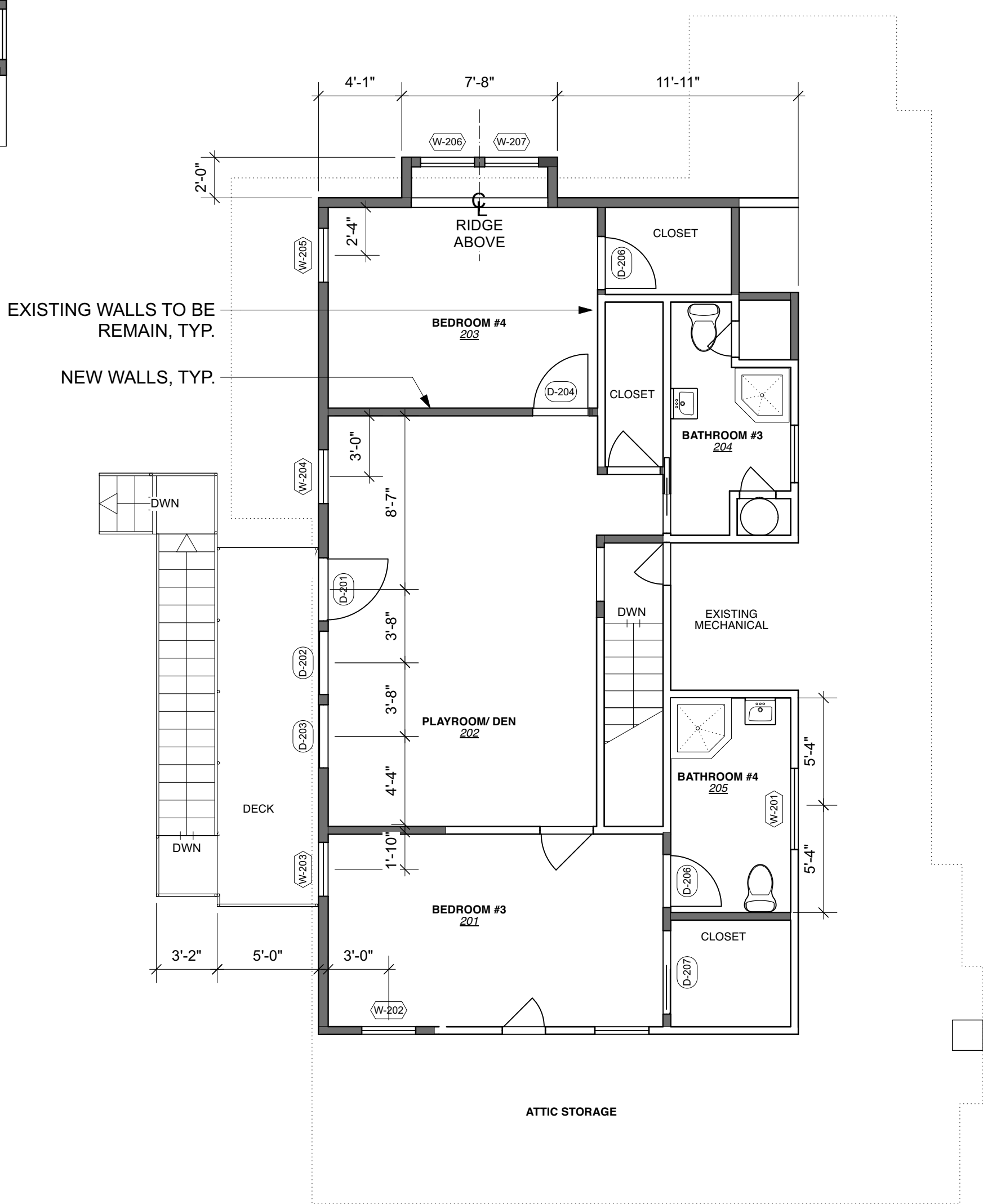
**A1.0**  
Demolition Plans-  
Main House

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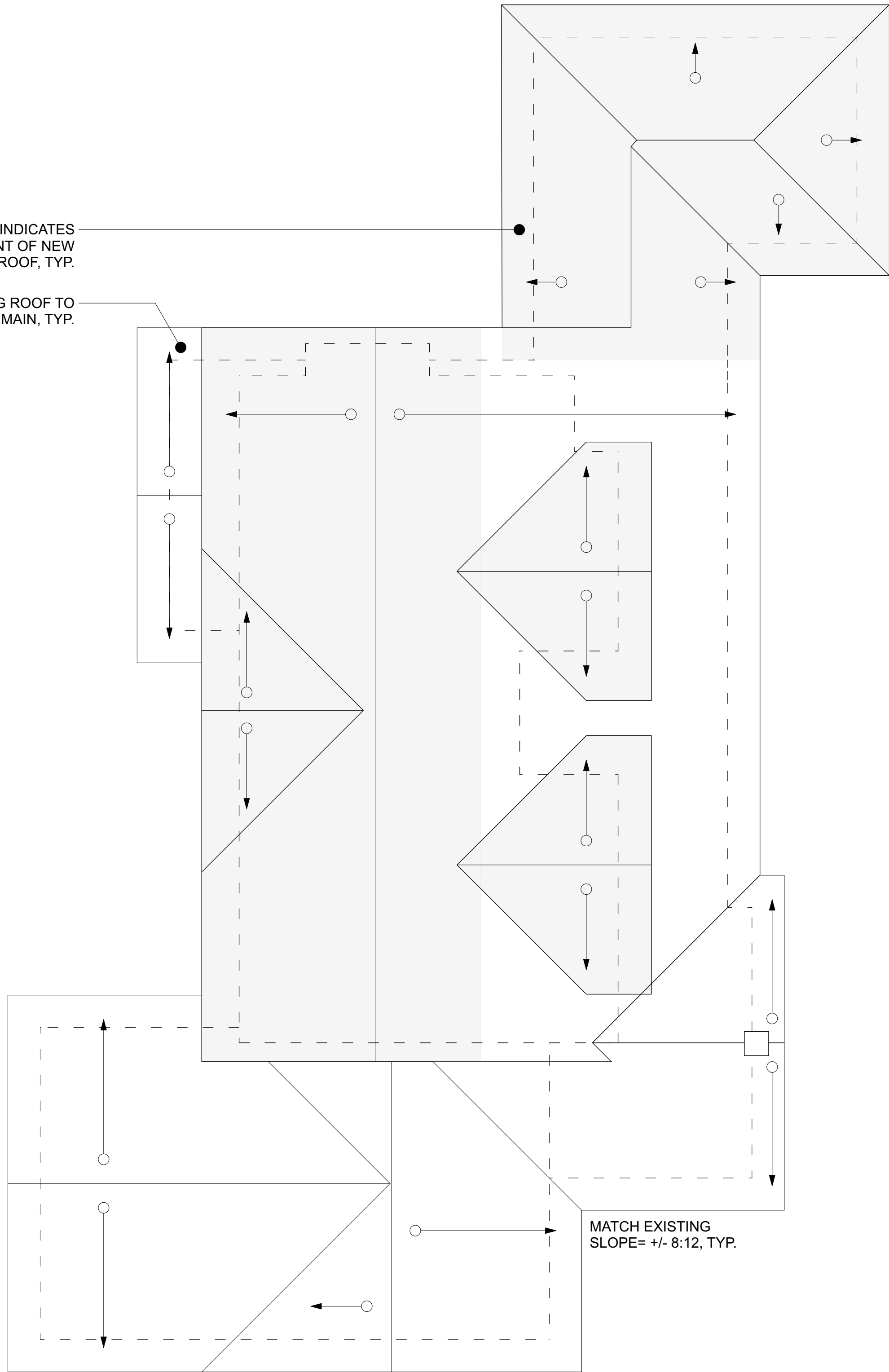
1 Proposed First Floor Plan  
Scale: 3/16" = 1'-0"



2 Proposed Second Floor Plan  
Scale: 3/16" = 1'-0"

POCHE INDICATES  
EXTENT OF NEW  
ROOF, TYP.

EXISTING ROOF TO  
REMAIN, TYP.



3 Proposed Roof Plan  
Scale: 3/16" = 1'-0"

Door Schedule									
Nominal Size			Dopr Style			Door Frame			
Mark	Width	Height	Thickness	Configuration	Slab Style	Jamb Thick	Jamb Depth		
D- 201	3'0"	6'8"	1 3/4"	Swing Simple	N/A	Glass	3/4"	4 1/2"	
D- 202	3'0"	6'8"	1 3/4"	Swing Simple	N/A	Glass	3/4"	4 1/2"	
D- 203	3'0"	6'8"	1 3/4"	Swing Simple	N/A	Glass	3/4"	4 1/2"	
D- 204	2'8"	6'8"	1 3/4"	Swing Simple	N/A	Solid	3/4"	4 1/2"	
D- 206	2'6"	6'8"	1 3/4"	Swing Simple	N/A	Solid	3/4"	4 1/2"	
D- 206	2'6"	6'8"	1 3/4"	Swing Simple	N/A	Solid	3/4"	4 1/2"	
D- 207	4'0"	6'8"	1 3/4"	Slider	XO	Solid	3/4"	4 1/2"	

Window Schedule						
Nominal Size			Window Style	Window Data		
Mark	O.A. Width	O.A. Height	Configuration	Head Height		
Mark	O.A. Width	O.A. Height	Configuration	Head Height		
W- 201	4'0"	4'0"	Bi-parting Casement	N/A	7'5"	
W- 202	2'8"	3'4"	Casement	N/A	7'5"	
W- 203	2'8"	6'0"	Casement	N/A	6'8"	EGRESS
W- 204	2'8"	3'4"	Casement	N/A	6'8"	
W- 205	2'8"	3'4"	Casement	N/A	6'8"	
W- 206	2'8"	4'6"	Double Hung	N/A	6'8"	EGRESS
W- 207	2'8"	4'6"	Double Hung	N/A	6'8"	EGRESS

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**A1.1**  
Proposed Plans-  
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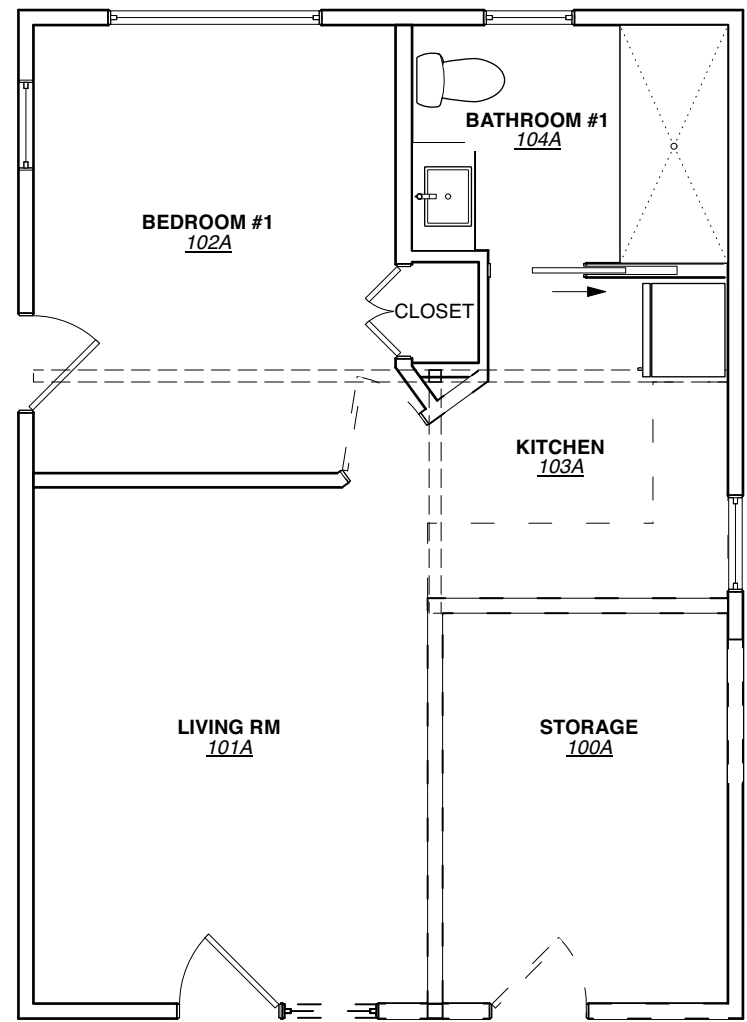
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Exterior Elevations

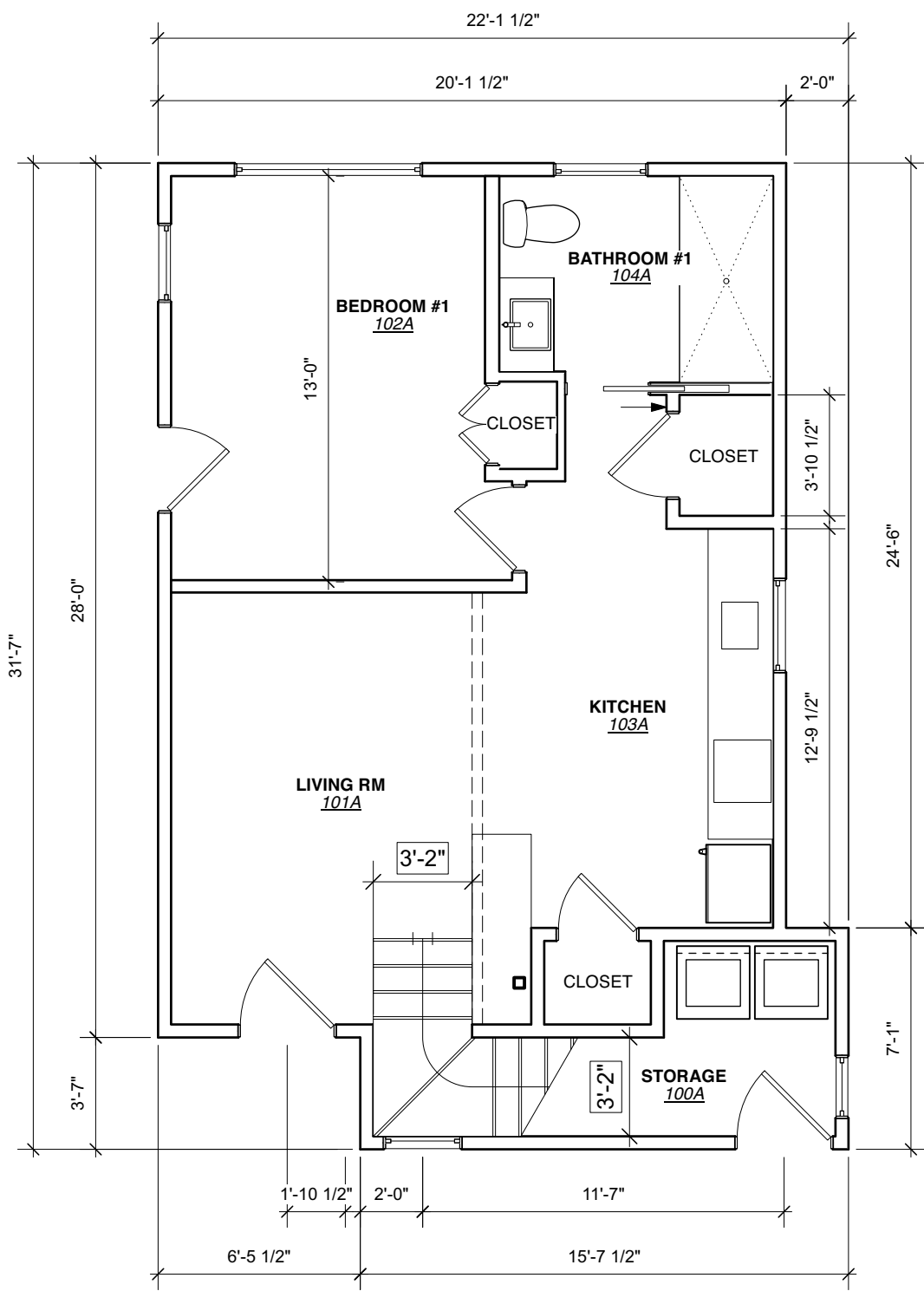
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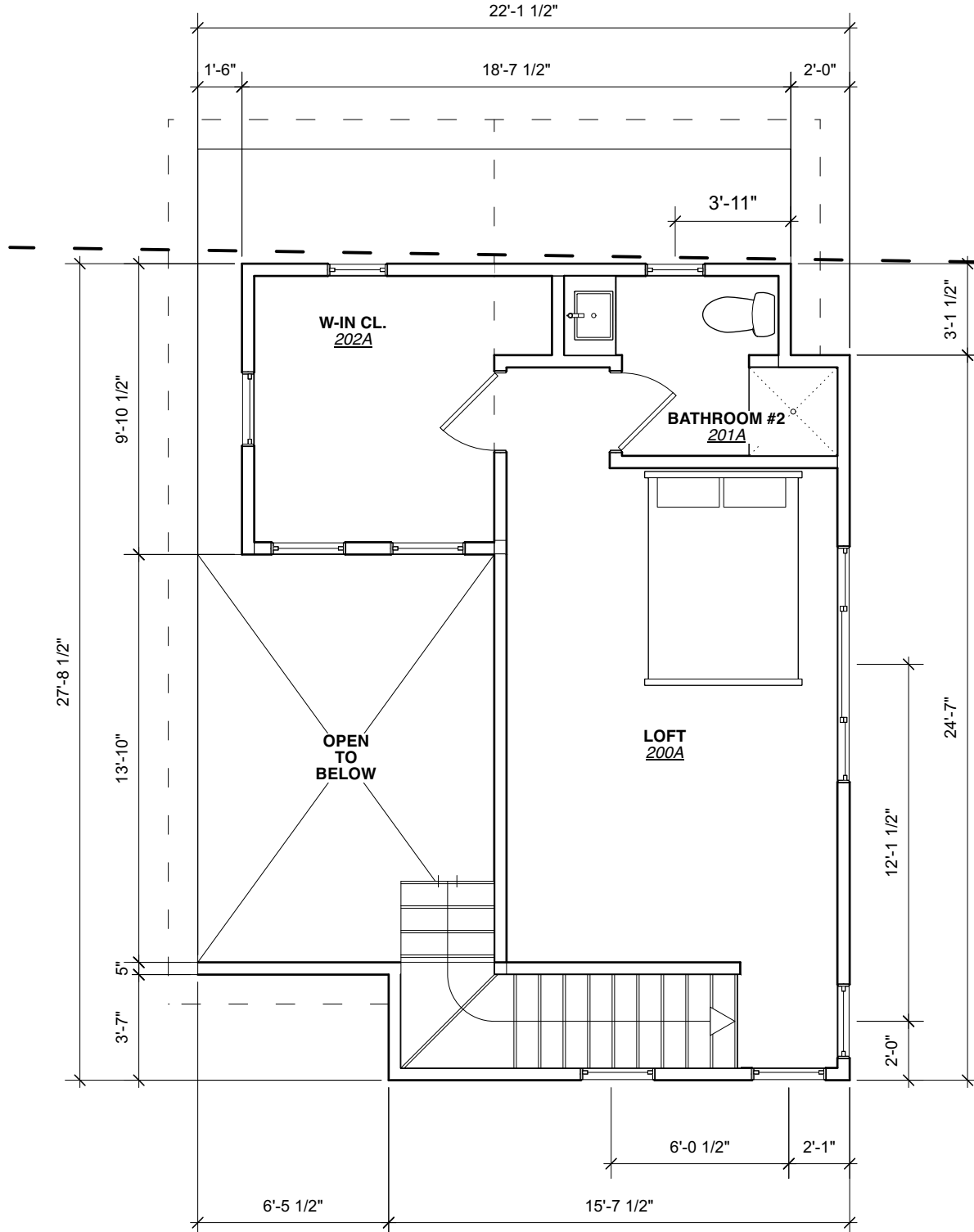




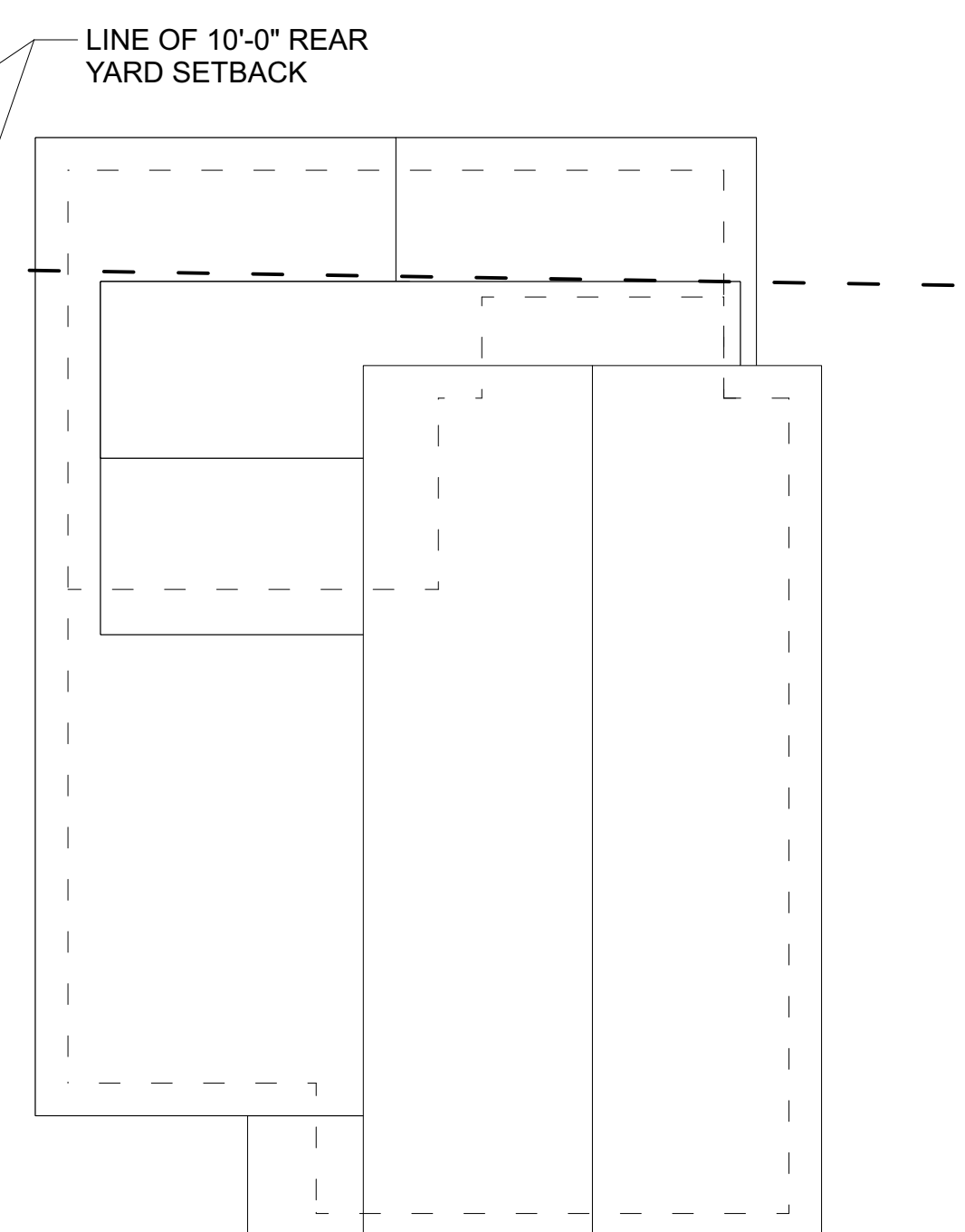
1 ADU- Proposed Demo Plan  
Scale: 3/16" = 1'-0"



2 ADU- Proposed First Floor Plan  
Scale: 3/16" = 1'-0"



3 ADU- Proposed Second Flr Plan  
Scale: 3/16" = 1'-0"



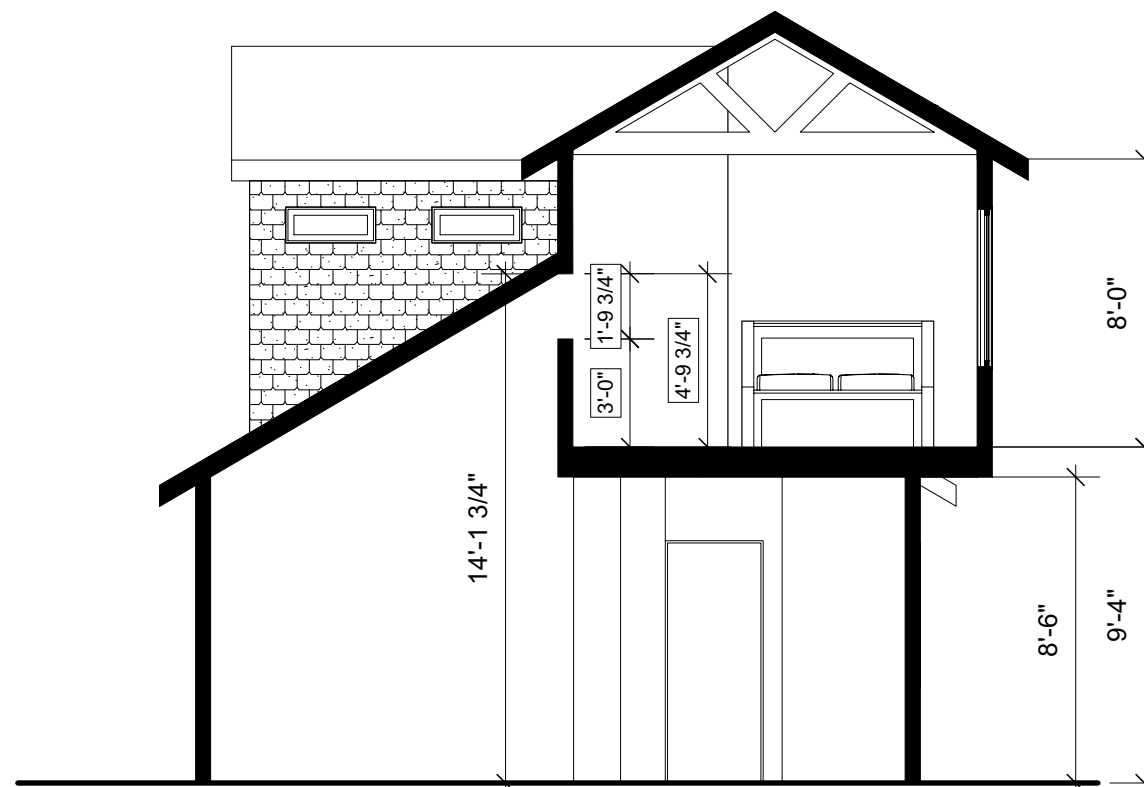
4 ADU- Proposed Roof Plan  
Scale: 3/16" = 1'-0"



5 ADU- Exterior Elevation  
Scale: 3/16" = 1'-0"



6 ADU- Exterior Elevation  
Scale: 3/16" = 1'-0"



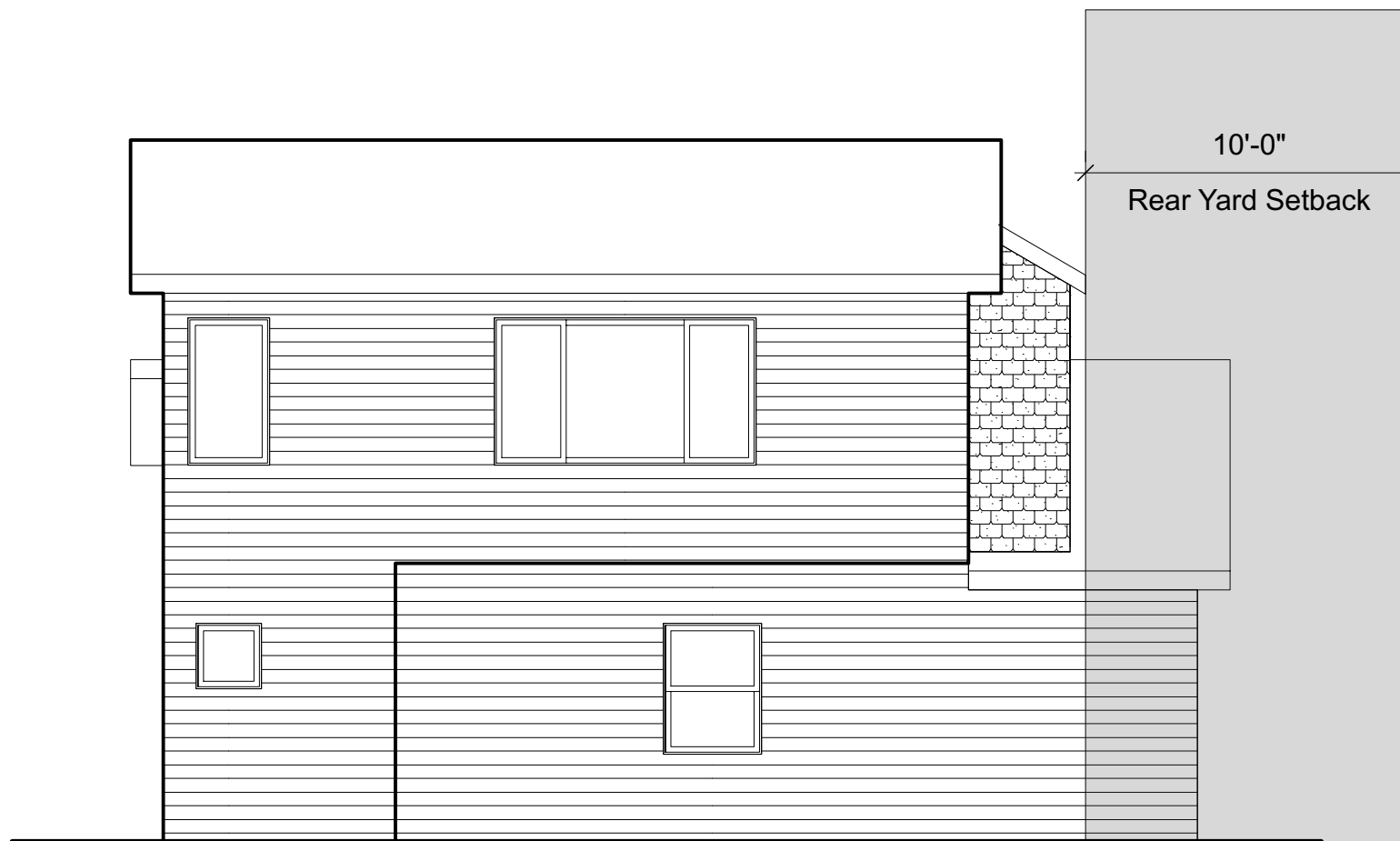
9 ADU- Building Section  
Scale: 3/16" = 1'-0"



10 ADU- Building Section  
Scale: 3/16" = 1'-0"



7 ADU- Exterior Elevation  
Scale: 3/16" = 1'-0"



8 ADU- Exterior Elevation  
Scale: 3/16" = 1'-0"

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