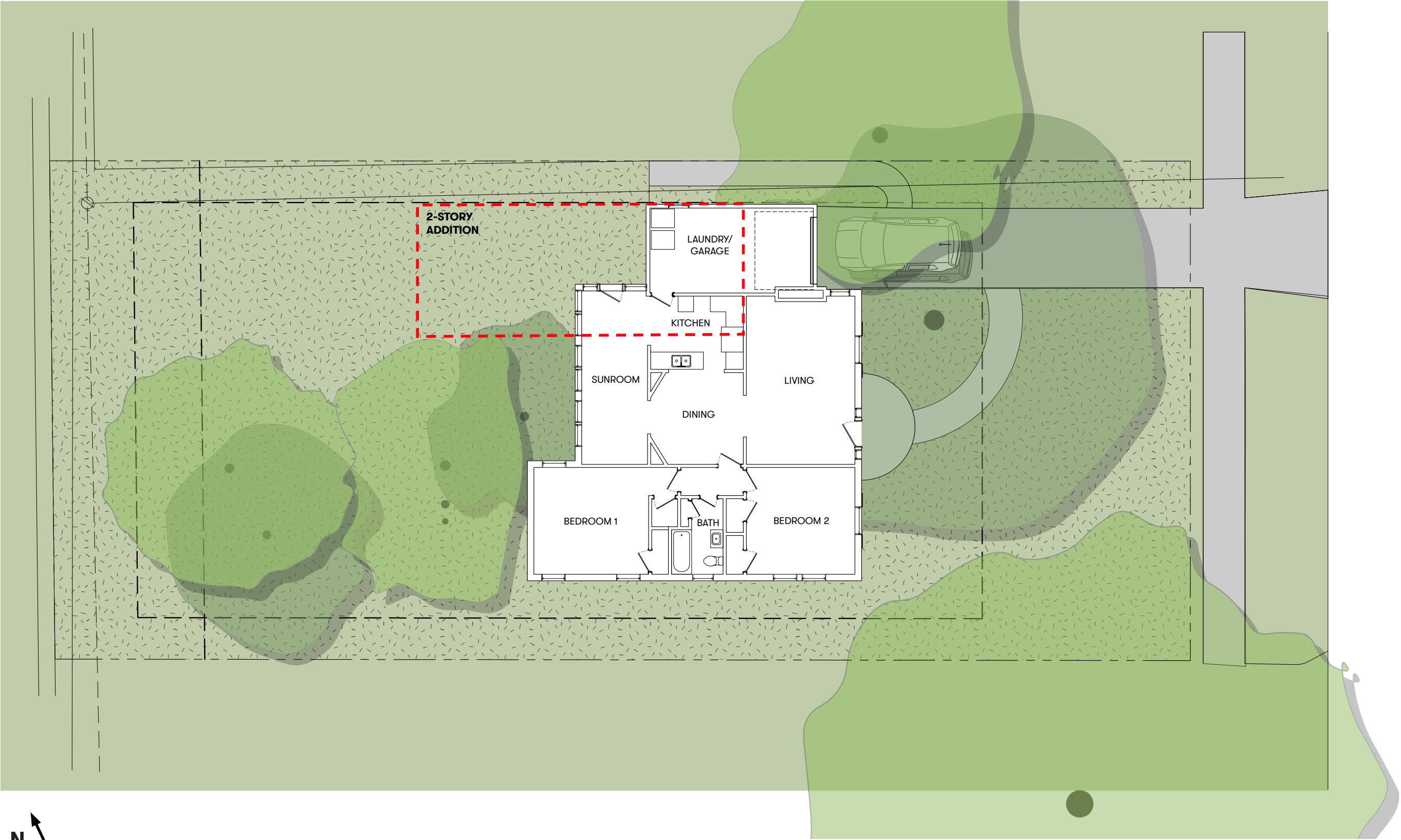
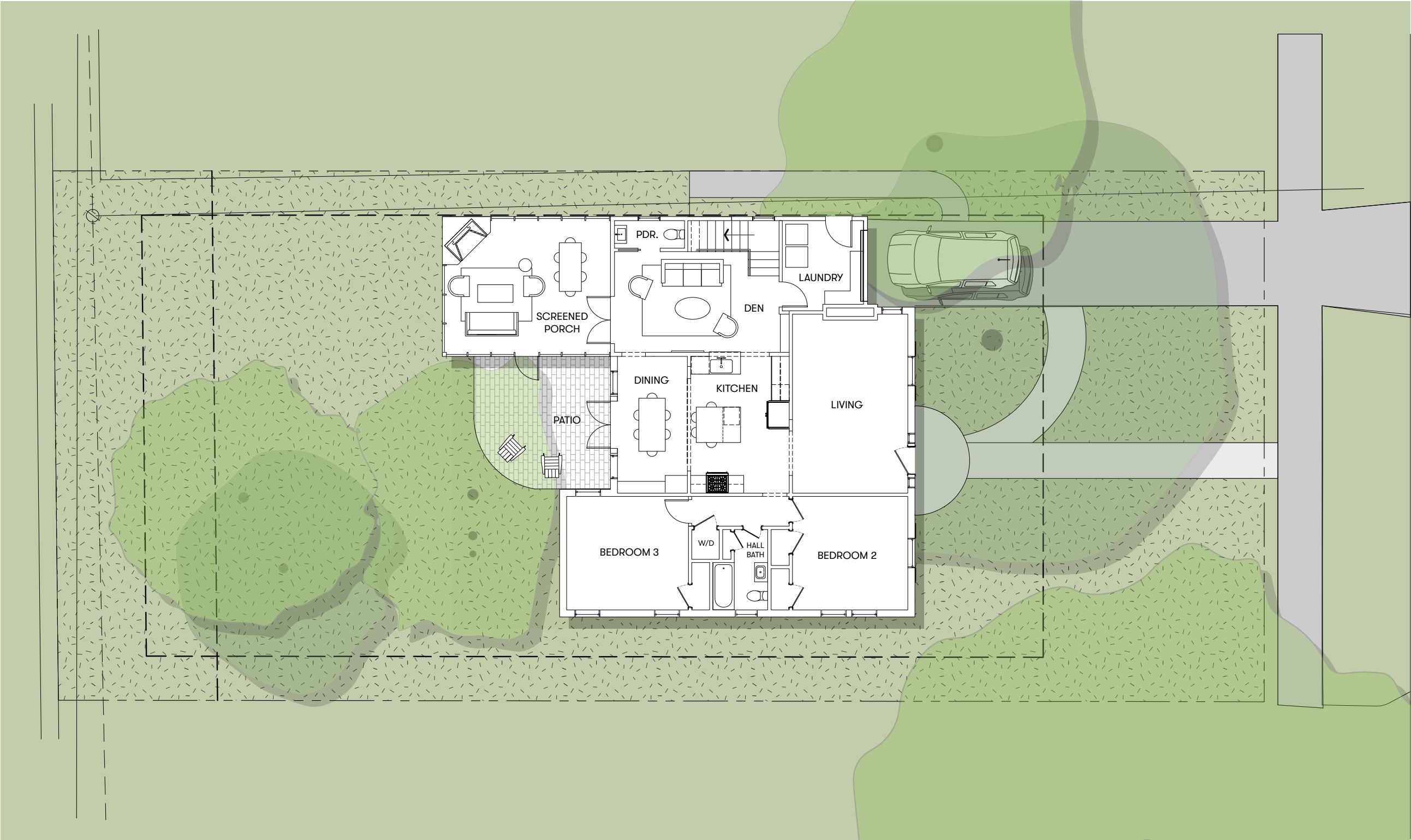


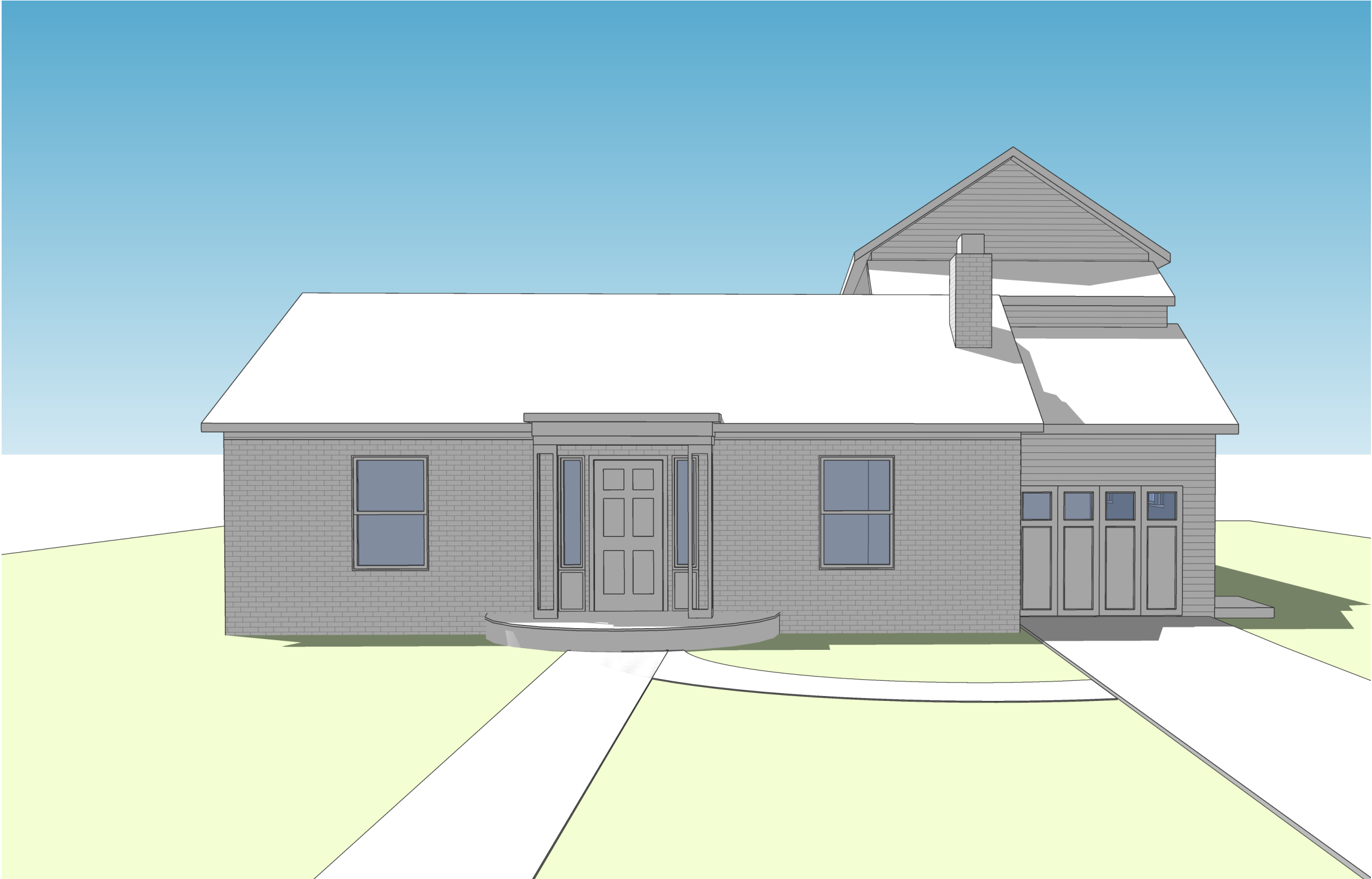
EXISTING SITE PLAN



PROPOSED SITE PLAN

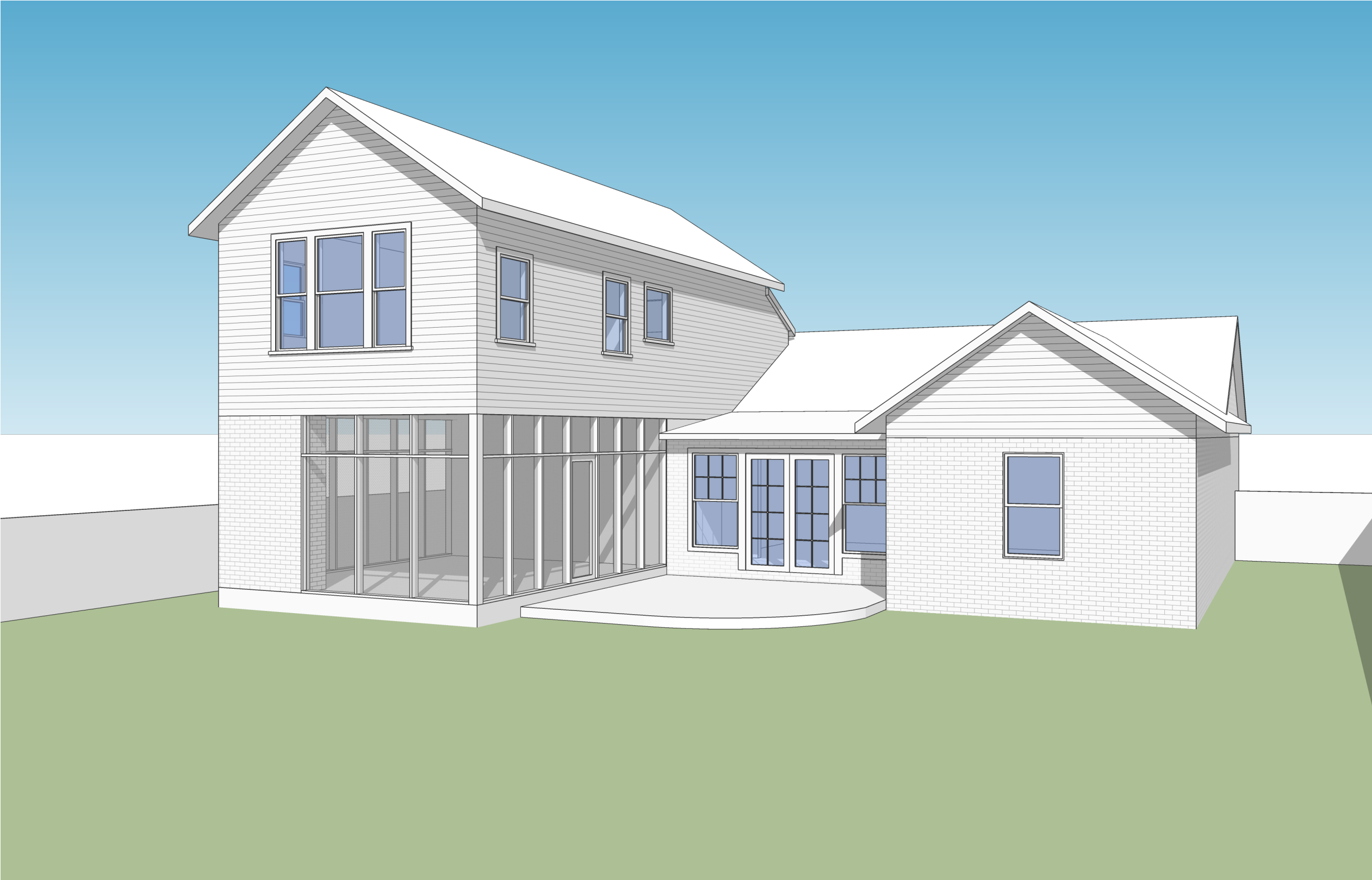


EAST (STREET) RENDERING





WEST (REAR) RENDERING



EAST (STREET)



TWO-STORY
ADDITION 15 FT FROM
FRONT OF HOUSE



NEW GABLE ROOF ON
GARAGE/MUDROOM

NORTH



MUDROOM DOOR
ADDED HERE

NEW DOOR & WINDOW
CONFIGURATION IN
SUNROOM



SOUTH

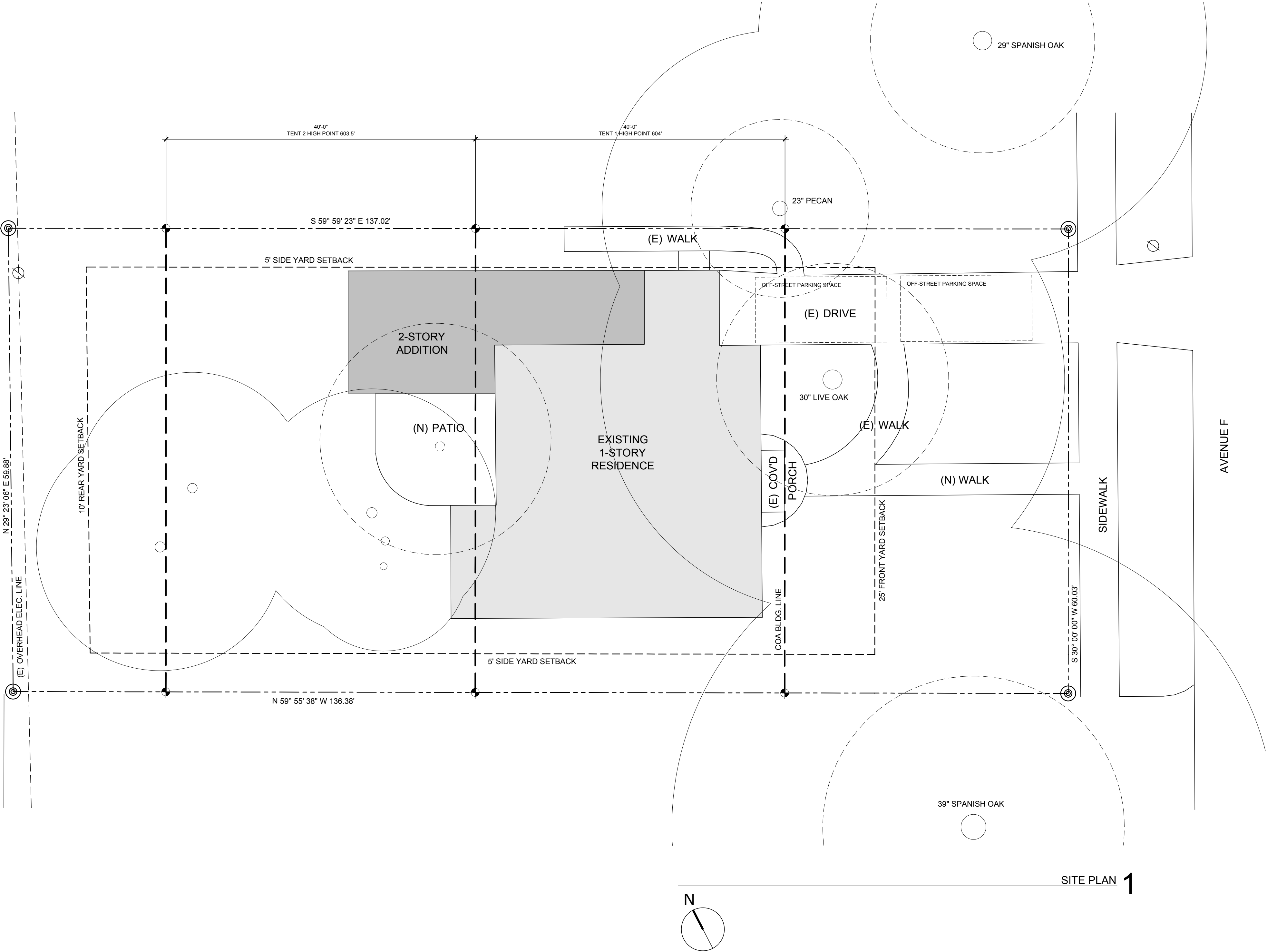
NO CHANGES TO THIS
SIDE OF HOUSE



WOOG + PINKARD RESIDENCE REMODEL & ADDITION

PROPERTY INFO	AREA CALCS	GENERAL NOTES	SHEET INDEX
LEGAL DESCRIPTION: N48.4 FT LOT 8 & S 11.6FT LOT 9 SHADOW LAWN	LOT SIZE: 8,196 SF	REFER TO A2.0	ARCHITECTURAL A1.0 SITE PLAN A2.0 DEMO PLAN & GENERAL NOTES A2.1 FLOOR PLAN A2.2 ROOF PLAN A3.0 EXTERIOR ELEVATIONS A3.1 EXTERIOR ELEVATIONS A3.2 EXTERIOR ELEVATIONS
ZONING: SF-3-HD-NCCD-NP	IMPERVIOUS COVERAGE: 2,876 SF (35%, MAX 45%) BUILDING COVERAGE: 1,900 SF (23%, MAX 40%) FAR: 2,185 SF (27%, MAX 40%) EXISTING RESIDENCE CONDITIONED: 1,490 SF RESIDENCE ADDITION, CONDITIONED: 695 SF TOTAL CONDITIONED: 2,185 SF SCREENED PORCH ADDITION: 300 SF		

- TREE NOTES:
1. AVOID 1/2 CRITICAL ROOT ZONE (CRZ) OF PROTECTED TREES WITH ANY NEW TRENCHING DONE ON SITE. IF CRZ CANNOT BE AVOIDED, TRENCHES WILL HAVE TO BE AIR SPADED BY A CERTIFIED ARBORIST FOR THE TOP 30" TO AVOID CUTTING ROOTS 1.5" IN DIAMETER.
 2. TREE PROTECTION FENCING IS REQUIRED FOR ALL TREES WITHIN THE LIMITS OF CONSTRUCTION. FENCING IS REQUIRED TO BE CHAIN-LINK MESH AT A MINIMUM HEIGHT OF 5'-0". WHEN TREE PROTECTION FENCING CANNOT INCORPORATE THE ENTIRE CRZ, AN 8" LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE IS REQUIRED FOR ALL TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRZ.
 3. FOOT TRAFFIC IS CONSIDERED A DISTURBANCE OF THE CRZ. 2x4 OR GREATER SIZED PLANKS (6'-0" TALL MINIMUM) ARE REQUIRED TO BE STRAPPED SECURELY AROUND PROTECTED TREE TRUNKS AND ROOT FLARES WHEN PROTECTIVE FENCING DOES NOT INCORPORATE ENTIRE CRZ FOR ANY REASON AT ANY TIME IN THE PROJECT.
 4. IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 3/4" PLYWOOD OVER 2x4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES. IF CONCRETE LINE PUMP IS USED, WRAP CONNECTIONS OF LINE PUMP WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES.
 5. CONTRACTOR TO REVIEW PLAN FOR SITE ACCESS AND TREE PROTECTION WITH ARCHITECT PRIOR TO STARTING CONSTRUCTION.



ARCHITECT:

PLUCK ARCHITECTURE
HARMONY GROGAN, AIA
809 S. LAMAR BLVD, SUITE 1
AUSTIN, TX 78704
512-507-4096

PROJECT:
WOOG + PINKARD RESIDENCE
3808 AVENUE F
AUSTIN, TX 78751

PROJECT NO: 2125

ISSUE:
DESIGN SET 11.24.21

NOT TO BE USED
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SHEET:

SITE PLAN

A1.0

SCALE: 1/8" = 1'-0"
11x17 SHEET: 1/16" = 1'-0"



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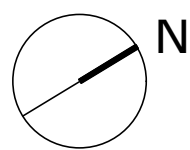
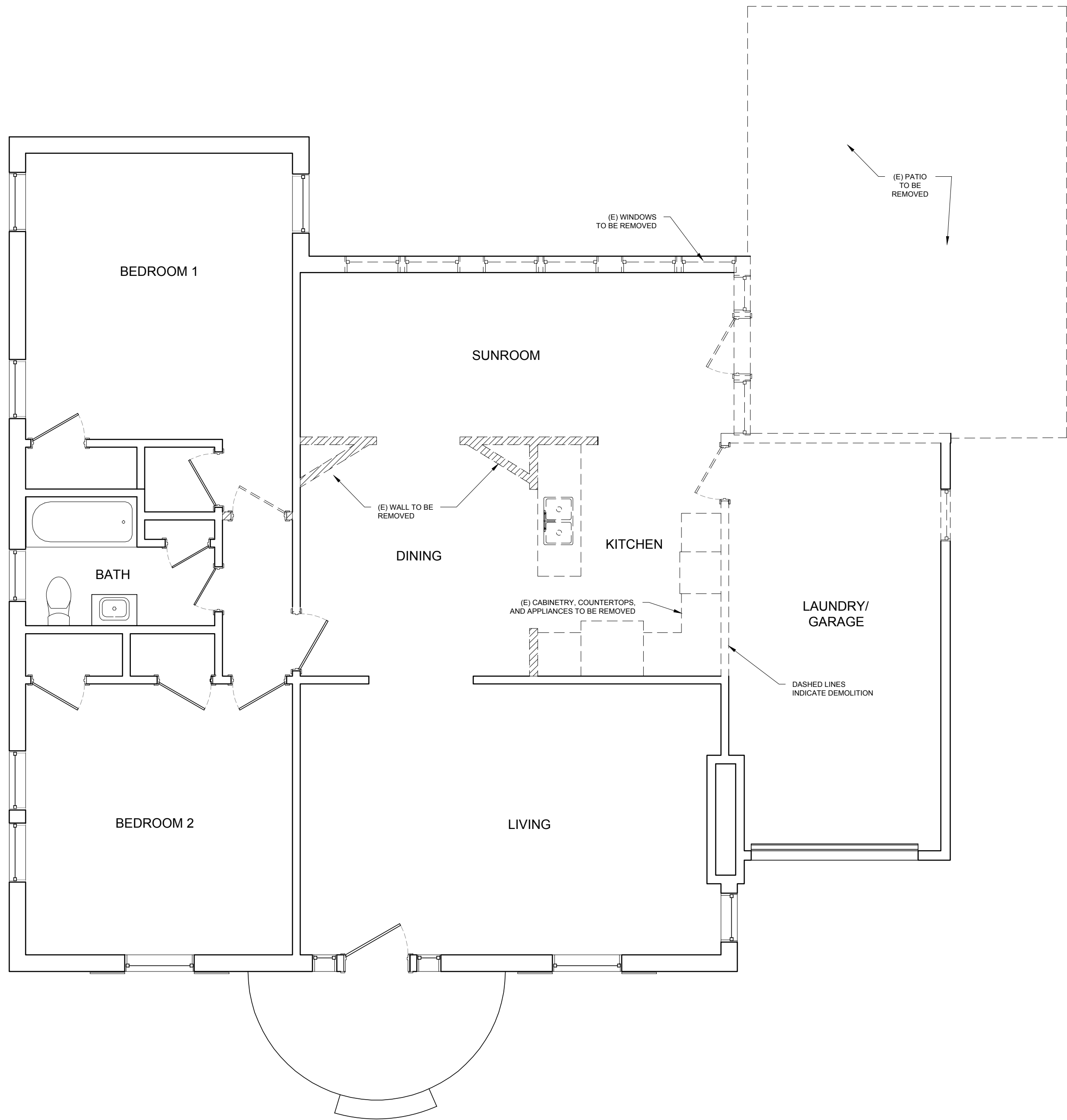
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SHEET:

DEMO PLAN

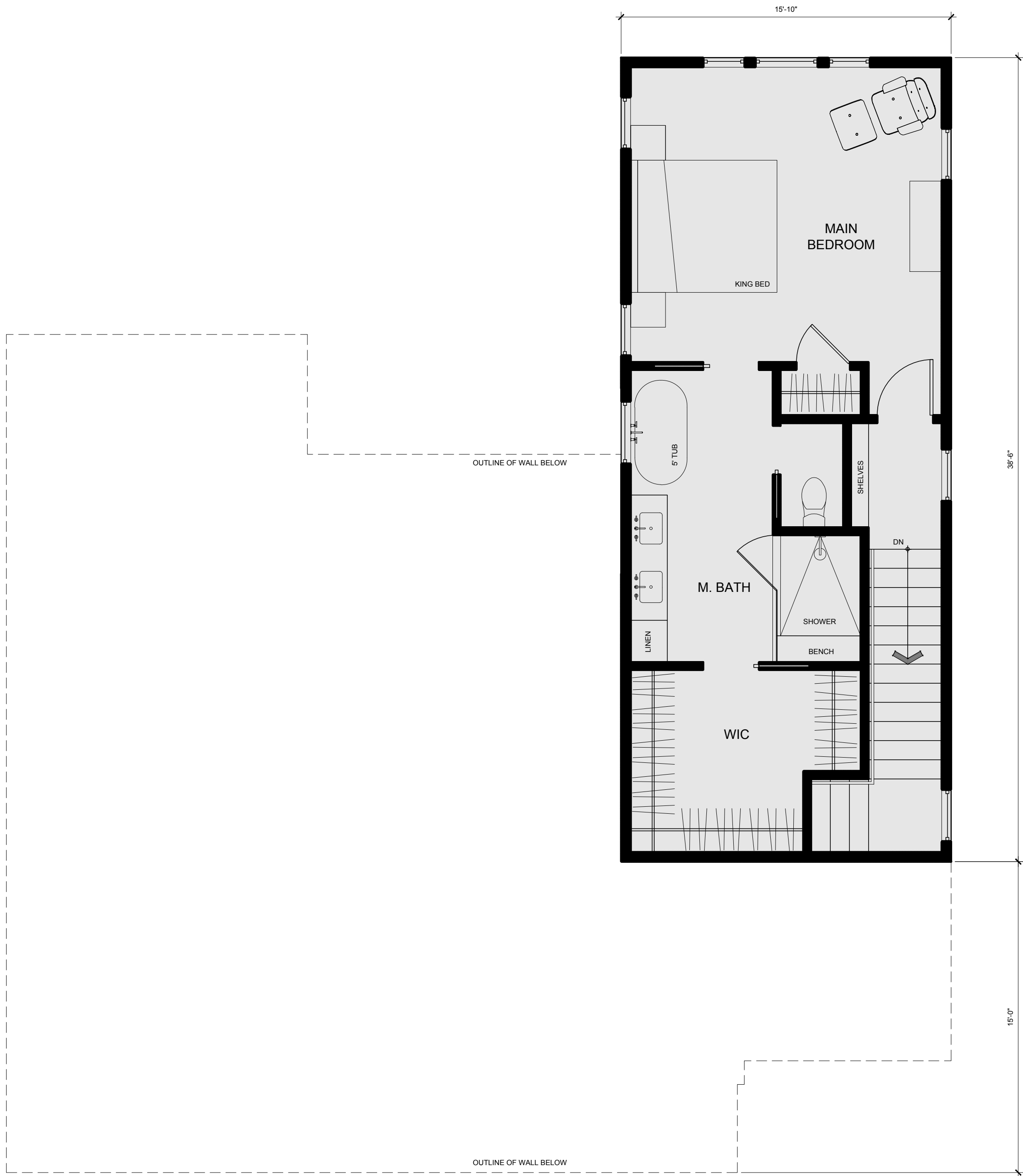
A2.0



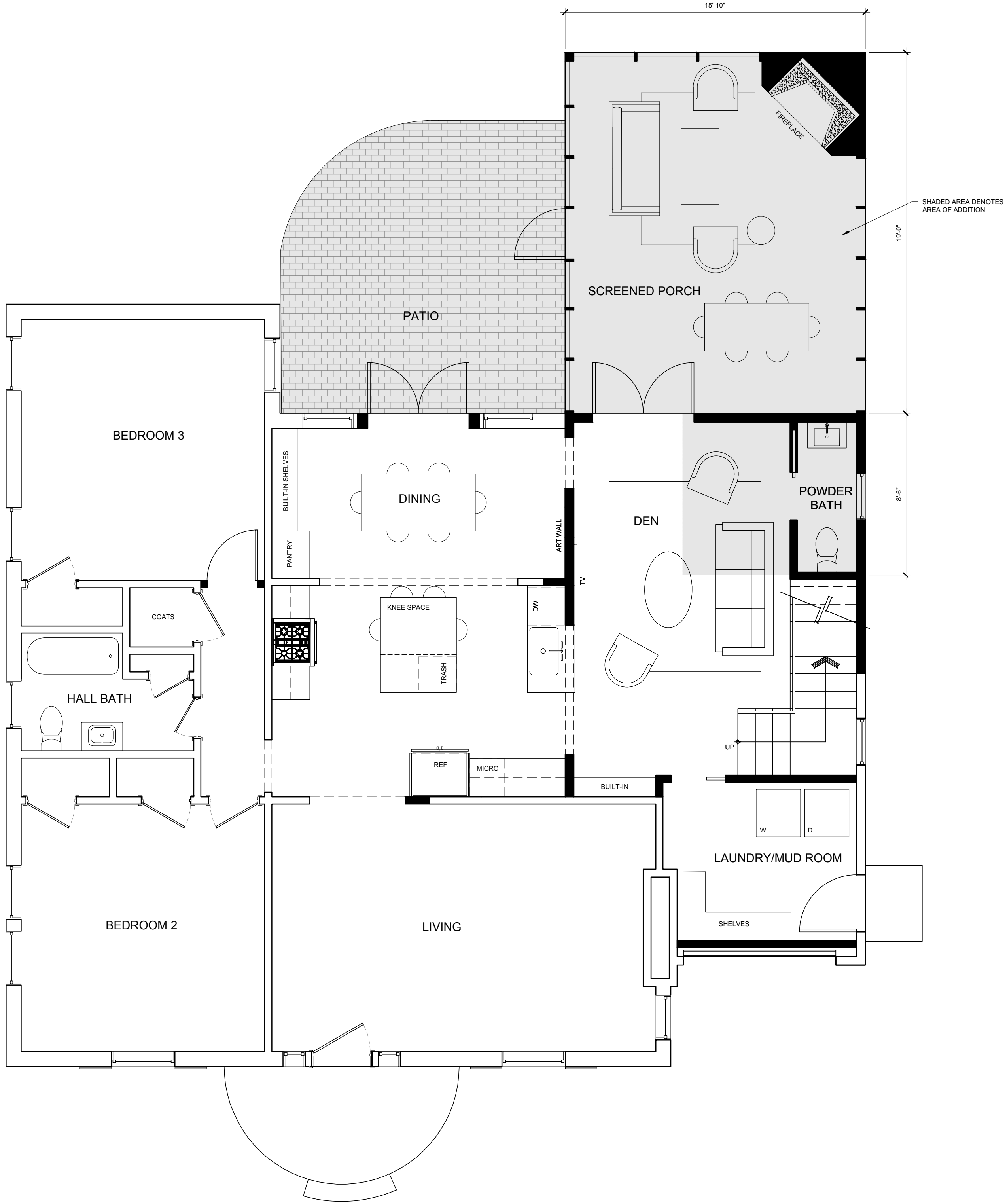
1ST FLOOR DEMO PLAN

1

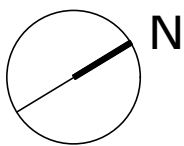
SCALE: 1/4" = 1'-0"
11x17 SHEET: 1/8" = 1'-0"



2ND FLOOR PLAN 2



EXISTING WALL
NEW WALL



1ST FLOOR PLAN 1

SCALE: 1/4" = 1'-0"
11x17 SHEET: 1/8" = 1'-0"



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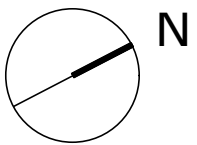
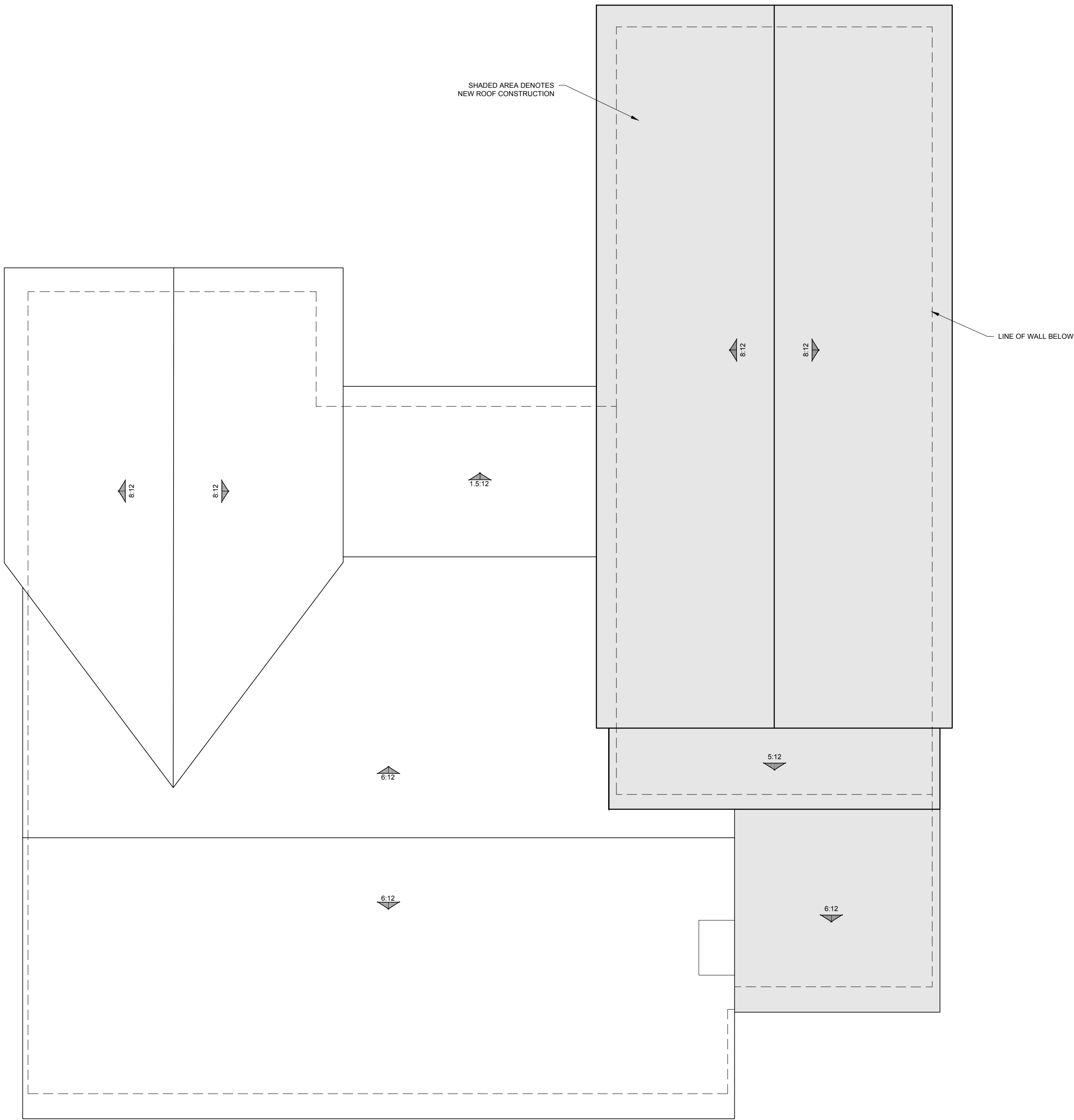
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SHEET:

FLOOR PLANS

A2.1



ROOF PLAN 1

SCALE: 1/4" = 1'-0"
11x17 SHEET: 1/8" = 1'-0"



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PLUCK ARCHITECTURE
HARMONY GROGAN, AIA
809 S. LAMAR BLVD, SUITE I
AUSTIN, TX 78704
512-507-4096

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AUSTIN, TX 78751

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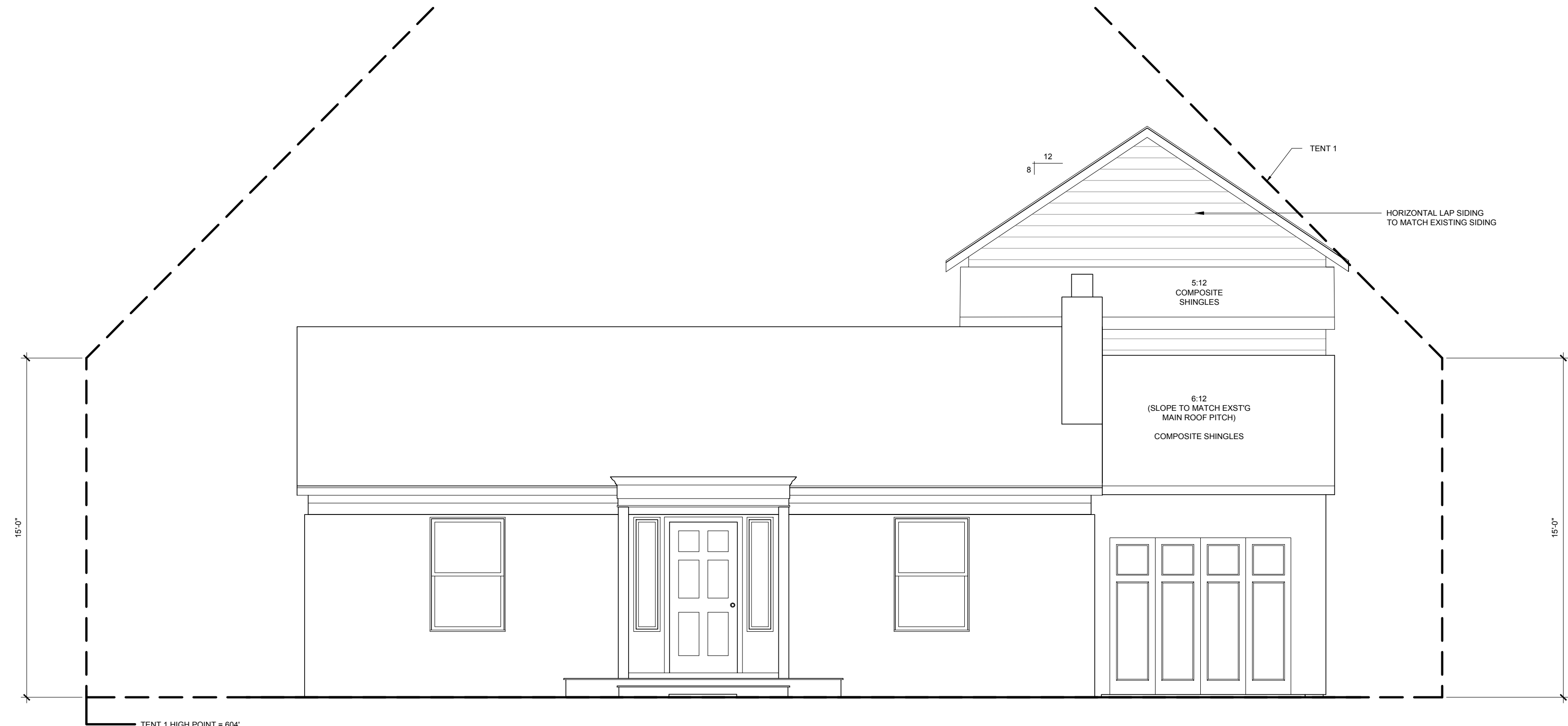
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SHEET:

ROOF PLAN

A2.2



PROPOSED EAST (STREET) ELEVATION **2**



EXISTING EAST (STREET) ELEVATION **1**

SCALE: 1/4" = 1'-0"
11x17 SHEET: 1/8" = 1'-0"



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AUSTIN, TX 78704
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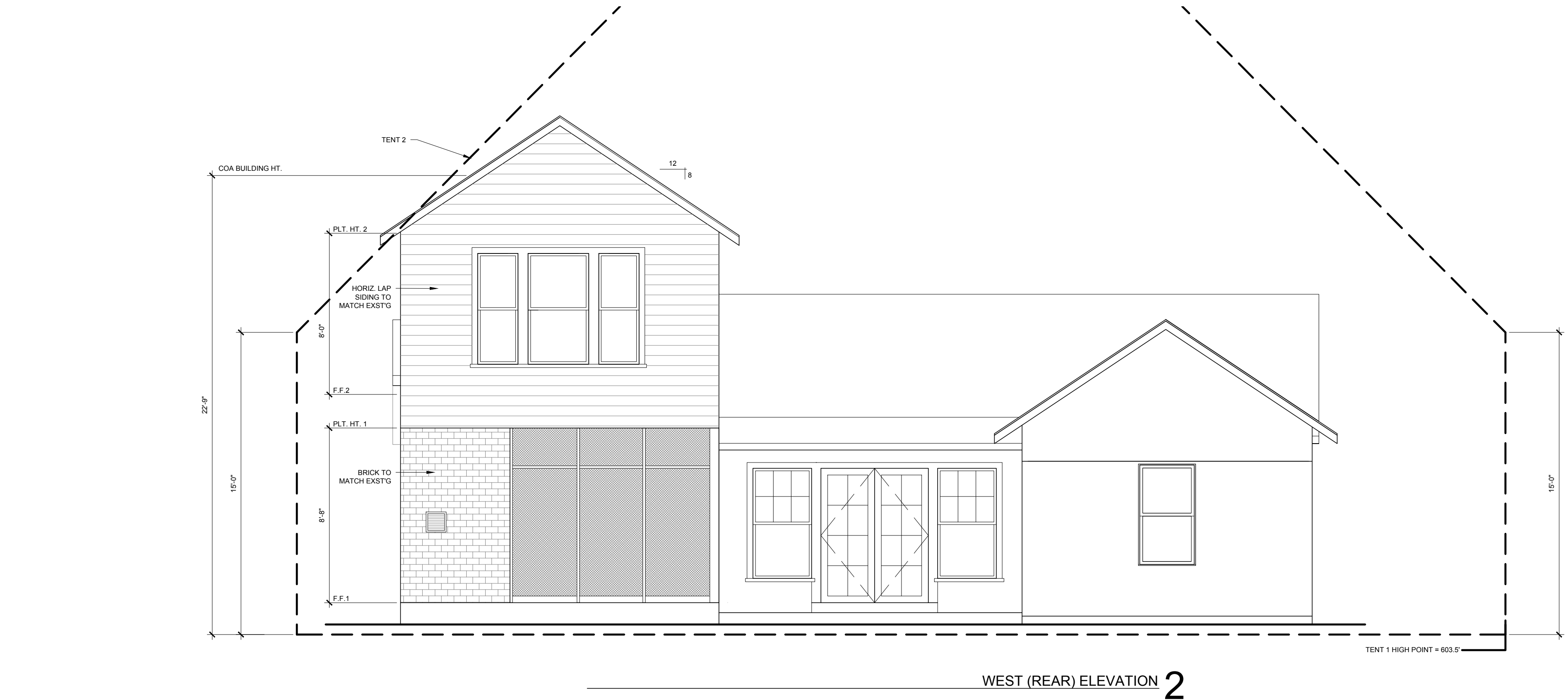
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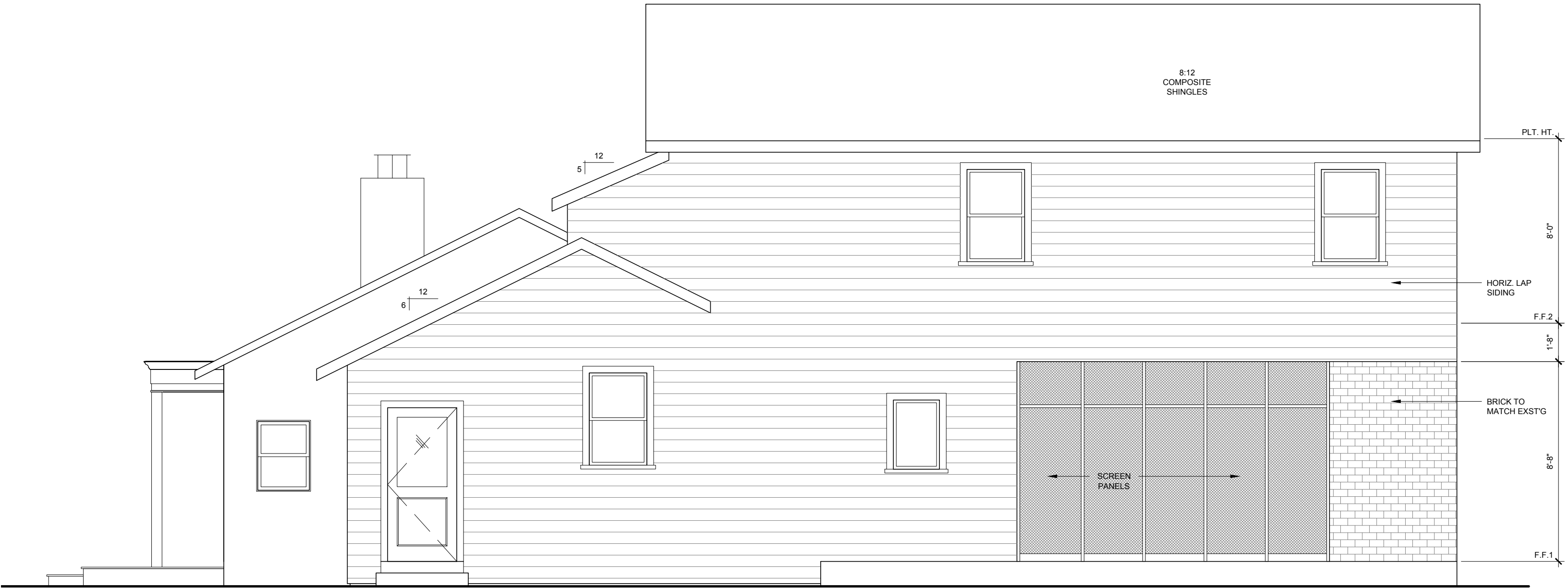
SHEET:

EXTERIOR
ELEVATIONS

A3.0



WEST (REAR) ELEVATION 2



NORTH ELEVATION 1



ARCHITECT:

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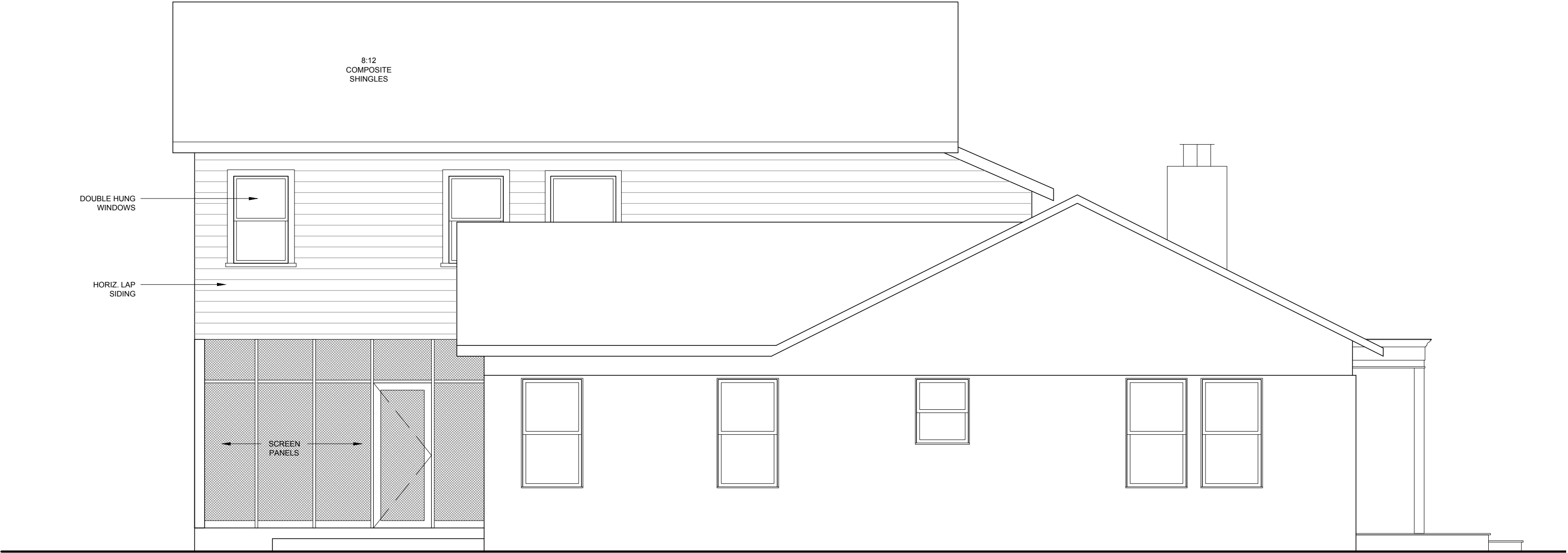
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SHEET:

EXTERIOR
ELEVATIONS

A3.1

SCALE: 1/4" = 1'-0"
11x17 SHEET: 1/8" = 1'-0"



SOUTH ELEVATION

1

SCALE: 1/4" = 1'-0"
11x17 SHEET: 1/8" = 1'-0"



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SHEET:

EXTERIOR
ELEVATIONS

A3.2